



REGULAR MEETING AGENDA

Date: 7/25/2022
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 871 4022 8110

NOVEL CORONAVIRUS, COVID-19, EMERGENCY ADVISORY NOTICE

On March 19, 2020, the Governor ordered a statewide stay-at-home order calling on all individuals living in the State of California to stay at home or at their place of residence to slow the spread of the COVID-19 virus. Additionally, the Governor has temporarily suspended certain requirements of the Brown Act. For the duration of the shelter in place order, the following public meeting protocols will apply.

Teleconference meeting: In accordance with Government Code section 54953(e), and in light of the declared state of emergency, all members of the Planning Commission, city staff, applicants, and members of the public will be participating by teleconference.

How to participate in the meeting

- Submit a written comment online up to 1-hour before the meeting start time:
PlanningDept@menlopark.org *
- Access the meeting real-time online at:
zoom.us/join – Meeting ID# 871 4022 8110
- Access the meeting real-time via telephone (listen only mode) at:
(669) 900-6833
Regular Meeting ID # 871 4022 8110
Press *9 to raise hand to speak

*Written and recorded public comments and call-back requests are accepted up to 1 hour before the meeting start time. Written and recorded messages are provided to the Planning Commission at the appropriate time in their meeting. Recorded messages may be transcribed using a voice-to-text tool.

Subject to Change: Given the current public health emergency and the rapidly evolving federal, state, county and local orders, the format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the City's website www.menlopark.org. The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information (menlopark.org/agenda).

Regular Meeting

A. Call To Order

B. Roll Call

C. Reports and Announcements

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

None

F. Public Hearing

- F1. Use Permit/Safaei Design Group/1262 Middle Avenue:
Request for a use permit to demolish an existing one-story residence and construct a new two-story residence on a substandard lot with regard to minimum lot area and width in the R-1-S (Single Family Residential Suburban) zoning district. The proposal includes an attached accessory dwelling unit (ADU), which is not subject to discretionary review. ([Staff Report #22-038-PC](#))
- F2. Master Sign Program/Oscar Ibarra/1300 El Camino Real (Springline):
Request for a Master Sign Program for a mixed-use development (Springline) in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. ([Staff Report #22-039-PC](#))
- F3. Public Utility Easements Abandonment/Greystar/141 Jefferson Drive, 180-186 Constitution Drive:
Consideration of the abandonment of public service easements to determine whether the proposed abandonments are consistent with the City’s General Plan. The request is associated with an approved development of 483 multi-family residential units and associated commercial space (Menlo Uptown). ([Staff Report #22-040-PC](#))
- F4. Public Utility Easement Abandonment/Rebecca & Kevin Loewke/248 Oakhurst Place:
Consideration of the abandonment of a 10-foot wide public utility easement (PUE) to determine whether the proposed abandonment is consistent with the City’s General Plan. The request is associated with the development of a single-family residence. ([Staff Report #22-041-PC](#))

G. Study Session

- G1. Study Session/Zoning Ordinance and Subdivision Ordinance amendments associated with implementation of Senate Bill 9:
Review and provide feedback on proposed objective standards that would be applicable to two-unit

housing developments and urban lot splits within single family zoning districts, per the requirements of Senate Bill 9. ([Staff Report #22-042-PC](#))

H. Informational Items

H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: August 15, 2022
- Regular Meeting: August 29, 2022

I. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.org. Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at menlopark.org/agenda and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 07/20/2022)



STAFF REPORT

Planning Commission

Meeting Date:

7/25/2022

Staff Report Number:

22-038-PC

Public Hearing:

Use Permit/Safaei Design Group/1262 Middle Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing one-story residence and construct a new two-story residence on a substandard lot with regard to minimum lot area and width in the R-1-S (Single Family Residential Suburban) zoning district. The proposal includes an attached accessory dwelling unit (ADU), which is not subject to discretionary review. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal. The proposal includes an attached accessory dwelling unit (ADU), which is not subject to discretionary review.

Background

Site location

Using Middle Avenue in an east-west orientation, the subject property is located on the northern side of Middle Avenue, between Hermosa Way to the south and Santa Rita Avenue to the north. Residences along Middle Avenue include a mixture of one- and two-story residences, developed in a variety of architectural styles including ranch and contemporary, consistent with the R-1-S zoning district. Two-story residences nearby include 1260 Middle Avenue (neighboring property to the right/east), 1295 Middle Avenue, and 1220 Middle Avenue. Properties along Hermosa Way are mostly within the R-E (Residential Estate) zoning district and include generally larger one- and two-story residences on larger lots. A location map is included as Attachment B.

Analysis

Project description

The property is currently occupied by a one-story residence with an attached two-car garage. The lot is substandard with regard to lot area (7,711 square feet provided; 10,000 square feet minimum) and lot width (48 feet provided; 80 feet minimum). The relatively narrow lot configuration results in the existing residence being nonconforming with regard to the left and right side setbacks.

The applicant is proposing to demolish the existing one-story residence and construct a new two-story residence with an attached accessory dwelling unit (ADU). A data table summarizing parcel and project

attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence, inclusive of the ADU, would include a total of five bedrooms (proposed bedroom/office at first level of primary residence) and four bathrooms. The attached one-bed/one-bath ADU is proposed at the first story on the front left side of the residence and includes all the required components for an accessory dwelling unit. The first floor of the primary residence includes a garage, bedroom/office, bathroom, and shared living space, including the kitchen, dining room, and family room. The second floor of the primary residence includes three bedrooms, two bathrooms, and additional shared living spaces. The required parking for the primary residence would be provided by an attached one-car garage and adjacent uncovered parking space. The required parking for the ADU would be provided by an uncovered tandem parking space in the driveway. A covered porch is proposed at the rear of the residence. A future pool is noted on the project plans.

The proposed residence would meet all Zoning Ordinance requirements for setbacks, lot coverage, floor area limit (FAL), daylight plane, parking, and height. Of particular note with regard to Zoning Ordinance requirements:

- The proposed floor area for the primary residence is 2,976.6 square feet, where 2,977.8 square feet is the maximum allowable FAL.
- The proposed floor area for the attached ADU is 435.7 square feet, where 800 square feet is the maximum allowable FAL exceedance for ADUs built concurrently or after the primary residence; the ADU is not subject to discretionary review.
- The second-story would be limited in size relative to the development, with a floor area of 1,254.5 square feet, representing approximately 42 percent of the maximum FAL, where 50 percent is the maximum allowed.
- The proposed building coverage, inclusive of the ADU, would be 2,274.8 square feet, approximately 29.5 percent of the lot area, where 35 percent is the maximum allowed.
- The proposed residence would be 24.4 feet in height, where 28 feet is the maximum allowed.

The proposed residence would be compliant with the 20-foot front setback and have a rear setback of approximately 62 feet to the house (51 feet to the covered porch) where 20 feet is required. The proposed residence would correct the existing nonconforming side setback conditions at the left and right side of the lot. The primary residence would be set back 10 feet from the side property lines and the ADU would be set back four feet from the left side, in compliance with ADU regulations which allow reduced setbacks. The proposed second story, exclusive of the connecting staircase between the two levels, would be stepped back from the first story on all sides and features varied wall depths to minimize massing and increase separation from neighboring properties. A proposed balcony in the rear would be set back 20 feet from the side property lines and approximately 53 feet from the rear property line, where 20 feet is required from the sides and 30 feet is required in the rear.

Design and materials

The applicant states that the proposed residence would be constructed in a contemporary style with light-colored smooth stucco contrasted by walnut-colored faux wood siding for the character defining architectural elements of the residence. The windows would be non-gridded, aluminum clad wood

windows with black trim to provide contrast with the light color stucco and darker fascia board finishes. TPO roofing (thermoplastic polyolefin single-ply roofing membrane) would cover the low pitch roof areas in several locations and standing seam metal roofing would be provided on the majority of the roof. The rear balcony would have a glass railing. Most second-story windows would have sill heights between two to five feet; several window seats would have sill heights of approximately 1.8 feet, stepped back from the first story below. Staff believes the increased second-story setbacks, complemented by existing/proposed trees, are sufficient to alleviate potential privacy concerns. Staff believes that the scale, materials, and style of the proposed residence would result in a consistent aesthetic approach and are generally consistent with the broader neighborhood, given the similar architectural styles and sizes of structures in the area.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F), detailing the species, size, and conditions of on-site and nearby heritage/non-heritage trees. The arborist report highlights a total of seven trees on and around the subject property. There are five trees (Trees #1-5) located on the subject property, with Trees #2 and #3 being heritage trees and Trees #1, #4, and #5 not being heritage trees (Tree #4 is heritage-sized but considered an “undesirable species”). All five of these trees are proposed for removal and the removal justifications are summarized below, as noted in the arborist report:

- Tree #1 – Non-heritage tree proposed for removal because it is dead
- Tree #2 – Heritage stone pine tree proposed for removal due to “very poor” tree health rating
- Tree #3 – Heritage coast live oak tree proposed for removal to accommodate ADU
- Tree #4 – “Undesirable species” glossy privet proposed for removal
- Tree #5 – Non-heritage tree proposed for removal because it is within footprint of future pool

The City Arborist reviewed and approved a heritage tree removal permit (HTR2022-00052) for the applicable trees on the subject property. There are two heritage trees (Trees #6-7) located on the neighboring property to the right (east) at 1260 Middle Avenue that provide screening between the two properties. According to the arborist report, these two trees would be anticipated to sustain root loss and soil disturbance as a result of the proposed project, however, the anticipated root loss would be no more than 25% and would be acceptable; pruning would be no more than 10% of the canopy to achieve the necessary vertical clearance for the residence and would be acceptable. The arborist report includes tree protection recommendations for pre-construction, during construction, and post-construction phases of the project. These arborist recommendations include the establishment of tree protection zones for Trees #6-7, guidance for preventing root damage, and guidance for pruning branches, amongst other specifications. As part of the project review process, the arborist report was reviewed by the City Arborist. Implementation of all recommendations to mitigate impacts to the heritage trees identified in the arborist report would be ensured as part of condition 1.h.

The project proposes the planting of ten replacement trees in locations at the front and sides of the proposed residence. At the front, two trees are proposed in front of the ADU. At the left side, a row of English Laurel trees as well as two additional trees are proposed for screening between the neighboring property to the left (west) at 520 Hermosa Way and the subject property. At the right side, two additional trees are proposed on the subject property between Trees #6 and #7 on the neighboring property; collectively, these four trees provide screening between the neighboring property at 1260 Middle Avenue and the subject property.

Correspondence

Within the project description letter (Attachment E), the property owner relays that they have reached out to the four immediate neighbors, including mailed letters to these properties with invitation for discussion and project review. Additionally, early on in the project review, staff received contact from the property owner at 1260 Middle Avenue regarding concern for how Trees #6-7 would be affected; there was previously an incorrect arborist notation for tree removal instead of tree retention and this has since been corrected in the project materials, along with other project plans refinements.

As of the publication of this report, staff has not received additional correspondence regarding the project.

Conclusion

Staff believes that the design, scale, and materials of the proposed residence are generally compatible with the surrounding neighborhood, and would result in a consistent aesthetic approach. The contemporary style would be generally attractive and well-proportioned, and the positioning/design of the second floor, complemented by existing/proposed trees, would help increase privacy while reducing the perception of mass. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Draft Planning Commission Resolution of Approval Adopting Findings for project Use Permit, including project Conditions of Approval
Exhibits to Attachment A
 - A. Project Plans (See Attachment D to this (July 25, 2022) Planning Commission Staff Report)
 - B. Conditions of Approval
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Calvin Chan, AICP, Senior Planner

Report reviewed by:

Corinna Sandmeier, Acting Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2022-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT TO DEMOLISH AN EXISTING ONE-STORY RESIDENCE AND CONSTRUCT A NEW TWO-STORY RESIDENCE ON A SUBSTANDARD LOT WITH REGARD TO MINIMUM LOT AREA AND WIDTH IN THE R-1-S (SINGLE FAMILY RESIDENTIAL SUBURBAN) ZONING DISTRICT

WHEREAS, the City of Menlo Park (“City”) received an application requesting to demolish an existing one-story residence and construct a new two-story residence on a substandard lot with regard to minimum lot area and width in the R-1-S (Single Family Residential Suburban) zoning district—the proposal also includes an attached accessory dwelling unit (ADU), which is not subject to discretionary review—(collectively, the “Project”) from Safaei Design Group (“Applicant”), on behalf of the property owner Amaan Mehrabian (“Owner”), located at 1262 Middle Avenue (APN 071-242-120) (“Property”). The Project use permit is depicted in and subject to the development plans and documents which are attached hereto as Exhibit A and incorporated herein by this reference; and

WHEREAS, the Property is located in the Single Family Suburban Residential (R-1-S) district. The R-1-S district supports single-family residential uses; and

WHEREAS, the proposed Project complies with all objective standards of the R-1-S district; and

WHEREAS, the proposed Project was reviewed by the Engineering Division and found to be in compliance with City standards; and

WHEREAS, the Applicant submitted an arborist report prepared by Bo Firestone Consulting & Design which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (New Construction or Conversion of Small Structures); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on July 25, 2022, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project Revisions.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit to demolish an existing one-story residence and construct a new two-story on a substandard lot is granted based on the following findings which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-S zoning district and the General Plan because the construction of a two-story residence is allowed to be constructed on a substandard lot subject to granting of a use permit and provided that the proposed residence conforms to applicable zoning standards, including, but not limited to, minimum setbacks, maximum floor area limit, and maximum building coverage.
 - b. The proposed residence would include the required number of off-street parking spaces because one covered and one uncovered parking space would be required at a minimum and is provided as such for the primary residence.
 - c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission

concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the new residence would be located in a single-family neighborhood and designed such that privacy concerns would be addressed through landscaping and second story setbacks and balcony setbacks greater than the minimum required setbacks in the R-1-S district.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2022-00004, which Use Permit is depicted in and subject to the development plans which are attached hereto and incorporated herein by this reference as Exhibit A. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit B.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

- A. The Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (New Construction or Conversion of Small Structures).

Section 5. SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Acting Principal Planner and Planning Commission Liaison of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on July 25, 2022, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

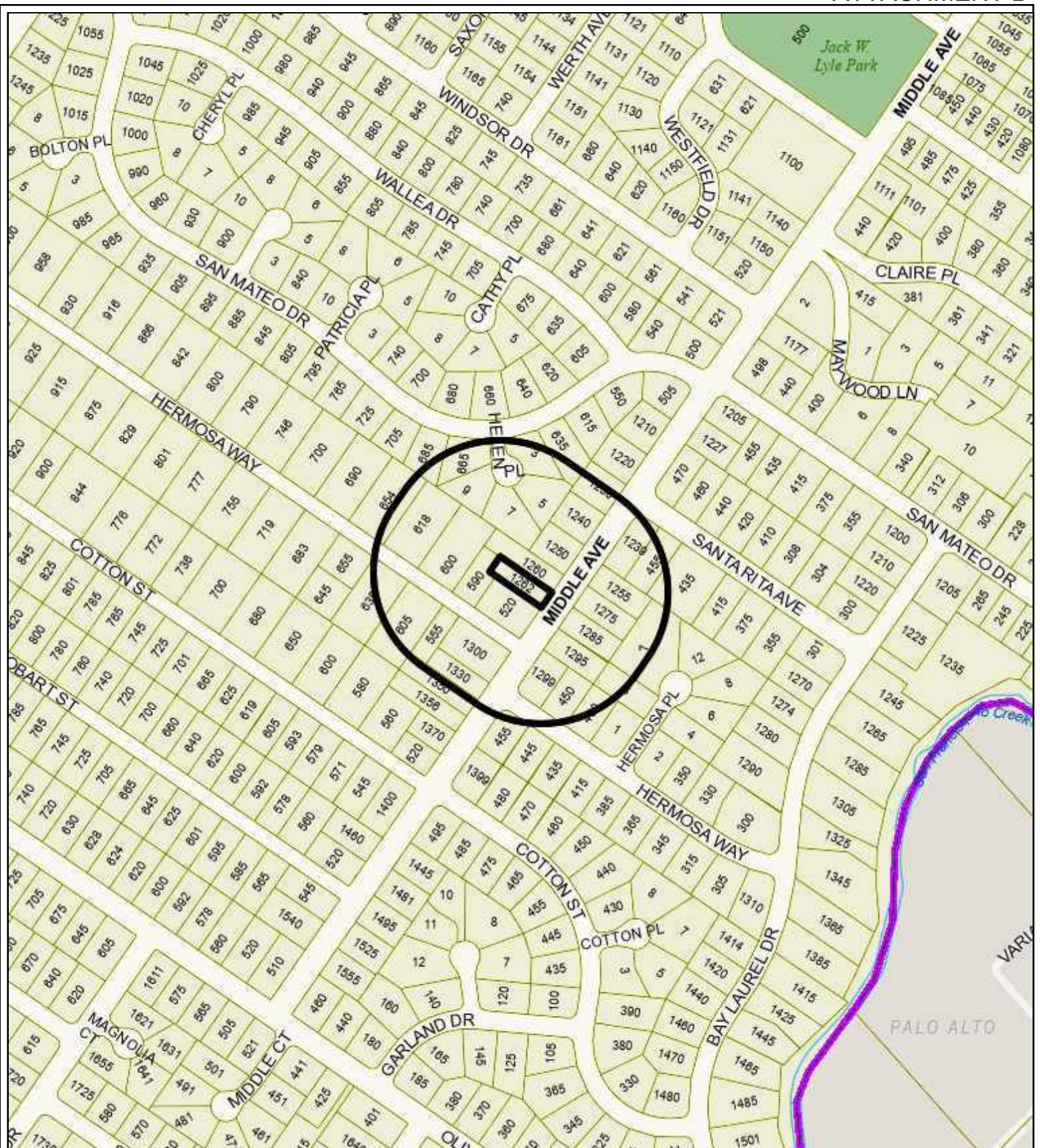
IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 25th day of July, 2022.

Corinna Sandmeier
Acting Principal Planner and Planning Commission Liaison
City of Menlo Park

Exhibits

- A. Project Plans
- B. Conditions of Approval

LOCATION: 1262 Middle Avenue	PROJECT NUMBER: PLN2022-00004	APPLICANT: Safaei Design Group	OWNER: Amaan Mehrabian
CONDITIONS OF APPROVAL:			
<p>1. Approve the use permit subject to the following standard conditions:</p> <ul style="list-style-type: none"> a. The applicant shall be required to apply for a building permit within one year from the date of approval (by July 25, 2023) for the use permit to remain in effect. b. Development of the project shall be substantially in conformance with the plans prepared by Safaei Design Group consisting of 16 plan sheets, dated received July 11, 2022 and approved by the Planning Commission on July 25, 2022, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Bo Firestone Consulting & Design, dated revised April 14, 2022. i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application. j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings. 			



City of Menlo Park
 Location Map
 1262 Middle Ave (PLN2022-00004)



1262 Middle Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	7,711 sf	7,711 sf	10,000 sf min
Lot width	48 ft	48 ft	80 ft min
Lot depth	160.7 ft	160.7 ft	100 ft min
Setbacks			
Front	20.0 ft	28.9 ft	20 ft min
Rear	62.1 ft to house 51.1 ft to porch	74.5 ft	20 ft min
Side (left)	4.0 ft to ADU 10.0 ft to house	8.9 ft	4.0 ft min to ADU 10.0 ft min to house
Side (right)	10.0 ft to house	4.6 ft	10.0 ft min to house
Building coverage	2,274.8 sf 29.5 %	1,508.0 sf 19.6 %	2,698.9 sf max 35.0 % max
FAL (Floor Area Limit)	3,412.3 sf*	1,508 sf	2,977.8 sf max
Square footage by floor	0.0 sf-basement 1,496.6 sf-1st 1,254.5 sf-2nd 225.5 sf-garage 435.7 sf-ADU	0 sf-basement 1,058.0 sf-1st 0 sf-2nd 450.0 sf-garage 0 sf-accessory	
Square footage of buildings	3,412.3 sf	1,508.0 sf	
Building height	24.4 ft	16 ft	28 ft max
Parking	1 covered space, 1 uncovered space, 1 space for ADU	2 covered spaces	1 covered space, 1 uncovered space, 1 space for ADU
Note: Areas shown highlighted indicate a nonconforming or substandard situation			
Trees	Heritage trees 4**	Non-Heritage trees 3	New trees 10
	Heritage trees 2 proposed for removal	Non-Heritage trees 3 proposed for removal	Total Number of trees 12

*The attached ADU would exceed the maximum FAL, however, the maximum FAL is permitted to be exceeded by up to 800 square feet in order to accommodate the ADU.

**Of these trees, two are located on the neighboring property (1260 Middle Avenue) and 2 are located on the subject property.



PROPOSED - 3D - REAR 2



PROPOSED - 3D 1

MENLO PARK
1262 MIDDLE AV.

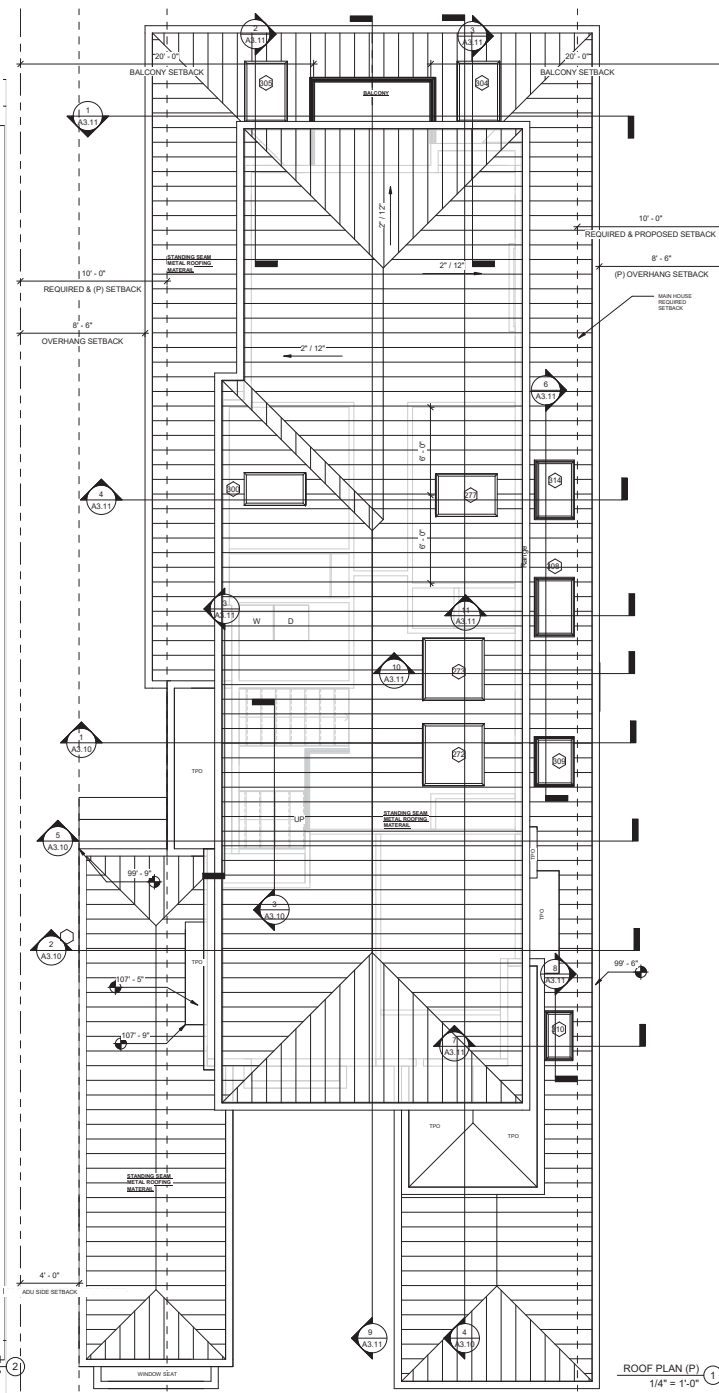
PLANNING COMMISSION APPLICATION

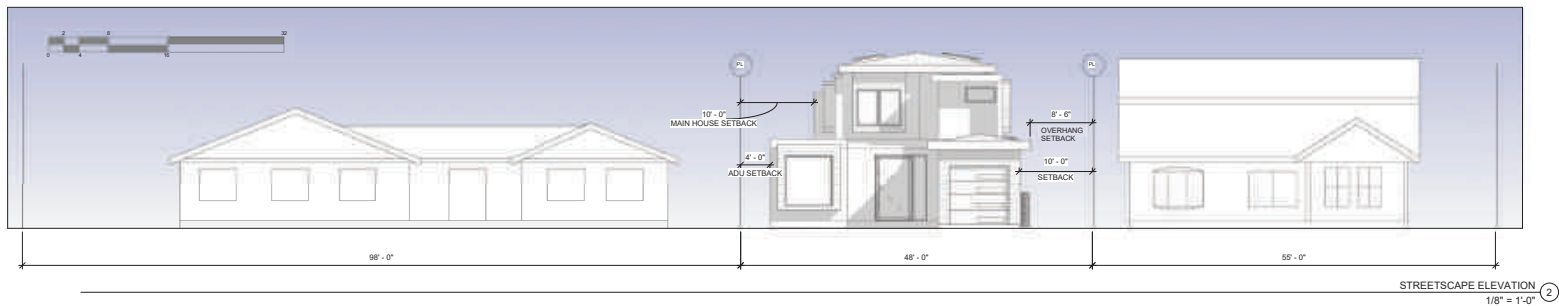
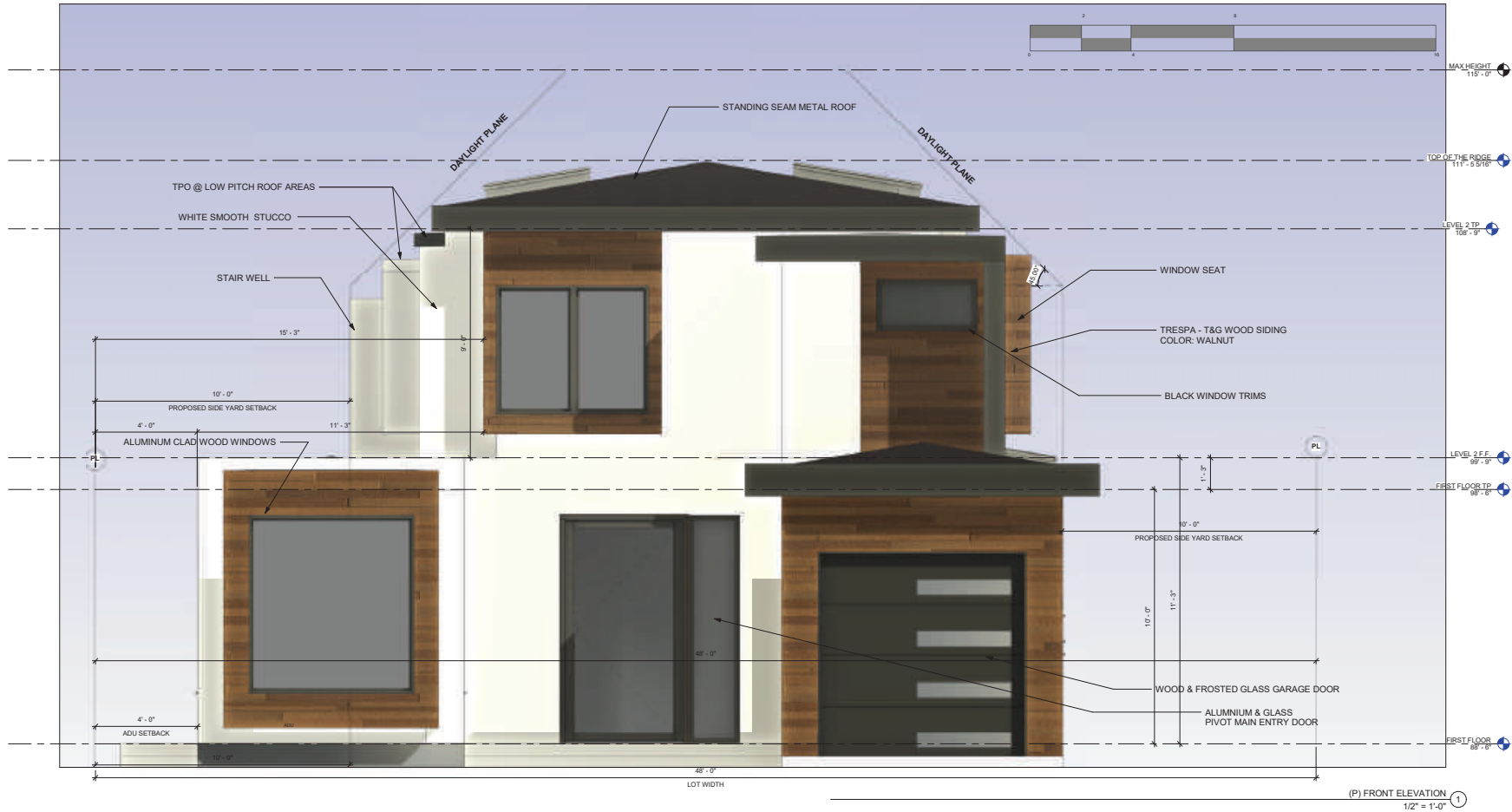
07.11.2022

**REV 3 - PLANNING REVIEW









Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. 3 Date 05.29.2022

Written dimensions on these drawings shall have precedence over scaled dimensions. Designer shall be responsible for all dimensions and conditions shown by these drawings. Drawings shall be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be copied or reproduced in any manner without our express written consent.

SIGNATURES

Safaei

Job Title
1262 MIDDLE AVE. MENLO PARK

Job Address
1262 MIDDLE AVE. MENLO PARK, CA

Date
07.11.2022

Issued For
PLANNING COMMISSION APPLICATION

Job No.
1262 MIDDLE AV.

Drawn By: Checked By:
Author: Checker

Scale
As indicated

Sheet Title
MATERIAL BOARD - RENDERED FRONT ELEVATION

Sheet No.

A0.31

ADDITIONAL NOTES

- BUILT-IN SHELVING & CABINERY, VERIFY DESIGN WITH OWNER & ARCHITECT / DESIGNER.
- SUNKEN SUMP PUMP COLLECTION SYSTEM FOR EXTERIOR STORMWATER COLLECTION & DISCHARGE FROM LIGHTWELL SURFACE DRAINING UP TO SURFACE DRAINAGE AND RETENTION SYSTEM, SEE ALSO CIVIL PLANS.
- IN BATHROOM TEXTURES & FINISHES, KOHLER OR EQUAL PLUMBING, CERAMIC TILE, FLOORING & SHOWER ENCLOSURE, VERIFY ALL SELECTIONS, FINISHES, ACCESSORIES, ETC. WITH OWNER.
- AT ALL SHOWERS AND TUBS WITH SHOWERS.
- A. WALL COVERSINGS SHALL BE PORTLAND CEMENT, CERAMIC OR STONE TILE, OR APPROVED EQUAL TO 80" ABOVE DRAIN. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT.
- VERIFY FINISH MATERIALS, SEE INTERIOR DESIGN PLANS.
- INSTALL HOT MOP SHOWER PAN & ALL SHOWERS (TYPICAL), BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRAIN PER 2019 CPC 411.8. VERIFY DRAIN LOCATION W/ OWNER.
- TEMPERED GLASS & WINDOW AND SHOWER ENCLOSURE, SHOWER DOORS & ENCLOSURES SHALL BE FRAMELESS, TEMPERED, 3/8" GLASS, VERIFY W/ OWNER.
- SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE ADJUSTED TO 120 DEGREES MAXIMUM.
- ALL SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISHED INTERIOR OF 102.0 IN. IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING OF 30 INCH CIRCLE.
- LAUNDRY ROOM HOOK-UPS AND CONNECTIONS, CABINERY & COUNTERTOPS, VERIFY SELECTIONS, APPLIANCES SPECS, ETC. PER OWNER.
- LOWERED CEILING AT HALLWAY AND SECONDARY SPACES, FOR MECHANICAL DUCTING PATHWAYS, VERIFY FINAL FINISHED CEILING HEIGHTS TO COORDINATE WITH MECHANICAL DESIGN PRIOR TO CONSTRUCTION.
- AT TOP OF USABLE SPACES BELOW STAIRS, PROVIDE 5/8" TYPE "X" GYP BO. FOR ONE HOUR FIRE PROTECTION.
- INTERIOR AND EXTERIOR STEPS NOT TO EXCEED 7/8"

CALIFORNIA ENERGY CODE REQUIREMENTS FOR NEW HOMES:

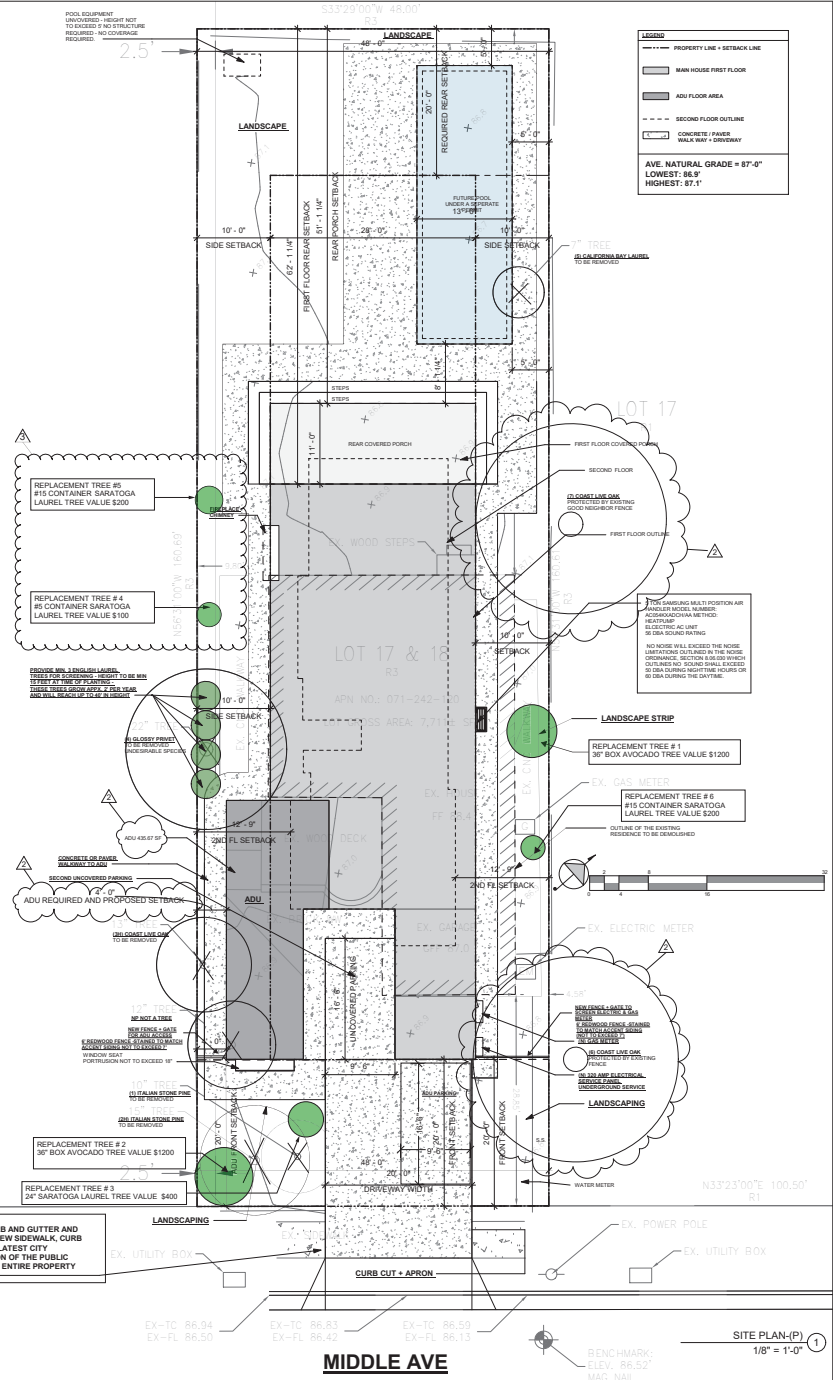
- PER CEC 150(C), PROVIDE CONTINUOUS MECHANICAL WHOLE HOUSE EXHAUST OR SUPPLY VENTILATION WITH OUTSIDE AIR PER MINIMUM LEVELS IN TABLE 4.1A OR EQUATION 4.1A, FOR COMPLIANCE WITH ASHRAE STANDARD 62.2 FOR INDOOR AIR QUALITY IN LOW RISE RESIDENTIAL.
- PER EQUATION 4.1A: (CONDITIONED AREA 0.03) + (7.5 X (# BEDROOMS + 1)) + (2716.65 X 0.03) + (7.5 X (4+1)) = 119.0 CFM
- INSTALL (2) PANASONIC WHISPER GREEN PCK-A10-LED SPEED SELECTOR WITH TOP FLOW PAN @ 90 CFM VENTILATION FAN AT TWO LOCATIONS. SET SPEED AT 62 CFM EACH AND HAVE THEM FULLTIME OPERATED AND TO PROVIDE A LABEL AT FAN CONTROL SWITCH READING: "FAN TO BE LEFT ON FOR INDOOR AIR QUALITY".
- VERIFY ALL HARDSCAPE AT LANDSCAPE LAYOUTS AND FINISHES WITH OWNER.
- EXTERIOR WALLS: PAINTED HARDYBOARD BOARD AND BATTEN, (VERIFY SELECTIONS/OPTIONS W/ OWNER) 2X6 WALL FRAMING AT EXTERIOR INSULATED WALLS FOR R-21 ENVELOPE. SEE STRUCTURAL PLANS FOR SHEAR WALL AND HOLD-DOWN LOCATIONS & NAILING. INTERIOR WALLS: 5/8" GYP BO. ON 2X4 STUDS @ 16" O.C. U.N.O. SEE STRUCTURAL PLANS FOR SHEAR WALL AND HOLD-DOWN LOCATIONS & NAILING. (2X6 MIN. AT PLUMBING WALLS) 5/8" TYPE "X" GYPSUM BOARD AT ALL GARAGE SEPARATION WALLS & CEILING IN ENCLOSED SPACE UNDER STAIRS.
- ALL WINDOWS & FRENCH DOORS TO BE WOOD FRAME, ALUMINUM CLAD, DUAL-PANE, AS SHOWN ON ELEVATIONS. PROVIDE TEMPERED GLASS ALL GLAZING WITHIN 24" OF A DOOR OR WITHIN 18" OF FINISHED FLOOR.
- PROVIDE TEMPERED GLAZING AT WINDOWS AT SHOWERS AND ABOVE BATHTUBS.
- FRAMING CONTRACTOR SHALL ELECTRICAL, MECHANICAL & STRUCTURAL PLANS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CEILING JOISTS TO ACCOMMODATE LIGHT GAS, PLUMBING, MINIMIZE HEADING OFF, CENTER FLOOR REGISTERS W/ DOORS, ALIGN CHUTES & CHASES, ETC.
- SEE ALSO DIMENSION PLAN SHEETS. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF WINDOW/DOOR, TYP. U.N.O. VERIFY ALL CRITICAL DIMENSIONS AT EXISTING ELEMENTS IN FIELD PRIOR TO FRAMING. ANY CONFLICTS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO FURTHER PROGRESS. VERIFY FINISH SELECTIONS, BASEBOARD, CEILING TRIM, AND DOOR & WINDOW CASINGS W/ OWNER IN FIELD.
- PROVIDE BLOCKING AS NECESSARY.
- VERIFY PAINT AND COLOR SECTIONS W/ OWNER IN FIELD. MECHANICAL CONTRACTOR TO VERIFY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. WITH FRAMING CONTRACTOR DURING FOUNDATION WORK, PRIOR TO FRAMING. PLACE DUCTS OUT OF THE WAY IN ATTICS, CRAWLSPACES, ETC.
- ALL UNDERGROUND AND ABOVE-GROUND WATERPROOFING & FLASHING DETAILS PER WATERPROOFING SPECIALIST SUBCONTRACTOR.
- BUILDING ADDRESSES FOR MAIN BUILDING & ADU SHALL COMPLY WITH SECTION R19.1 CRC.
- REQUIRED FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER R19.2.11 CRC.
- ALL SHOWERS DOORS TO BE MINIMUM 27" WIDE, AND TO SWING OUT OF THE SHOWER STALL.
- PROVIDE 10 CYSTON DRILL WALLS FOR ENCLOSED USABLE SPACES UNDER STAIRS.
- ALL GUARDRAILS TO HAVE A MINIMUM HEIGHT OF 42"
- TYNEX HOMEWARR, PAVES ALL SLOPE MATERIAL.
- THE MAXIMUM SPACING OF PICKETS IS 4" ON CENTER. THE SPACE BETWEEN THE BOTTOM RAIL OF THE GUARD SHALL NOT EXCEED 4".
- BASEMENT CONSTRUCTION: ALL WOOD IN CONTACT WITH BASEMENT WALLS ARE REQUIRED TO BE PRESSURE TREATED AND PROPERLY FIRE BLOCKED.
- REQUIRED FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER R19.2.11 CRC.
- NEW ADDRESS TO BE PROVIDED 99A E PORTOLA AVE. TO BE ASSIGNED TO THE ADU AND POSTED VISIBLY AND CLEARLY PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE UNIT.
- THE ADU UNIT SHALL HAVE AN INDEPENDENT ELECTRICAL, PLUMB, SEWER, AND WATER SUPPLY.
- ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING TO ALLOW THE R-19 INSULATION PER ENERGY CALCULATIONS.
- CONTRACTOR TO PROVIDE LANDINGS OUTSIDE OF ALL EXTERIOR DOORS WITH MINIMUM WIDTH OF 36". MAXIMUM STEP OUTSIDE OF THE DOOR TO BE 7/8".
- CONTRACTOR TO PROVIDE 1/2" GYPSUM BOARD TO BE INSTALLED ON THE GARAGE SIDE EXTENDING TO THE UNDERSIDE OF THE ROOF SHEATHING PER TABLE R19.2.2 CRC.
- THE GARAGE DOOR BETWEEN DWELLING UNIT TO BE A MINIMUM 1-1/2" SOLID CORE WITH A SELF CLOSER OR A 20 MINUTES MINIMUM RATED ASSEMBLY.
- EGRESS WINDOW & DOORS - CRC 310 NOTE. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE:
 - THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR.
 - PAPER AND A CONTINUOUS WEED SCREEN PER SECTION R703.12.2 CRC.
 - MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5.0 AT GRADE LEVEL) NOTE: IN ORDER TO MEET THE MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, EITHER THE WIDTH OR HEIGHT, OR BOTH, MUST EXCEED THE MINIMUM DIMENSION.
 - THE NET CLEAR OPENING DIMENSIONS REQUIRED SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE.
- ALL NEW STUCCO INSTALLATION TO BE A MINIMUM 3-COAT SYSTEM WITH (2) LAYERS OF GRADE D PAPER AND A CONTINUOUS WEED SCREEN PER SECTION R703.12.2 CRC.
- ADHERED VENEER TO COMPLY WITH SECTION R703.12.2 CRC WITH REQUIRED FLASHING PER SECTION R703.12.2 CRC.
- COOL ROOF TO BE INSTALLED AS PER TITLE 24 CALCULATIONS.
- ALL GRADING, EARTHWORK, FOUNDATION PREPARATION, AND DRAINAGE SUBJECT TO RECOMMENDATIONS IN THE SOILS REPORT BY ACHIEVEMENT ENGINEERING CORP. SOILS ENGINEER SHALL OBSERVE THE FOOTING EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING STEEL TO CONFIRM THAT THE FOUNDATIONS ARE FORMED IN UNDISTURBED, FIRM NATURAL SOILS AND AT THE MINIMUM DEPTH OR DEEPER.
- SEE CIVIL DRAWINGS FOR ALL GRADING AND DRAINAGE WORK, UTILITY CONNECTIONS AND DETAILS, VERIFY ALL HARDSCAPE AND SITE FINISH MATERIALS AND SELECTION WITH OWNER PRIOR TO CONSTRUCTION. SEE LANDSCAPE PLANS FOR ALL NEW PAINTING AND IRRIGATION SYSTEMS. MAINTAIN MINIMUM 3% SLOPE AWAY FROM FOUNDATION AT LANDSCAPE AREAS. MINIMUM 2% SLOPE AWAY AT PAVED AREAS WITHIN 4' OF STRUCTURE. SETBACK VERIFICATION WILL BE REQUIRED BY A LICENSED SURVEYOR OR CIVIL ENGINEER TO VERIFY THE LOCATION OF STRUCTURE ON THE PROPERTY AND DOCUMENTATION SHALL BE SUBMITTED TO THE CITY BUILDING DEPARTMENT PRIOR TO FOUNDATION INSPECTION. VERIFY SPERATE ENCROACHMENT PERMIT APPROVALS PER CITY FOR ANY WORK WITHIN THE RIGHT OF WAY.
- BEFORE EXCAVATION CALL USA. CONTRACTOR IS RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2800. 48 HOURS PRIOR TO ANY CONSTRUCTION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOBSITE. LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURAL OBSERVATION AND/OR RECORDS OF THE CONTROLLING AGENCY. SAFARI DESIGN GROUP GROUP DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.
- EGRESS WINDOW & DOORS - CRC 310 NOTE. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE:
 - THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR.
 - MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20".
 - MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5.0 AT GRADE LEVEL)
 - NOTE: IN ORDER TO MEET THE MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, EITHER THE WIDTH OR HEIGHT, OR BOTH, MUST EXCEED THE MINIMUM DIMENSION (SEE FIGURE BELOW). THE NET CLEAR OPENING DIMENSIONS REQUIRED SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE.
 - SHOWER WALLS SHALL BE CONCRETE TO 12" PER SECTION R19.2.11 CRC.
 - SAFETY GLASS REQUIRED WINDOWS AND DOORS TO BE LABELED WITH SG.
 - R11.1.7.1 WIDTH: STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) INCHES CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 412 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY AND THE CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 3112 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (688 MM) WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES R11.2.2 HEADROOM: THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
 - ALL HANDRAILS TO BE CONTINUOUS FOR ALL STAIRS OR STEPS WITH 4 OR MORE RISERS.
 - R13 WALLS - WINTER DESIGN U VALUE 0.101. 1" AIR GAP BETWEEN 12" CONCRETE PARAMETER PROPERLY FIRE BLOCKED. ANY WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
 - FINISH FLOORING MATERIAL SHALL BE INSTALLED A COMPLETED PRIOR TO FRAME INSPECTION, APPLICABLE TO ADU & MAIN HOUSE

SITE ANALYSIS ZONING R1-1.5	
LOT AREA:	7711.275'
ALLOWABLE FLOOR AREA:	2,977.85 SF
111.27 X 20% = 142.25 + 2800	2,942.25 SF
NO ATTIC SPACE OVER 5'	
PROPOSED FIRST FLOOR AREA:	1,722.09 SF
PROPOSED SECOND FLOOR AREA:	1,126.82 SF
TOTAL PROPOSED FLOOR AREA:	2,979.61 SF
ADU COVERAGE & FAL EXEMPT	435.67 SF
TOTAL PROPOSED BUILDING ADU:	3,412.28 SF
COVERED REAR PORCH:	308.00 SF
COVERED FRONT PORCH:	0 SF
LAND COVERED BY STRUCTURES:	29.33%
LANDSCAPING:	51.4%
PAVED SURFACES:	22%
PARKING SPACES 1 COM/1 UNCOVERED	
ALL GRADES TO REMAIN NATURAL	



SOUND BLANKET TO LOWER AC SOUND RATING BY 5 DBA

NOTE: DAMAGES TO THE SIDEWALK, CURB AND GUTTER AND THE APPLICANT SHALL FURNISH NEW SIDEWALK, CURB AND GUTTER, PURSUANT TO THE LATEST CITY STANDARDS, TO THE SATISFACTION OF THE PUBLIC WORKS DEPARTMENT ALONG THE ENTIRE PROPERTY FRONTAGE.



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Revision No. 3 Date 05.29.2022

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Job Address 1262 MIDDLE AVE. MENLO PARK, CA

Date 07.11.2022

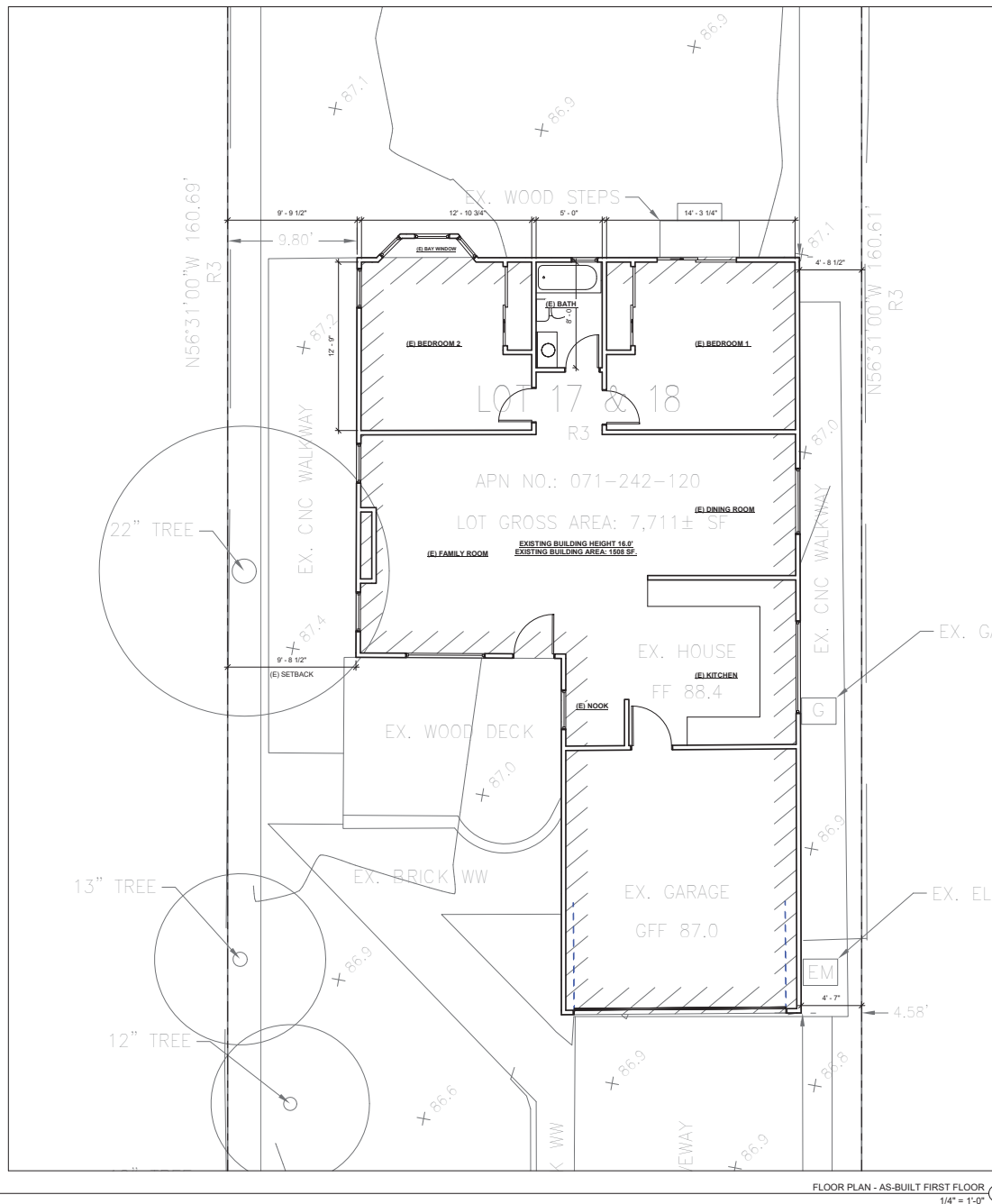
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Scale 1/8" = 1'-0"

Sheet Title SITE PLAN

Sheet No. A1.00



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Author Checker

Scale
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Sheet Title
EXISTING FLOOR PLAN (D)

Sheet No.

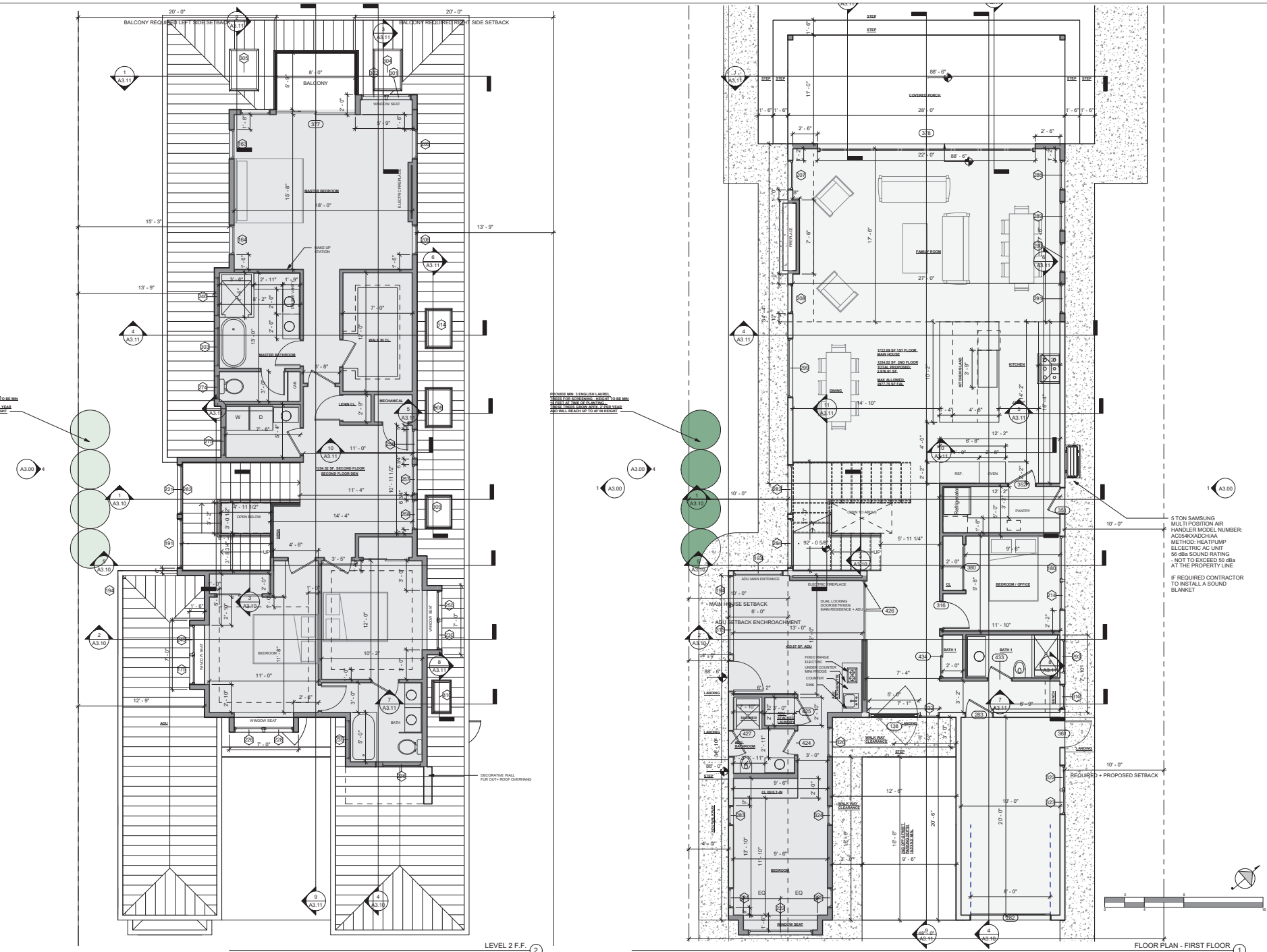
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Salvo

A2.12





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Job No.
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Author: Checker

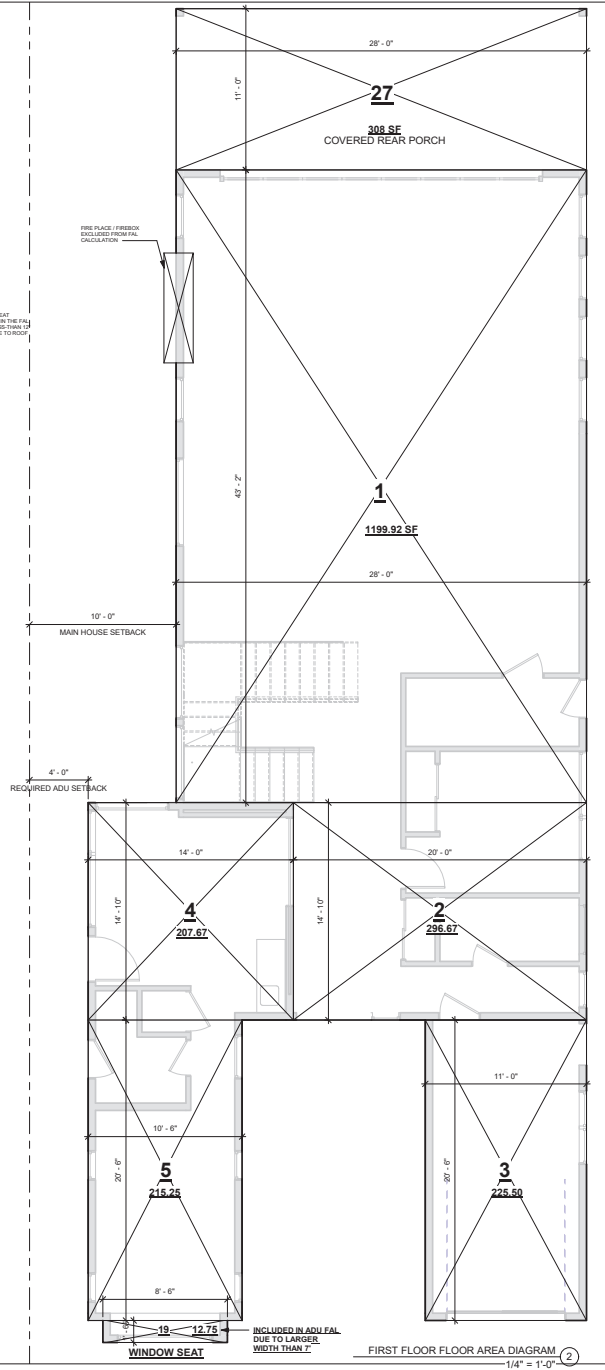
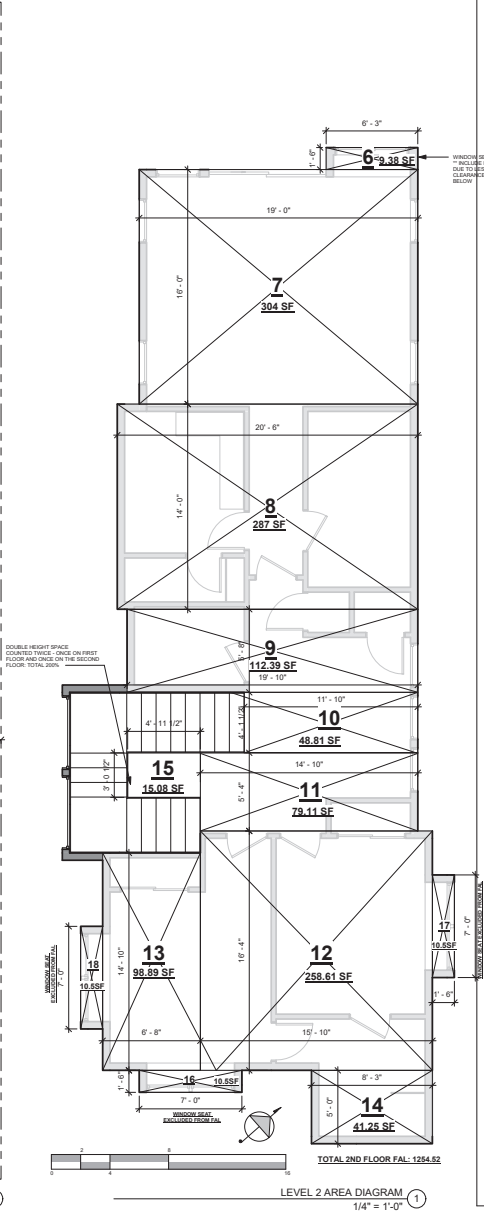
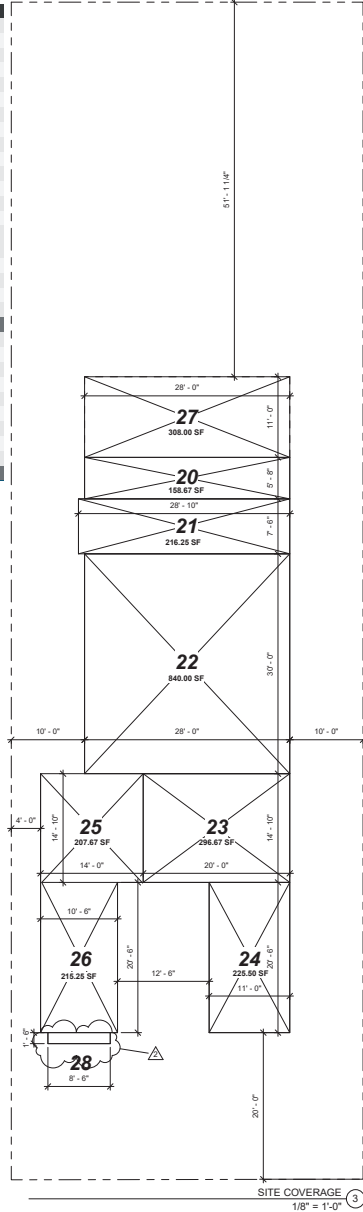
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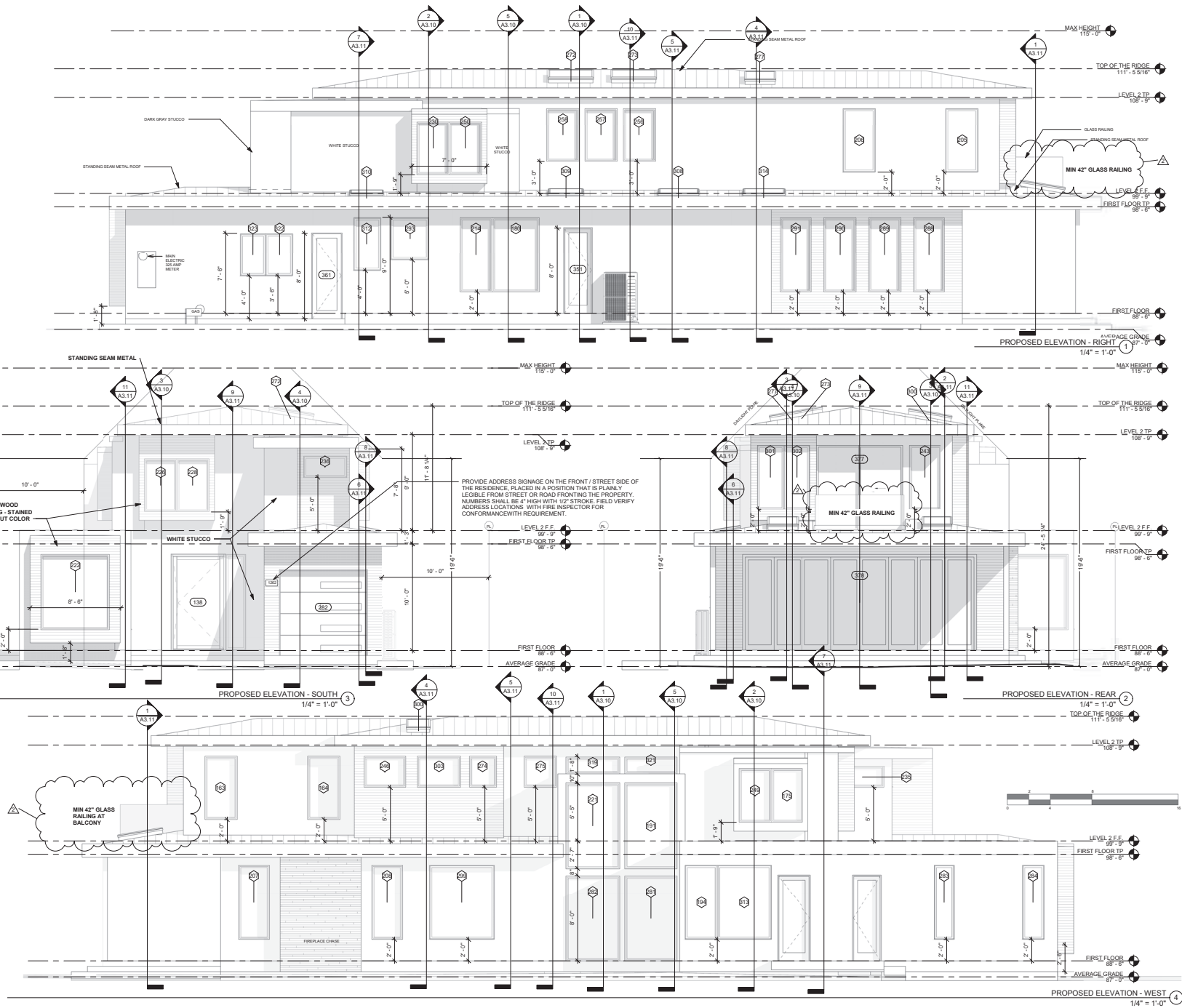
Sheet Title
FLOOR AREA DIAGRAM

Sheet No.

A2.14

AREA #	WIDTH	LENGTH	SQUARE FOOTAGE	FAL	TOTAL
1	20'-0"	43'-0"	1199.92	YES	
2	20'-0"	14'-10"	296.07	YES	
3	17'-0"	20'-0"	235.5	YES	1ST FL. = 1732.69 SF MAIN HOUSE
4 ADU	14'-0"	14'-10"	207.67	YES ADU	
5 ADU	20'-0"	10'-0"	212.25	YES ADU	
6 ADU	14'-0"	8'-0"	112.25	YES ADU	1ST FL. = ADU = 212.67
7	19'-0"	15'-0"	285	YES	TOTAL ADU = 435.67 SF
8	20'-0"	14'-0"	280	YES	
9	19'-0"	5'-0"	95	YES	
10	11'-0"	4'-11"	48.81	YES	
11	14'-0"	5'-0"	70.11	YES	
12	15'-0"	10'-0"	150.00	YES	
13	8'-0"	14'-10"	119.92	YES	TOTAL 2ND FL. = 1254.82
14	8'-0"	5'-0"	40.00	YES	TOTAL 2ND FL. = 1254.82
15	4'-11"	3'-0"	15.00	YES - DOUBLE HEIGHT SPACE AT STAIRS	
16	1'-0"	7'-0"	7.00	NO - WINDOW SEAT	
17	1'-0"	7'-0"	7.00	NO - WINDOW SEAT	
18	1'-0"	7'-0"	7.00	NO - WINDOW SEAT	
19	1'-0"	7'-0"	7.00	NO - WINDOW SEAT	
20	20'-0"	11'-0"	220.00	YES - REAR COVERED PORCH	
21	20'-0"	5'-0"	100.00	YES - MAIN HOUSE 1ST FL.	
22	20'-0"	7'-0"	140.00	YES - MAIN HOUSE 1ST FL.	
23	20'-0"	20'-0"	400.00	YES - MAIN HOUSE 1ST FL.	
24	20'-0"	14'-10"	296.07	YES - MAIN HOUSE 1ST FL.	
25	17'-0"	20'-0"	235.5	YES - MAIN HOUSE 1ST FL.	
26 ADU	14'-0"	14'-10"	207.67	YES - ADU	
27 ADU	10'-0"	20'-0"	200.00	YES - ADU	
28 ADU	8'-0"	14'-0"	112.00	YES - ADU	
TOTAL COVERAGE			2274.76	28.86%	





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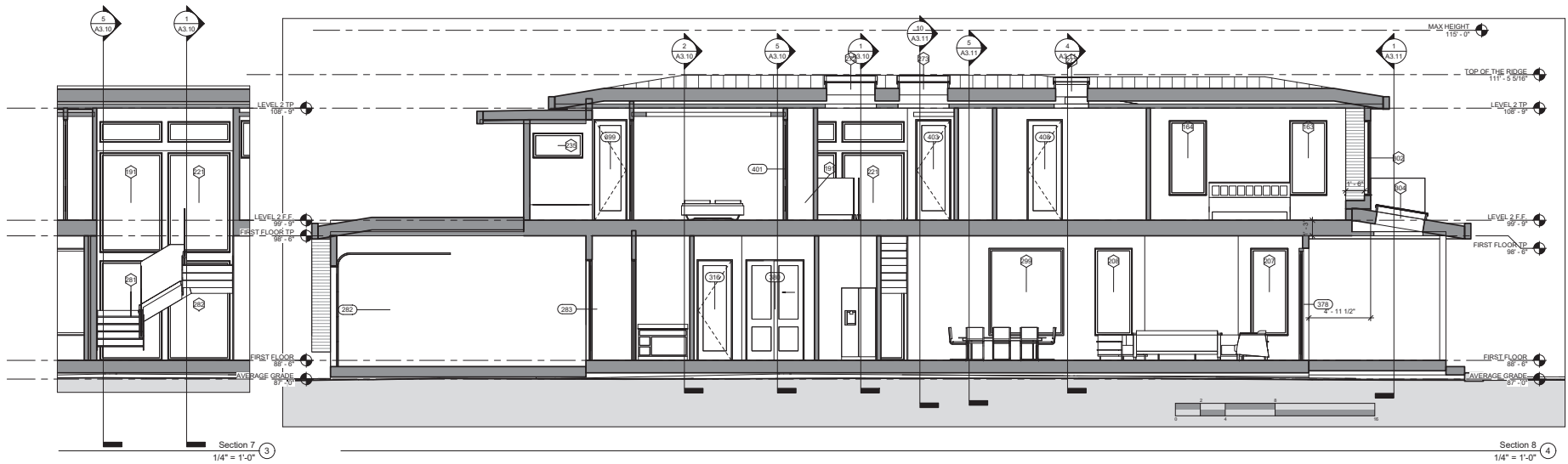
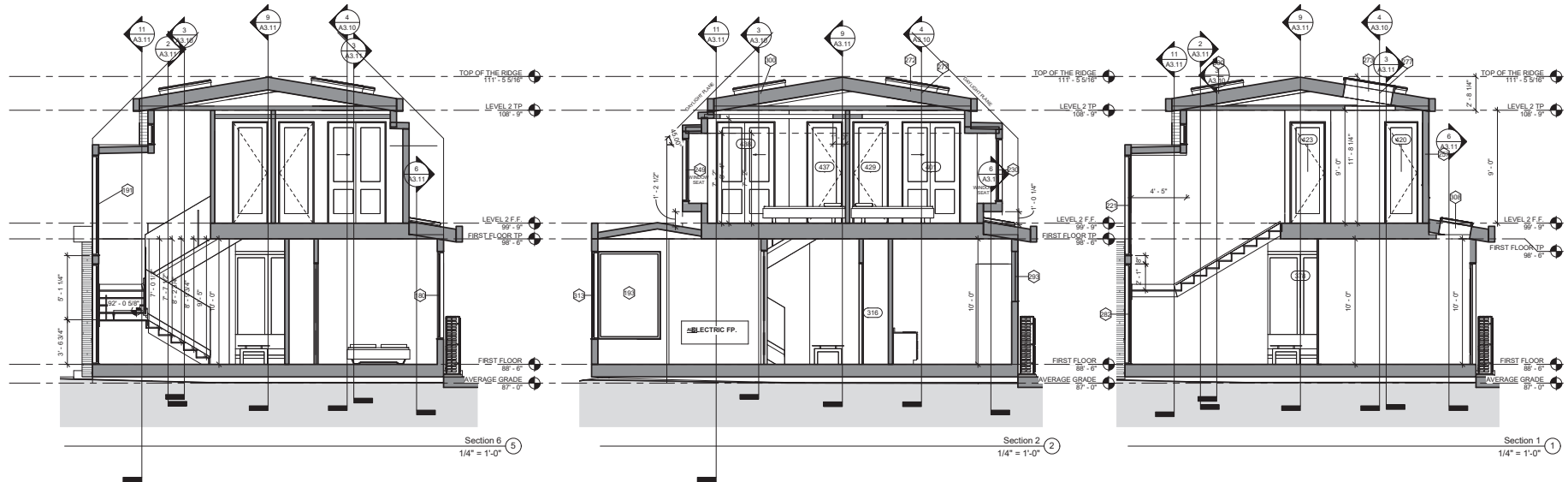
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Scale
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Sheet Title
EXTERIOR ELEVATIONS

Sheet No.

A3.00



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Scale
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Sheet Title
(P) BUILDING SECTIONS

Sheet No.

A3.10



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1262 MIDDLE AV.

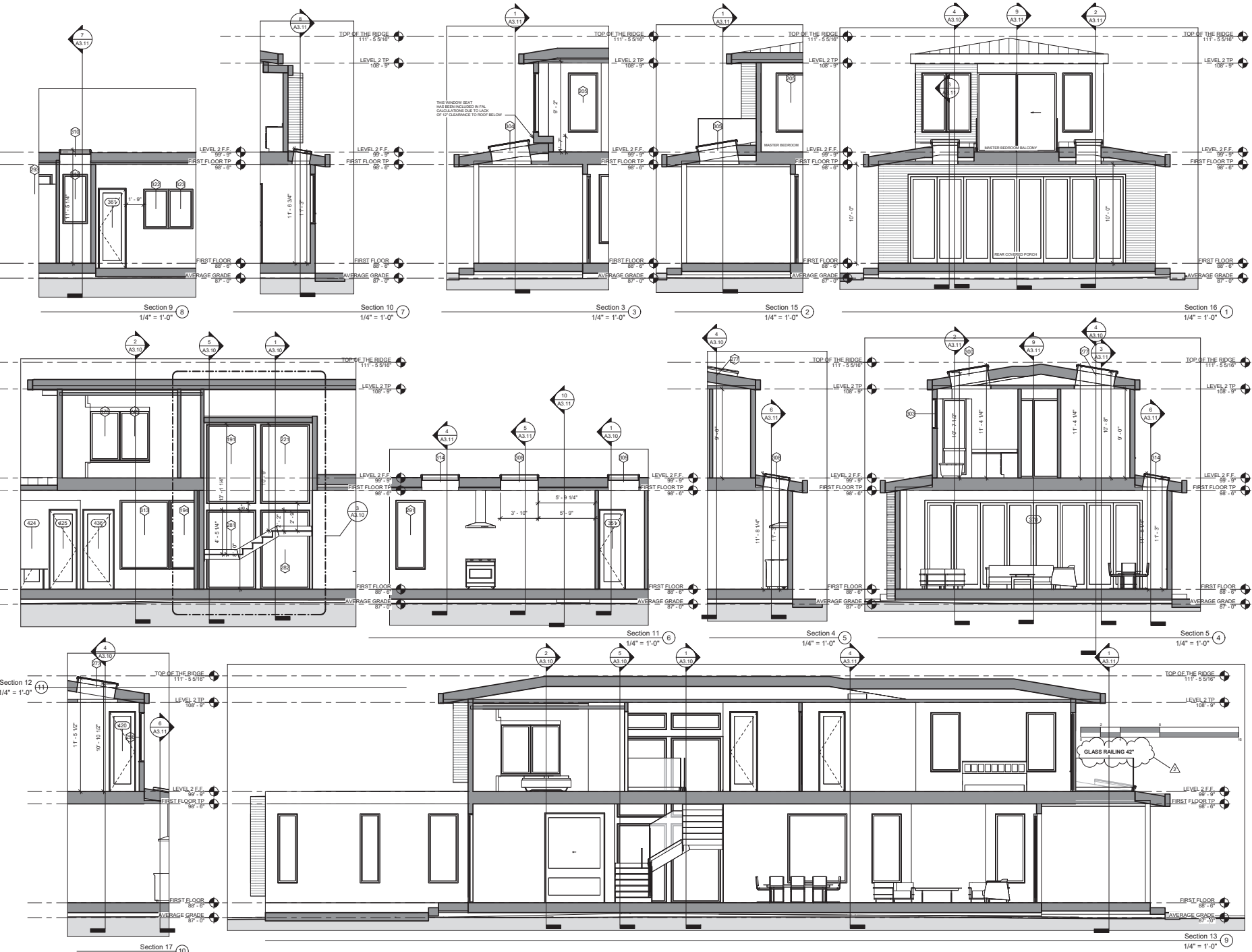
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Author Checker

Scale
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Sheet Title
ADDITIONAL SECTIONS

Sheet No.

A3.11



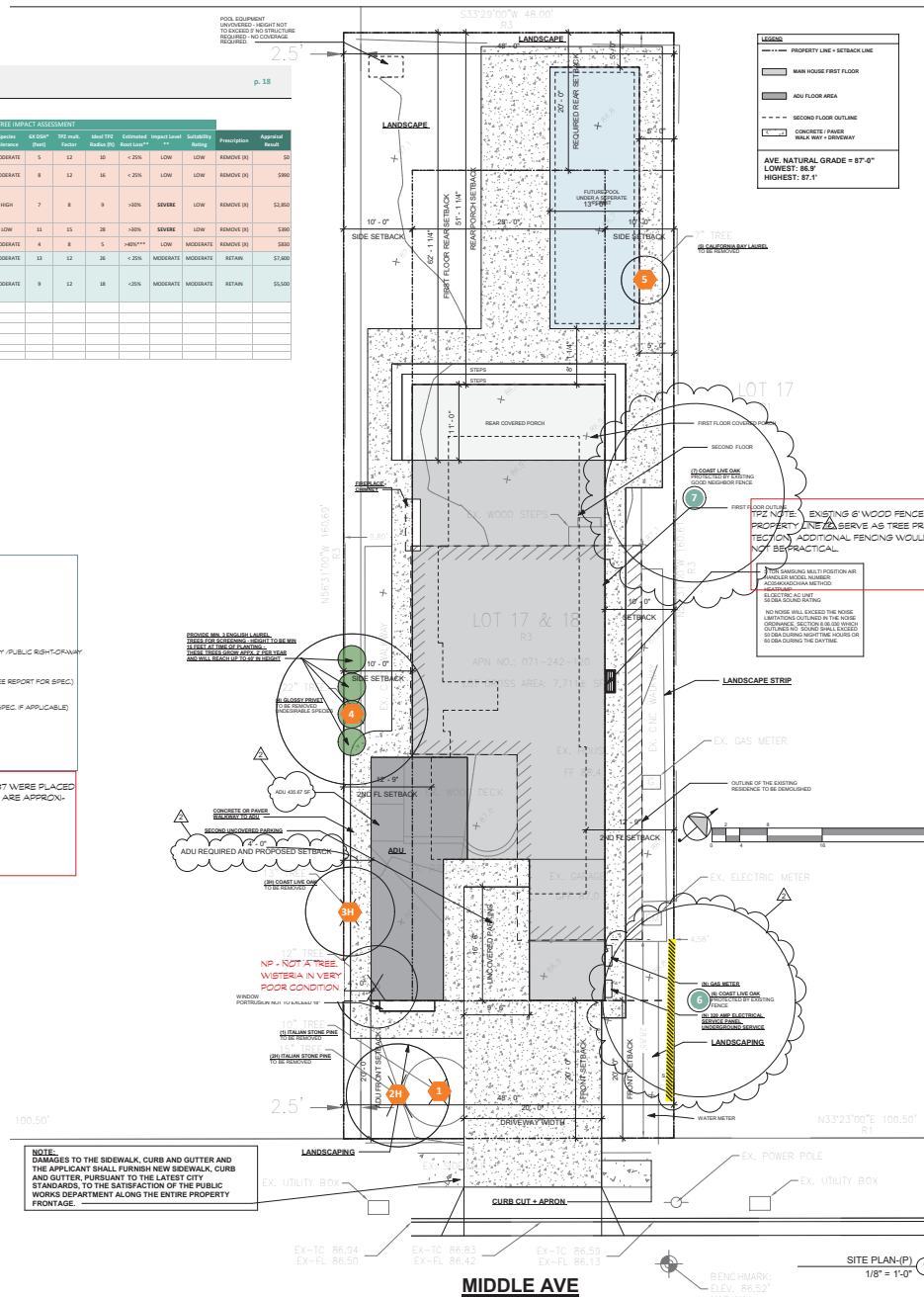
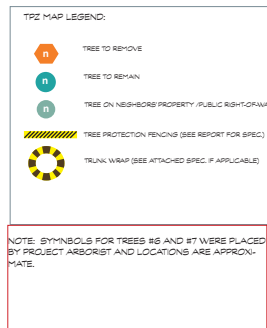
[illegible]

* EX DBH is recognized by tree care industry best practices as the distance from trunkface to a cut across the root plate that would result in a loss of approximately 25% of the root mass. Cuts closer than this may result in tree decline or instability.

^aBased on approximate distance to excavation and extent of excavation (as shown on plans).^aImpact level assuming all basic and special tree protection measures are followed.

*** Based on anticipated impact to tree from pool project under separate review. Impact to tree from this phase of the project would be "low" with root loss of $\leq 30\%$.

Appraisal calculations summary available upon request.



p. 17

1. That the statements of fact contained in this plant appraisal are true and correct.

1. That the statements of fact contained in this plant appraisal are true and correct.
2. That the appraisal analysis, opinions, and conclusion are limited only by the reported assumption and limiting conditions, and that they are my personal, unbiased professional analysis, opinions, and conclusions.
3. That I have no present or prospective interest in the plants that are the subject of this appraisal, and that I have no personal interest or bias with respect to the parties involved.
4. That my compensation is not contingent upon a predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event.
5. That my analysis, opinions, and conclusions are developed, and this appraisal has been prepared, in conformity with the *Guide for Plant Appraisal* (10th edition, 2000) authored by the Council of Tree and Landscape Appraisers.
6. That the methods found in this appraisal are based on a request to determine the value of the plants considering reasonable factors of plant appraisal.
7. That my appraisal is based on the information known to me at this time. If more information is disclosed, I may have further opinions.

Dr. Johnson

ISA Certified Arborist WE-#8525A

04/14/2022



BO FIRESTONE TREES & GARDENS
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2150 LACEY DR., MILPITAS, CA 95035
E: BUSARA@BOFIRESTONE.COM P: (408) 497-7158
WWW.BOFIRESTONE.COM



TREE PROTECTION ZONE MAP

12662 MIDDLE AVENUE, MENLO PARK, CA



DATE:
4/14/22

TPZ ELEMENTS DRAWN:
B. FIRESTONE
ISA-CERTIFIED ARBORIST
#WE-8525A

BASE MAP: SITE PLAN A1
by SAFAEI DESIGN GROUP
(04.10.2022)

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Introduction

ARBORIST ASSIGNMENT

As Project Arborist, I visited the site of the proposed home building project at 1262 Middle Avenue, Menlo Park on December 15th, 2021. It was my understanding that the existing single-story house would be demolished and a new two-story home with attached ADU and garage would be built in its place. The assessments in this report were based on review of Plan Set Sheets A0.01 – A3.10 dated 01.01.2022 **revised 4.10.2022** by Safaei Design Group. These included the existing site survey, Site Plan (A1.00), floor plans, and elevations.

My inventory included a total of seven (7) trees over six inches (6" DBH). There were five (5) trees of Heritage size: one (3) coast live oak (*Quercus agrifolia*), one (1) Italian stone pine (*Pinus pinea*) in "very poor" condition, and one (1) "undesirable species" (glossy privet, *Ligustrum lucidum*). Five (5) trees on the property were requested for removal. Two (2) neighboring oak trees would require protection measures. All other neighboring trees were sufficiently distant from the work (>10x dbh).

USES OF THIS REPORT

According to City Ordinance, any person who conducts grading, excavation, demolition, or construction activity on a property to do so in a manner that does not threaten the health or viability or cause the removal of any Heritage Tree. **Any work performed within an area 10 times the diameter of the tree (i.e., the tree protection zone) requires the submittal of a tree protection plan for approval by the City before issuance of any permit for grading or construction.**

This report was written by Busara Firestone, Project Arborist, to serve as a resource for the property owner, designer, and builder. As needed, I have provided instructions for retaining, protecting, and working around trees during construction, as well as information on City

requirements. *The owner, contractor and architect are responsible for knowing the information included in this arborist report and adhering to the conditions provided.*

City Tree Protection Requirements

Heritage Tree Definition

A "Heritage Tree" is a tree that has protected status by the City of Menlo Park. The City can classify trees with Heritage status for their remarkable size, age, or unique value. However, in general, native oaks of 10 inches or more, and any tree having a trunk with a diameter of 15 inches or more has Heritage status (measured at 54 inches above natural grade, or at the branching point for multi-trunk trees).

Construction-Related Tree Removals

According to the City of Menlo Park, applicants are required to submit a site plan with the Heritage Tree Removal Application Permit even if they have submitted a site plan to the City for a planning or building permit. The site plan facilitates the review by the City Arborist.

For removals of two or more trees, applicants shall be required to submit a planting plan indicating the species, size and location of the proposed replacement trees on a site plan. Heritage Tree Permits related to Construction will also be charged for City-retained arborist expenses.

Violation Penalties

Any person who violates the tree protection ordinance, including property owners, occupants, tree companies and gardeners, could be held liable for violation of the ordinance. The

ordinance prohibits removal or pruning of over one-fourth of the tree, vandalizing, mutilating, destruction and unbalancing of a heritage tree without a permit.

If a violation occurs during construction, the City may issue a stop-work order suspending and prohibiting further activity on the property until a mitigation plan has been approved, including protection measures for remaining trees on the property. Civil penalties may be assessed against any person who commits, allows or maintains a violation of any provision of the ordinance. The fine will be an amount not to exceed \$5,000 per violation, or an amount equivalent to the replacement value of the tree, whichever is higher.

Impacts on Protected Trees

SITE DESCRIPTION

The property at 1262 Middle Avenue was a narrow rectangular lot. The topography was not notable. There was a house with attached garage on-site with a driveway on the right-hand side. The tree stock was a mix of older trees and plants in poor condition and naturally occurring natives.

TREE INVENTORY

This tree preservation plan includes an attached inventory of all trees on the property regardless of species, that were at least 12 feet tall and 6-inch DBH.

This inventory also includes as necessary, any neighboring Heritage Trees with work proposed within 10 times their diameter (DBH). Any street trees within the public right-of-way were also included, regardless of size, as required by the City.

The inventory includes each tree's number (as shown on the TPZ map), measurements, condition, level of impact (due to proximity to work), tolerance to construction, overall

suitability for conservation, and prescription (remove/retain). The inventory also includes the appraised value of each tree using the Trunk Formula Method (10th Edition).

PROJECT DESCRIPTION

After review of proposed plan set **revised 4.10.2022**, by Safaei Design Group), it was my understanding the existing single-story house would be demolished and a new two-story home with attached ADU and garage would be built in its place. Please see attached Tree Protection Pan Map / Site Plan A1.00.

HOW CONSTRUCTION CAN DAMAGE TREES

Damage to Roots

Where are the Roots?

The most common types of injury to trees that occur during property improvements are related to root cutting or damage. **Tree roots extend farther out than people realize, and the majority are located within the upper 24 inches of soil.** The thickest roots are found close to the trunk, and taper and branch into ropery roots. These ropery roots taper and branch into an intricate system of fine fibrous roots, which are connected to an even finer system of fungal filaments. This vast below-ground network is tasked with absorbing water and nutrients, as well as anchoring the tree in the ground, storage, and communication.

Damage from Excavation

Any type of excavation will impact adjacent trees by severing roots and thus cutting off the attached network. Severing larger roots, or trenching across the root plate, destroys large networks. Even work that appears to be far from a tree (like on the far side of the yard), will impact the fibrous root system where excavation is taking place. Placing impervious surface over the ground, or installing below ground structures, such as a pool, or basement wall, will remove rooting area permanently from a site.

- o If the incremental cost of the tree preservation alternative is between 110% and 140% of the appraised value of the tree, public works director or their designee will consider a range of factors, including the value of the improvements, the value of the tree, the location of the tree, the viability of replacement mitigation and other site conditions.
- o In calculating the incremental cost of the tree preservation alternative, only construction costs will be evaluated. No design fees or other soft costs will be considered.

IMPACTS TO NEIGHBORING TREES

Neighboring oak Trees #6H and #7H would be anticipated to sustain root loss and soil disturbance from the following:

- Foundation and driveway demolition work (see guidelines for the demolition work in section titled "Special Tree Protection Measures).
- Trenching for the new foundation
- Excavation for new hardscaping (new driveway and back porch)
- Pruning to achieve vertical clearance.

It appeared to me that since the new improvements would be built at a greater (10') setback from the property line, the anticipated root loss would be no more than 25% and would be acceptable. In my assessment, pruning of no more than 10% of the canopy would be necessary to achieve clearance.

the root plate would be 7' from trunk face (or 7.5' from center). Since Tree #3H would be likely to decline or become unstable as a result of the work, the client requests removal as justified for the economic development of the parcel as per Menlo Park Administrative Guidelines section 13.24.050 Clause a.5. **After discussion with the architect, it was my understanding that the estimated incremental cost of putting a detached ADU in the back yard would be \$45 K. As this is well over 140% the value of the tree, this design alternative was deemed "economically unfeasible" according to Administrative Guidelines. Alternatives were also explored for putting the unit on the opposite side of the lot, which I recommended against as it threatened two larger oak trees (#6 and #7). Changing the shape of the ADU to accommodate the 7' setback resulted in an addition that would not be sufficiently valuable to justify building. Please see comments from Architect for details.**

- Removal of Tree #4 (privet) was Heritage size. However, permit for removal would be justified as per Menlo Park Administrative Guidelines section 13.24.050 Clause a.4 "designated by the city arborist to be invasive or low desirability species."

*Menlo Park Administrative Guidelines for Criterion 5:
The following documentation may be required to support tree removal for economic development:*

- o Schematic diagrams that demonstrate the feasibility/inviability of alternative design(s) that preserve the tree, including utilizing zoning ordinance variances that would preserve the tree.
- o Documentation on the additional incremental construction cost attributable to an alternative that preserves the tree (i.e. construction cost of alternative design minus cost of original design) in relation to the appraised value of tree(s) and based on the most recent addition to the Guide for Plant Appraisal.

The following guidance will be used to determine feasibility:

- o If the incremental cost of the tree preservation alternative is more than 140% of the appraised value of the tree, the cost will be presumed to be financially infeasible.
- o If the incremental cost of the tree preservation alternative is less than 110% of the appraised value of the tree, the cost will be presumed to be financially feasible.

Damage from Fill

Adding fill can smother roots, making it difficult for them to access air and water. The roots and other soil life need time to colonize the new upper layers of soil.

Changes to Drainage and Available Water

Changes to the hydrology of the site, caused for instance by new septic fields, changes to grade, and drainage systems, can also cause big changes in available water for trees. Trees can die from lack of water or disease if their water supply dries up or gets much wetter than they are used to.

Soil Compaction and Contamination

In addition, compaction of soil, or contamination of soil with wash-water, paint, fuel, or other chemicals used in the building process, can cause damage to the rooting environment that can last many years. Tree protection fencing creates a barrier to protect as many roots as possible from this damage, which can be caused by travelling vehicles, equipment storage, and other construction activities that may occur even outside the construction envelope.

Mechanical Injury

Injury from the impact of vehicles or equipment can occur to the root crown, trunk, and lower branches of a tree. The bark protects a tree – creating a skin-like barrier from disease-causing organisms. The stem issues are in charge of supporting the weight of the plant, and conducting the flow of water, sugars, and other important compounds throughout the tree. When the bark and wood is injured, the structure and health of the tree is compromised.

IMPACTS TO HERITAGE TREES

SUMMARY

Four (4) Heritage Trees would be impacted by the project: one (1) coast live oak (*Quercus agrifolia*) and one (1) Italian stone pine (*Pinus pinea*) on the property, and two (2) coast live oak on the neighboring property to the east. There was also a tree of "undesirable species." All

TREE PROTECTION ZONE MAP

1262 MIDDLE AVENUE, MENLO PARK, CA



DATE
1/3/22

TPZ ELEMENTS DRAWN BY
B. FIRESTONE
ISA-CERTIFIED ARBORIST
#WE-8525A

BASE MAP: SITE PLAN A1.00
by SAFAEI DESIGN GROUP
(01.01.2022)

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Tree Protection Recommendations

PRE-CONSTRUCTION

Establish Tree Protection Zones (TPZ)

The Tree Protection Zone (TPZ) shall be a fenced-off area where work and material storage is not allowed. They are established and inspected prior to the start of work. This barrier protects the critical root zone and trunk from compaction, mechanical damage, and chemical spills.

Tree protection fencing is required to remain in place throughout construction and may only be moved or removed with written authorization from the City Arborist. The Project Arborist may authorize modification to the fencing when a copy of the written authorization is submitted to the City.

The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits.

Specific recommended protection for trees is as follows:

- **Trees #6 (oak):** Protect with standard six-foot chain-link TPZ I chain-link fencing along the property line. See attached "TPZ Map" for recommended fencing locations.
- **Trees #7 (oak):** These neighboring trees are partially protected by the existing (6') wooden property fence. Additional fencing would not be practical. Please see "Special Tree Protection Measures" for further guidelines for building around these trees.

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POST-CONSTRUCTION

Ensure any mitigation measures to ensure long-term survival including but not limited to:

Continued Tree Care

Provide adequate and appropriate irrigation. As a rule of thumb, provide 1-2 inches of water per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of the tree roots. Native oaks usually should not be provided supplemental water during the warm, dry season (June – September) as this activates oak root fungus. Therefore, native oaks should only be watered October – May when rain has been scarce.

Mulch insulates the soil, reduces weeds, reduces compaction, and promotes myriad benefits to soil life and tree health. Apply four inches of wood chips (or other mulch) to the surface of the soil around trees, extending at least to the dripline when possible. Do not pile mulch against the trunk.

Do not fertilize unless a specific nutrient deficiency has been identified and a specific plan prescribed by the project arborist (or a consulting arborist).

Post-Construction Monitoring

Monitor trees for changes in condition. Check trees at least once per month for the first year post-construction. Expert monitoring should be done at least every 6 months or if trees show signs of stress. Signs stress include unseasonably sparse canopy, leaf drop, early fall color, browning of needles, and shoot die-back. Stressed trees are also more vulnerable to certain diseases and pest infestations. Call the Project Arborist, or a consulting arborist if these, or other concerning changes occur in tree health.

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TPZ FENCING SPECIFICATIONS:

- 1) Establish tree protection fencing radius by installing six (6)-foot tall chain link fencing mounted on eight (8)-foot tall, two (2)-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart.
- 2) Post signs on the fencing stating, "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST."

Preventing Root Damage

Anywhere workers and vehicles will be traveling over bare ground within fifteen feet of a tree's dripline should have material applied over the ground to disperse the load. This may be done by applying a six to 12-inch layer of wood chip mulch to the area. With this method, mulch in excess of four inches would have to be removed after work is completed. As an alternative method that would not require mulch removal, the contractor could place plywood (>3/4-inch-thick) or road mats over a four-inch layer of mulch. Mulch should be spread manually so as not to cause compaction or damage.

Pruning Branches

Branches must be pruned to allow clearance for proposed structures and the passage of workers, vehicles, and machines. Any large dead branches should be pruned out for the safety of people working on the site.

I recommend that each tree that designated to remain shall be pruned as necessary to provide clearance for development, while maintaining a natural appearance. All tree pruning (or removal) activities shall be performed prior to the beginning of any demolition or development.

Pruning should be specified in writing adhering to ANSI A300 Pruning Standards and performed according to Best Management Practices endorsed by the International Society of Arboriculture. Pruning should be performed by a licensed and insured tree contractor and supervised by an ISA-certified arborist or an ASCA-Registered Consulting Arborist. **Any property**

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City Arborist Inspection

A final inspection by the City Arborist is required at the end of the project. This is to be done before Tree Protection Fencing is taken down. Replacement trees should be planted by this time as well.

Conclusion

The home building project planned at 1262 Middle Avenue appeared to be a valuable upgrade to the property and neighborhood. If any of the parties involved have questions on this report, or require Project Arborist supervision or technical support, please do not hesitate to contact me at (408) 497-7158 or busara@bofirestone.com.

Signed,

Busara (Bo) Firestone | ISA Certified Arborist WE-8525A | ISA Qualified Tree Risk Assessor | ASCA Tree and Plant Appraisal Qualification | Member – American Society of Consulting Arborists

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owner wanting to prune heritage tree more than one-fourth of the canopy and/or roots, must have permission from the City.

Pruning of at least one branch will be necessary to achieve clearance for this project. I have reviewed the proposed pruning as illustrated by the Project Architect and deemed it acceptable. Less than 10% of the canopies of affected trees (#6 and/or #7) will be removed.

Arborist Inspection

The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits. Tree protection fencing to be inspected by City Arborist before demo and/or building permit issuance.

DURING CONSTRUCTION

Special Tree Protection Measures – Trees #6 and #7 (neighboring oak)

Demolition of existing hardscape (driveway and old foundation) should be performed in a manner that avoids tearing roots: Using the smallest effective machinery, break up pieces of the concrete and lift pieces up and away from trees. Cut roots embedded in paving rather than tearing them (see instructions on "Root Pruning"). Work must be done outside the tree protection zone (established by fencing). Dragging concrete or machinery across soil in the TPZ as this would disturb soil and roots.

Root Pruning

Roots often extend farther beyond the tree than people realize. Even outside of the fencing protecting the critical root zone, there are roots that are important to the wellbeing of the tree. Builders may notice torn roots after digging or trenching. If this happens, exposed ends should be cut cleanly.

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Supporting Information

GLOSSARY

Term appear in the order they appear from left to right on the inventory column headings.

DBH / DSH: Diameter at 4.5' above grade. Trees which split into multiple stems at 4.5' are measured at the narrowest point below 4.5'.

Mathematic DBH / DSH: diameter of multitrunked tree, mathematically derived from the combined area of all trunks.

SPREAD: Diameter of canopy between farthest branch tips

TREE STATUS: A "Heritage Tree" is a tree that has protected status by the City of Menlo Park. The City can classify trees with heritage status for their remarkable size, age, or unique value. However, in general, native oaks of 10 inches or more, and any tree having a trunk with a diameter of 15 inches or more has Heritage status (measured at 54 inches above natural grade, or at the branching point for multi-trunk trees).

CONDITION: Ground based visual assessment of structural and physiological well-being:

"Excellent" = 81 - 100%; Good health and structure with significant size, location or quality.

"Good" = 61-80%; Normal vigor, full canopy, no observable significant structural defects, many years of service life remaining.

"Fair" = 41-60%; Reduced vigor, significant structural defect(s), and/or other significant signs of stress

"Poor" = 21-40%; In potentially irreversible decline, structure an aesthetics severely compromised

"Very Poor" = 6-20%; Nearly dead, or high risk of failure, negative contribution to the landscape

"Dead/Unstable" = 0 - 5%; No live canopy/buds or failure imminent

However, the best way to cut roots is to cut them cleanly before they are torn by excavating equipment. Roots may be exposed by gentle excavation methods and then cut selectively. Alternatively, a tool specifically designed to cut roots may be used to cut through the soil on the tree-side of the excavation line prior to digging so that roots are not torn.

Any root pruning must be supervised by the Project Arborist.

Irrigation

Water moderately and highly impacted trees during the construction phase (in this case, Trees #6 and #7). As a rule of thumb, provide one to two inches per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of tree roots. Do not water native oaks during the warm dry season (June – September) as this activates oak root fungus. Instead, make sure that the soil is sufficiently insulated with mulch (where possible). Remember that unsevered tree roots typically extend three to five times the distance of the canopy.

Project Arborist Supervision

I recommend the Project Arborist meet with the builder on-site:

- Soon after excavation
- During any root pruning
- As requested by the property owner or builder to document tree condition and on-going compliance with tree protection plan (I suggest every 6 weeks).

Any time development-related work is recommended to be supervised by a Project Arborist, a follow-up letter shall be provided, documenting the mitigation has been completed to specification.

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IDEAL TPZ RADIUS: Minimum recommended tree protection radius to ensure healthy, sound trees. Based on species tolerance, age, and size (total combined stem area). Compromising the radius in a specific area may be acceptable as per arborist approval.

AGE: Relative to tree lifespan; "Young" <1/3; "Mature" 1/3 - 2/3; "Overmature" >2/3

IMPACT: Anticipated impact to an individual tree including—

SEVERE - In direct conflict, removal necessary if plans proceed (distance to root cuts/fill within 3X dbh)

HIGH - Ideal TPZ significantly encroached upon but could still be retained with monitoring or alternative building methods. Health and structure may worsen even if conditions for retainment are met. May recommend alternative TPZ method due to proximity to work.

MODERATE - Ideal TPZ encroached upon in limited areas. Special building guidelines may be provided by Project Arborist. Although some symptoms of stress are possible, tree is not likely to decline due to construction related activities. May recommend alternative TPZ method due to proximity to work.

LOW - Minor or no encroachment on ideal TPZ. Longevity uncompromised with standard protection.

VERY LOW - Ideal TPZ well exceeded. Potential impact only by ingress/egress. Longevity uncompromised.

NONE - Negligible anticipated impact.

TOLERANCE: General species tolerance to construction (HIGH, MODERATE, or LOW) as given in Managing Trees During Construction, Second Edition, by International Society of Arboriculture

SUITABILITY ASSESSMENT: An individual tree's suitability for preservation considering impacts, condition, maturity, species tolerance, site characteristics, and species desirability. (HIGH, MODERATE, or LOW)

APPRAISAL RESULT: The reproduction cost of tree replacement as calculated by the Trunk Formula Technique.

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TREE PROTECTION ZONE MAP

1262 MIDDLE AVENUE, MENLO PARK, CA

DATE
1/3/22TPZ ELEMENTS DRAWN
B. FIRESTONE
ISA-CERTIFIED ARBORIST
#WE-8525ABASE MAP, SITE PLAN &
by SAFARI DESIGN GROUP
(01.01.2022)REPORT
PG. 18

Subject: 1262 Middle Ave. Menlo Park 94025

Project description:

Proposal the proposal is for a new contemporary – modern single family residence with an attached garage and an attached accessory dwelling unit. The existing single family residence at this location is not in great shape and has a variety of issues. Thus we propose to construct a new single family residence using highest grade materials and finishes to uplift the look and feel of the neighborhood. Architectural style this new residence shall be a contemporary modern house with smooth stucco and high grade faux wood siding exterior with walnut color finish providing warmth and character defining architectural elements of this residence. Windows shall be aluminum clad wood windows with black trim to provide an attractive contrast with the light color stucco and dark fascia board finishes. The basis for site planning and layout is defined by the narrow lot configuration. In order to achieve the highest quality of design and use of space, we are confined by the narrow width of the lot at forty eight feet total width and the twenty feet required side setbacks. Therefore, in order add more character we have developed this design with a carefully placed set of cohesive formal protrusions defining the different types of spaces. In this style of modern architecture, it is common practice to use low-pitch roofs with high grade finish materials such as smooth acrylic based 3-coat stucco with faux wood Tung and Groove siding material befitting the style of the home. This finish and selected color (walnut) will add warmth and make the elevations earthly and inviting. There has been careful considerations as to the placement and design of the windows in order to maintain privacy for the neighboring properties.

Date: Tuesday, April 19th, 2022

From: Amaan Mehrabian
Amaan.Mehrabian@gmail.com
415-500-1801

To: City of Menlo Park's planning department,
Calvin Chan,
CChan@menlopark.org

Subject: 1262 Middle Ave., use-permit, Community outreach

Dear Calvin,

As the owner of the property at 1262 Middle Avenue, I have reached out to the neighbors to ensure they are aware of our building plans and that I can address their questions and concerns. In particular:

- 1) Regarding correspondence from Mr Stuart Jacobson (1260 Middle Avenue) dated March 24, 2022, I replied to his email and tried to address his concerns. In particular, I noted that there had been a misunderstanding regarding trees #6 and #7 and we do not have any intentions to remove those trees. I am attaching his email and my reply below (last two pages).
- 2) I have also mailed a letter describing the project to the four immediate neighbors (according to planning departments guidelines [section G](#)). The mail has been sent to the following neighbors and is scheduled to be delivered on Wednesday April 20th, 2022:
1260 Middle Ave.,
1285 Middle Ave.,
520 Hermosa Way,
590 Hermosa Way.

I am copying the mailed letter here:

Re: 1262 Middle ave. new construction plan

Dear Neighbor,

We are the owners of 1262 Middle avenue. Our little family (my wife and I, and our 2 year old son) is very excited to build our next home in this beautiful neighborhood.

The plan is to demolish the existing residence and build a new two-story home. The main residence will have 4 bedrooms and 3 bathrooms. We are also planning to build a 1bed/1bath attached ADU unit for my in-laws.

During this process, we would like to ensure that we address any concerns/comments you might have to the best of our ability and within the City of Menlo Park's Planning/Building codes.

I am attaching the exterior view of the home to this letter. I have also asked the project architect to join us in a zoom meeting next week (details below) to address your questions.

We are very excited to start our next chapter of life in this home and we hope our home will be a beautiful addition to this beautiful neighborhood.

Best regards,
Shirin, Ilya, and Amaan Mehrabian

Zoom meeting:

Link: <https://join.skype.com/ti95vNQoFPqQ>

(If you want I can email you this address so you don't have to type it in. Just send me an email so I can reply).

Date: Wednesday, April 27th, 2022

time: 3.30 -- 4.00pm

My email address: Amaan.Mehrabian@gmail.com

My phone number: 415-500-1801

Correspondence with Mr Stuart Jacobson (1260 Middle Ave)

My reply to Mr Jacobson email (his original email below)

From: Amaan Mehrabian <amaan.mehrabian@gmail.com>
to: smj@speakeasy.net
date: Apr 9, 2022, 4:49 PM
subject: 1262 middle ave building plans

Dear Sturat,

This is Amaan Mehrabian, the owner of 1262 Middle Ave., Menlo Park. I hope this email finds you and your family well.

I recently received City of Menlo Park's Planning dept reviews and comments regarding our submitted plans to build a new house. In it, I saw your email and specific concerns about the two oak trees.

Let me just begin by saying I too was very surprised to see that these trees are prescribed to be "removed" in the tree inventory table: We absolutely do NOT have any intention to remove these two trees. Our arborist report also recommends preserving these trees and provides clear Special Tree Protection Measures. The confusion seems to be due to a typo in the tree inventory table in the arborist report: While the arborist has correctly color-coded the last two trees as green (green for preserve vs orange for removal) she seems to have forgotten to change the prescription from removal to preserve. When I talked to your wife, I also told her that we don't plan on removing those trees and we may just have to do some pruning in accordance with the arborist recommendations. So, I can imagine how this misunderstanding may have come as an unpleasant surprise to you and I apologize for that. I have already contacted the arborist and my architect and have asked them to correct the plans accordingly. We are going to update the submitted plans as well.

Regarding your comment on the ADU, we are building the adu unit mainly for my parents and my in-laws whom we expect to spend a good amount of time with us during the year. We have carefully followed the planning department's codes and recommendations regarding ADU setbacks and designs.

I was planning to give you and other neighbors a visit to go over the plans and address any questions you might have. I was just waiting for the first round of planning department reviews to make sure the plans do not require major redesign. It seems now I can start scheduling those visits. So, please let me know when would be a good time to chat, either in person, over video call or phone.

Please do not hesitate to let me know if you have any questions. Also, here is my phone number: 415 500 1801

Thanks,
Amaan

From: stuart [mailto:smj@speakeasy.net]
Sent: Thursday, March 24, 2022 3:35 PM
To: Paz, Ori Cc: Stuart Jacobson
Subject: 1262 Middle Ave use permit concerns

I am writing re the use permit for 1262 Middle Ave. I am a concerned neighbor that will be directly effected by this plan. I have questions and concerns re the plans presented in the link provided by the city dated 7/30/2021. I wish to be notified of any changes and any opportunities to review or object to the project. I note the proximity shown of the adjacent structures is incorrect. 1260 Middle is 10' or more from the existing fence. The dimensions on the drawing imply 6'. The trees located on the plot plan (tree number 6 & 7) are not shown in their actual relationship to the property line. They are both large mature oaks located within 1' or less of the fence line and will be subject to root damage and excessive pruning by the new construction. As would any upgrade of the gas main line, if required for the future pool for example. The tree inventory is NOT provided at a suitable resolution to read the headings and footnotes. I don't believe the assessments are accurate and in keeping with Menlo Park's professed protection of our heritage trees. I'm not sure how or why the table lists the Prescription for these trees as "REMOVE (X) "!! Certainly these trees are to be protected and preserved.

I feel the use of a the "ADU" designation in this instance is a farce and is an excuse to reduce the setback and lot coverage limitations. The ADU isn't even separated from the residence with a solid wall. It has a five foot pocket door between "residences". If this is a proper ADU, then any bedroom suite w/ kitchenette can be called an ADU and the zoning laws mean nothing. 4' setback from side yard at front of house is ridiculous, especially in Menlo Park R1 residential areas, especially using an ADU designation as an excuse in this specific implementation.

Stuart Jacobson
1260 Middle Ave. Menlo Park, Ca. 94025 650-400-1478 cell

ARBORIST REPORT

REV. APRIL 14, 2022

FOR: AMAAN MEHRABIAN

SITE ADDRESS:
1262 MIDDLE AVE. • MENLO PARK, CA 94025



BO FIRESTONE
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Introduction

ARBORIST ASSIGNMENT

As Project Arborist, I visited the site of the proposed home building project at 1262 Middle Avenue, Menlo Park on December 15th, 2021. It was my understanding that the existing single-story house would be demolished and a new two-story home with attached ADU and garage would be built in its place. The assessments in this report were based on review of Plan Set Sheets A0.01 – A3.10 dated 01.01.2022 (revised 4.10.2022) by Safaei Design Group. These included the existing site survey, Site Plan (A1.00), floor plans, and elevations.

My inventory included a total of seven (7) trees over six inches (6" DBH). There were five (5) trees of Heritage size: one (3) coast live oak (*Quercus agrifolia*), one (1) Italian stone pine (*Pinus pinea*) in "very poor" condition, and one (1) "undesirable species" (glossy privet, *Ligustrum lucidum*). Five (5) trees on the property were requested for removal. Two (2) neighboring oak trees would require protection measures. All other neighboring trees were sufficiently distant from the work (>10x dbh).

USES OF THIS REPORT

According to City Ordinance, any person who conducts grading, excavation, demolition, or construction activity on a property to do so in a manner that does not threaten the health or viability or cause the removal of any Heritage Tree. **Any work performed within an area 10 times the diameter of the tree (i.e., the tree protection zone) requires the submittal of a tree protection plan for approval by the City before issuance of any permit for grading or construction.**

This report was written by Busara Firestone, Project Arborist, to serve as a resource for the property owner, designer, and builder. As needed, I have provided instructions for retaining, protecting, and working around trees during construction, as well as information on City

requirements. *The owner, contractor and architect are responsible for knowing the information included in this arborist report and adhering to the conditions provided.*

City Tree Protection Requirements

Heritage Tree Definition

A “Heritage Tree” is a tree that has protected status by the City of Menlo Park. The City can classify trees with Heritage status for their remarkable size, age, or unique value. However, in general, native oaks of 10 inches or more, and any tree having a trunk with a diameter of 15 inches or more has Heritage status (measured at 54 inches above natural grade, or at the branching point for multi-trunk trees).

Construction-Related Tree Removals

According to the City of Menlo Park, applicants are required to submit a site plan with the Heritage Tree Removal Application Permit even if they have submitted a site plan to the City for a planning or building permit. The site plan facilitates the review by the City Arborist.

For removals of two or more trees, applicants shall be required to submit a planting plan indicating the species, size and location of the proposed replacement trees on a site plan. Heritage Tree Permits related to Construction will also be charged for City-retained arborist expenses.

Violation Penalties

Any person who violates the tree protection ordinance, including property owners, occupants, tree companies and gardeners, could be held liable for violation of the ordinance. The

ordinance prohibits removal or pruning of over one-fourth of the tree, vandalizing, mutilating, destruction and unbalancing of a heritage tree without a permit.

If a violation occurs during construction, the City may issue a stop-work order suspending and prohibiting further activity on the property until a mitigation plan has been approved, including protection measures for remaining trees on the property. Civil penalties may be assessed against any person who commits, allows or maintains a violation of any provision of the ordinance. The fine will be an amount not to exceed \$5,000 per violation, or an amount equivalent to the replacement value of the tree, whichever is higher.

Impacts on Protected Trees

SITE DESCRIPTION

The property at 1262 Middle Avenue was a narrow rectangular lot. The topography was not notable. There was a house with attached garage on-site with a driveway on the right-hand side. The tree stock was a mix of older trees and plants in poor condition and naturally occurring natives.

TREE INVENTORY

This tree preservation plan includes an attached inventory of all trees on the property regardless of species, that were at least 12 feet tall and 6-inch DSH.

This inventory also includes as necessary, any neighboring Heritage Trees with work proposed within 10 times their diameter (DBH). Any street trees within the public right-of-way were also included, regardless of size, as required by the City.

The Inventory includes each tree's number (as shown on the TPZ map), measurements, condition, level of impact (due to proximity to work), tolerance to construction, overall

suitability for conservation, and prescription (remove/retain). The inventory also includes the appraised value of each tree using the Trunk Formula Method (10th Edition).

PROJECT DESCRIPTION

After review of proposed plan set (**revised 4.10.2022**, by Safaei Design Group), it was my understanding the existing single-story house would be demolished and a new two-story home with attached ADU and garage would be built in its place. Please see attached Tree Protection Pan Map / Site Plan A1.00.

HOW CONSTRUCTION CAN DAMAGE TREES

Damage to Roots

Where are the Roots?

The most common types of injury to trees that occur during property improvements are related to root cutting or damage. **Tree roots extend farther out than people realize, and the majority are located within the upper 24 inches of soil.** The thickest roots are found close to the trunk, and taper and branch into ropey roots. These ropey roots taper and branch into an intricate system of fine fibrous roots, which are connected to an even finer system of fungal filaments. This vast below-ground network is tasked with absorbing water and nutrients, as well as anchoring the tree in the ground, storage, and communication.

Damage from Excavation

Any type of excavation will impact adjacent trees by severing roots and thus cutting off the attached network. Severing larger roots, or trenching across the root plate, destroys large networks. Even work that appears to be far from a tree (like on the far side of the yard), will impact the fibrous root system where excavation is taking place. Placing impervious surface over the ground, or installing below ground structures, such as a pool, or basement wall, will remove rooting area permanently from a site.

Damage from Fill

Adding fill can smother roots, making it difficult for them to access air and water. The roots and other soil life need time to colonize the new upper layers of soil.

Changes to Drainage and Available Water

Changes to the hydrology of the site, caused for instance by new septic fields, changes to grade, and drainage systems, can also cause big changes in available water for trees. Trees can die from lack of water or disease if their water supply dries up or gets much wetter than they are used to.

Soil Compaction and Contamination

In addition, compaction of soil, or contamination of soil with wash-water, paint, fuel, or other chemicals used in the building process, can cause damage to the rooting environment that can last many years. Tree protection fencing creates a barrier to protect as many roots as possible from this damage, which can be caused by travelling vehicles, equipment storage, and other construction activities that may occur even outside the construction envelope.

Mechanical Injury

Injury from the impact of vehicles or equipment can occur to the root crown, trunk, and lower branches of a tree. The bark protects a tree – creating a skin-like barrier from disease-causing organisms. The stem issues are in charge of supporting the weight of the plant, and conducting the flow of water, sugars, and other important compounds throughout the tree. When the bark and wood is injured, the structure and health of the tree is compromised.

IMPACTS TO HERITAGE TREES

SUMMARY

Four (4) Heritage Trees would be impacted by the project: one (1) coast live oak (*Quercus agrifolia*) and one (1) Italian stone pine (*Pinus pinea*) on the property, and two (2) coast live oak on the neighboring property to the east. There was also a tree of “undesirable species.” All

trees on the property were recommended for removal. Please see removal justifications in the following section.

My evaluation of the impacts of the proposed construction work for all affected trees was summarized in the Tree Inventory. These included impacts of grading, excavation for utility installation, retaining walls, drainage or any other aspect of the project that could impact the service life of the tree. Anticipated impacts to trees were summarized using a rating system of “severe,” “high,” “moderate,” “low,” or “very low.”

General species tolerance to construction, and condition of the trees (health and structural integrity), was also noted on the Inventory. These major factors, as well as tree age, soil characteristics, and species desirability, all factored into an individual tree’s suitability rating, as summarized on the Inventory. Suitability of trees to be retained was rated as “high,” “moderate,” “low.” Trees with low suitability would be appropriate candidates for removal.

Please see Glossary for definitions of ratings.

TREE REMOVALS

Removal Justification for trees is as follows:

- **Trees #1 and #5 were not Heritage Trees:**
 - I recommended Tree #1 (pine) for removal because it was dead.
 - I recommended Tree #5 (California bay, *Umbellularia californica*) for removal because it was within the footprint of the future pool (under a separate building permit).
- **Removal of Tree #2H (pine) would be justified as per Menlo Park Administrative Guidelines section 13.24.050 Clause a.3 “tree health rating.” I assessed this tree to be in “very poor” condition as it “appeared to be dying and in the last stages of life.”**
- **I determined that Tree #3H (native oak) would not be likely to survive the trenching and root cuts necessary to install the foundation of the new ADU within four feet (4’) of the tree. The minimum recommended setback from a transverse root cut across**

the root plate would be 7' from trunk face (or 7.5' from center). Since Tree #3H would be likely to decline or become unstable as a result of the work, the client requests removal as justified for the economic development of the parcel as per Menlo Park Administrative Guidelines section 13.24.050 Clause a.5. After discussion with the architect, it was my understanding that the estimated incremental cost of putting a detached ADU in the back yard would be \$45 K. As this is well over 140% the value of the tree, this design alternative was deemed "economically unfeasible" according to Administrative Guidelines. Alternatives were also explored for putting the unit on the opposite side of the lot, which I recommended against as it threatened two larger oak trees (#6 and #7). Changing the shape of the ADU to accommodate the 7' setback resulted in an addition that would not be sufficiently valuable to justify building. Please see comments from Architect for details.

- Removal of Tree #4 (privet) was Heritage size. However, permit for removal would be justified as per Menlo Park Administrative Guidelines section 13.24.050 Clause a.4 "designated by the city arborist to be invasive or low desirability species."

Menlo Park Administrative Guidelines for Criterion 5:

The following documentation may be required to support tree removal for economic development:

- Schematic diagrams that demonstrate the feasibility/livability of alternative design(s) that preserve the tree, including utilizing zoning ordinance variances that would preserve the tree.
- Documentation on the additional incremental construction cost attributable to an alternative that preserves the tree (i.e. construction cost of alternative design minus cost of original design) in relation to the appraised value of tree(s) and based on the most recent addition to the Guide for Plant Appraisal.

The following guidance will be used to determine feasibility:

- If the incremental cost of the tree preservation alternative is more than 140% of the appraised value of the tree, the cost will be presumed to be financially infeasible.
- If the incremental cost of the tree preservation alternative is less than 110% of the appraised value of the tree, the cost will be presumed to be financially feasible.

- If the incremental cost of the tree preservation alternative is between 110% and 140% of the appraised value of the tree, public works director or their designee will consider a range of factors, including the value of the improvements, the value of the tree, the location of the tree, the viability of replacement mitigation and other site conditions.
- In calculating the incremental cost of the tree preservation alternative, only construction costs will be evaluated. No design fees or other soft costs will be considered.

IMPACTS TO NEIGHBORING TREES

Neighboring oak Trees #6H and #7H would be anticipated to sustain root loss and soil disturbance from the following:

- Foundation and driveway demolition work (see guidelines for the demolition work in section titled “Special Tree Protection Measures).
- Trenching for the new foundation
- Excavation for new hardscaping (new driveway and back porch)
- Pruning to achieve vertical clearance.

It appeared to me that since the new improvements would be built at a greater (10') setback from the property line, the anticipated root loss would be no more than 25% and would be acceptable. In my assessment, pruning of no more than 10% of the canopy would be necessary to achieve clearance.

Tree Protection Recommendations

PRE-CONSTRUCTION

Establish Tree Protection Zones (TPZ)

The Tree Protection Zone (TPZ) shall be a fenced-off area where work and material storage is not allowed. They are established and inspected prior to the start of work. This barrier protects the critical root zone and trunk from compaction, mechanical damage, and chemical spills.

Tree protection fencing is required to remain in place throughout construction and may only be moved or removed with written authorization from the City Arborist. The Project Arborist may authorize modification to the fencing when a copy of the written authorization is submitted to the City.

The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits.

Specific recommended protection for trees is as follows:

- **Trees #6 (oak):** Protect with standard six-foot chain-link TPZ I chain-link fencing along the property line. **See attached “TPZ Map” for recommended fencing locations.**
- **Trees #7 (oak):** These neighboring trees are partially protected by the existing (6') wooden property fence. Additional fencing would not be practical. Please see “Special Tree Protection Measures” for further guidelines for building around these trees.

TPZ FENCING SPECIFICATIONS:

- 1) Establish tree protection fencing radius by installing six (6)-foot tall chain link fencing mounted on eight (8)-foot tall, two (2)-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart.
- 2) Post signs on the fencing stating, "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST."

Preventing Root Damage

Anywhere workers and vehicles will be traveling over bare ground within fifteen feet of a tree's dripline should have material applied over the ground to disperse the load. This may be done by applying a six to 12-inch layer of wood chip mulch to the area. With this method, mulch in excess of four inches would have to be removed after work is completed. As an alternative method that would not require mulch removal, the contractor could place plywood (>3/4-inch-thick) or road mats over a four-inch layer of mulch. Mulch should be spread manually so as not cause compaction or damage.

Pruning Branches

Branches must be pruned to allow clearance for proposed structures and the passage of workers, vehicles, and machines. Any large dead branches should be pruned out for the safety of people working on the site.

I recommend that each tree that designated to remain shall be pruned as necessary to provide clearance for development, while maintaining a natural appearance. All tree pruning (or removal) activities shall be performed prior to the beginning of any demolition or development.

Pruning should be specified in writing adhering to ANSI A300 Pruning Standards and performed according to Best Management Practices endorsed by the International Society of Arboriculture. Pruning should be performed by a licensed and insured tree contractor and supervised by an ISA-certified arborist or an ASCA-Registered Consulting Arborist. **Any property**

owner wanting to prune heritage tree more than one-fourth of the canopy and/or roots, must have permission from the City.

Pruning of at least one branch will be necessary to achieve clearance for this project. I have reviewed the proposed pruning as illustrated by the Project Architect and deemed it acceptable. Less than 10% of the canopies of affected trees (#6 and/or #7) will be removed.

Arborist Inspection

The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits. Tree protection fencing to be inspected by City Arborist before demo and/or building permit issuance.

DURING CONSTRUCTION

Special Tree Protection Measures – Trees #6 and #7 (neighboring oak)

Demolition of existing hardscape (driveway and old foundation) should be performed in a manner that avoids tearing roots: Using the smallest effective machinery, break up pieces of the concrete and lift pieces up and away from trees. Cut roots embedded in paving rather than tearing them (see instructions on “Root Pruning”). Work must be done outside the tree protection zone (established by fencing). Dragging concrete or machinery across soil in the TPZ as this would disturb soil and roots.

Root Pruning

Roots often extend farther beyond the tree than people realize. Even outside of the fencing protecting the critical root zone, there are roots that are important to the wellbeing of the tree. Builders may notice torn roots after digging or trenching. If this happens, exposed ends should be cut cleanly.

However, the best way to cut roots is to cut them cleanly *before* they are torn by excavating equipment. Roots may be exposed by gentle excavation methods and then cut selectively. Alternatively, a tool specifically designed to cut roots may be used to cut through the soil on the tree-side of the excavation line prior to digging so that roots are not torn.

Any root pruning must be supervised by the Project Arborist.

Irrigation

Water moderately and highly impacted trees during the construction phase (in this case, Trees #6 and #7). As a rule of thumb, provide one to two inches per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of tree roots. Do not water native oaks during the warm dry season (June – September) as this activates oak root fungus. Instead, make sure that the soil is sufficiently insulated with mulch (where possible). Remember that unsevered tree roots typically extend three to five times the distance of the canopy.

Project Arborist Supervision

I recommend the Project Arborist meet with the builder on-site:

- Soon after excavation
- During any root pruning
- As requested by the property owner or builder to document tree condition and on-going compliance with tree protection plan (I suggest every 6 weeks).

Any time development-related work is recommended to be supervised by a Project Arborist, a follow-up letter shall be provided, documenting the mitigation has been completed to specification.

POST-CONSTRUCTION

Ensure any mitigation measures to ensure long-term survival including but not limited to:

Continued Tree Care

Provide adequate and appropriate irrigation. As a rule of thumb, provide 1- 2 inches of water per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of the tree roots. Native oaks usually should not be provided supplemental water during the warm, dry season (June – September) as this activates oak root fungus. Therefore, native oaks should only be watered October – May when rain has been scarce.

Mulch insulates the soil, reduces weeds, reduces compaction, and promotes myriad benefits to soil life and tree health. Apply four inches of wood chips (or other mulch) to the surface of the soil around trees, extending at least to the dripline when possible. Do not pile mulch against the trunk.

Do not fertilize unless a specific nutrient deficiency has been identified and a specific plan prescribed by the project arborist (or a consulting arborist).

Post-Construction Monitoring

Monitor trees for changes in condition. Check trees at least once per month for the first year post-construction. Expert monitoring should be done at least every 6 months or if trees show signs of stress. Signs stress include unseasonably sparse canopy, leaf drop, early fall color, browning of needles, and shoot die-back. Stressed trees are also more vulnerable to certain disease and pest infestations. Call the Project Arborist, or a consulting arborist if these, or other concerning changes occur in tree health.


City Arborist Inspection

A final inspection by the City Arborist is required at the end of the project. This is to be done before Tree Protection Fencing is taken down. Replacement trees should be planted by this time as well.

Conclusion

The home building project planned at 1262 Middle Avenue appeared to be a valuable upgrade to the property and neighborhood. If any of the parties involved have questions on this report, or require Project Arborist supervision or technical support, please do not hesitate to contact me at (408) 497-7158 or busara@bofirestone.com.

Signed,



Busara (Bo) Firestone | ISA Certified Arborist WE-#8525A | ISA Qualified Tree Risk Assessor |
ASCA Tree and Plant Appraisal Qualification | Member – American Society of Consulting Arborists

Supporting Information

GLOSSARY

Term appear in the order they appear from left to right on the inventory column headings.

DBH / DSH: Diameter at 4.5' above grade. Trees which split into multiple stems at 4.5' are measured at the narrowest point below 4.5'.

Mathematic DBH / DSH: diameter of multitrunked tree, mathematically derived from the combined area of all trunks.

SPREAD: Diameter of canopy between farthest branch tips

TREE STATUS: A "Heritage Tree" is a tree that has protected status by the City of Menlo Park. The City can classify trees with Heritage status for their remarkable size, age, or unique value. However, in general, native oaks of 10 inches or more, and any tree having a trunk with a diameter of 15 inches or more has Heritage status (measured at 54 inches above natural grade, or at the branching point for multi-trunk trees).

CONDITION-Ground based visual assessment of structural and physiological well-being:

"**Excellent**" = 81 - 100%; Good health and structure with significant size, location or quality.

"**Good**" = 61-80%; Normal vigor, full canopy, no observable significant structural defects, many years of service life remaining.

"**Fair**" = 41-60%; Reduced vigor, significant structural defect(s), and/or other significant signs of stress

"**Poor**" = 21- 40%; In potentially irreversible decline, structure an aesthetics severely compromised

"**Very Poor**" = 6-20%; Nearly dead, or high risk of failure, negative contribution to the landscape

"**Dead/Unstable**" = 0 - 5%; No live canopy/buds or failure imminent

IDEAL TPZ RADIUS: Minimum recommended tree protection radius to ensure healthy, sound trees. Based on species tolerance, age, and size (total combined stem area). Compromising the radius in a specific area may be acceptable as per arborist approval.

AGE: Relative to tree lifespan; "Young" <1/3; "Mature" 1/3 - 2/3; "Overmature" >2/3

IMPACT: Anticipated impact to an individual tree including.....

SEVERE - In direct conflict, removal necessary if plans proceed (distance to root cuts/fill within 3X dbh)

HIGH - Ideal TPZ significantly encroached upon but could still be retained with monitoring or alternative building methods. Health and structure may worsen even if conditions for retainment are met. May recommend alternative TPZ method due to proximity to work.

MODERATE - Ideal TPZ encroached upon in limited areas. Special building guidelines may be provided by Project Arborist. Although some symptoms of stress are possible, tree is not likely to decline due to construction related activities. May recommend alternative TPZ method due to proximity to work.

LOW - Minor or no encroachment on ideal TPZ. Longevity uncompromised with standard protection.

VERY LOW - Ideal TPZ well exceeded. Potential impact only by ingress/egress. Longevity uncompromised.

NONE - Negligible anticipated impact.

TOLERANCE: General species tolerance to construction (HIGH, MODERATE, or LOW) as given in Managing Trees During Construction, Second Edition, by International Society of Arboriculture

SUITABILITY ASSESSMENT: An individual tree's suitability for preservation considering impacts, condition, maturity, species tolerance, site characteristics, and species desirability. (HIGH, MODERATE, or LOW)

APPRAISAL RESULT: The reproduction cost of tree replacement as calculated by the Trunk Formula Technique.

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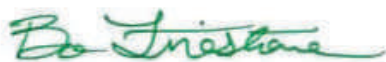
Assessment: International Society of Arboriculture, 2011. Print.

CERTIFICATE OF APPRAISAL

I, Busara Rea Firestone, CERTIFY to the best of my knowledge and belief:

1. That the statements of fact contained in this plant appraisal are true and correct.
2. That the appraisal analysis, opinions, and conclusion are limited only by the reported assumption and limiting conditions, and that they are my personal, unbiased professional analysis, opinions, and conclusions.
3. That I have no present or prospective interest in the plants that are the subject of this appraisal, and that I have no personal interest or bias with respect to the parties involved.
4. That my compensation is not contingent upon a predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event.
5. That my analysis, opinions, and conclusions are developed, and this appraisal has been prepared, in conformity with the *Guide for Plant Appraisal (10th edition, 2000)* authored by the Council of Tree and Landscape Appraisers.
6. That the methods found in this appraisal are based on a request to determine the value of the plants considering reasonable factors of plant appraisal.
7. That my appraisal is based on the information known to me at this time. If more information is disclosed, I may have further opinions.

Signed,



Busara (Bo) Firestone

ISA Certified Arborist WE-#8525A

04/14/2022



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TREE INVENTORY - 1262 Middle Ave, Menlo Park, CA

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Mehrabian Property - Rev. 4/14/22

									TREE IMPACT ASSESSMENT											
#	Heritage (H)	Common Name	Botanical Name	Protected Status	DBH (inches)	math. DBH (inches)	Height (feet)	Spread (feet)	Condition	Health, Structure, Form notes	Age	Species Tolerance	6X DBH* (feet)	TPZ mult. Factor	Ideal TPZ Radius (ft)	Estimated Root Loss**	Impact Level **	Suitability Rating	Prescription	Appraisal Result
1		Italian Stone Pine	<i>Pinus pinea</i>	(not heritage)	10	10	30	15	DEAD (0%)	100% brown needles/dead canopy	MATURE	MODERATE	5	12	10	< 25%	LOW	LOW	REMOVE (X)	\$0
2	H	Italian Stone Pine	<i>Pinus pinea</i>	HERITAGE	16	16	50	20	VERY POOR (10%)	90% brown needles/dead canopy, in irreverssible decline	MATURE	MODERATE	8	12	16	< 25%	LOW	LOW	REMOVE (X)	\$990
3	H	Coast Live Oak	<i>Quercus agrifolia</i>	HERITAGE	13	13	50	35	GOOD (75%)	vigorous, full dark green canopy, no significant pest/disease, pleasing form	MATURE	HIGH	7	8	9	>30%	SEVERE	LOW	REMOVE (X)	\$2,850
4		Glossy Privet	<i>Ligustrum lucidum</i>	"Undesirable Species"	22	22	40	20	VERY POOR (10%)	90% dead canopy, in irreverssible decline	MATURE	LOW	11	15	28	>30%	SEVERE	LOW	REMOVE (X)	\$390
5		California Bay Laurel	<i>Umbellularia californica</i>	(not heritage)	7	7	40	15	FAIR (50%)	moderate vigor, spindly form	YOUNG	MODERATE	4	8	5	>40%***	LOW	MODERATE	REMOVE (X)	\$830
6	H	Coast Live Oak	<i>Quercus agrifolia</i>	HERITAGE	est. 26	26	40	40	FAIR (50%)	Moderate vigor, codominant structure	MATURE	MODERATE	13	12	26	< 25%	MODERATE	MODERATE	RETAIN	\$7,600
7	H	Coast Live Oak	<i>Quercus agrifolia</i>	HERITAGE	est. 18	18	50	40	GOOD (75%)	vigorous, full dark green canopy, no significant pest/disease, pleasing form	MATURE	MODERATE	9	12	18	<25%	MODERATE	MODERATE	RETAIN	\$5,500
KEY:																				
#		on neighboring parcel																		
		proposed removal																		

SEE GLOSSARY FOR DEFINITION OF TERMS

* 6X DBH is recongnized by tree care industry best practices as the distance from trunkface to a cut across the root plate that would result in a loss of approximately 25% of the root mass. Cuts closer than this may result in tree decline or instability.

**Based on approximate distance to excavation and extent of excavation (as shown on plans).
**Impact level assuming all basic and special tree protection measures are followed.

*** Based on anticipated impact to tree from pool project under seprate project permit. Impacts from this phase of the project would be "Low" with root loss of < 10%.

Appraisal calculations summary available apou request.

1262 MIDDLE AVENUE, MENLO PARK, CA



BASE MAP: SITE PLAN A1
by SAFAEI DESIGN GROUP
(04.10.2022)

REPORT
p. 19





STAFF REPORT

Planning Commission

Meeting Date:

7/25/2022

Staff Report Number:

22-039-PC

Public Hearing:

Oscar Ibarra/1300 El Camino Real/Master Sign Program

Recommendation

Staff recommends that the Planning Commission approve a master sign program for a mixed-use development (Springline) in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. A draft resolution, including the recommended conditions of approval, is included as Attachment A.

Policy Issues

Each master sign program request should be considered individually. The Planning Commission should consider whether the required findings, included with the draft resolution (Attachment A), can be made for the proposed master sign program.

Background

The City Council approved the 1300 El Camino Real project (also known at the time as “Station 1300” and currently called “Springline”) in 2017, with revisions approved by the Planning Commission and City Council in 2021. The project is a mixed-use development consisting of non-medical office, residential, and community-serving uses on a 6.4-acre site, with a total of approximately 224,000 square feet of non-residential uses and 183 dwelling units.

In early 2022, the City Council approved a Zoning Ordinance text amendment to modify Municipal Code Chapter 16.92 (Signs-Outdoor Advertising) to allow larger projects within the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district and with primary frontage along El Camino Real, larger total display areas, subject to Planning Commission approval of a master sign program. The subject application is the first application under the text amendment.

Analysis

Project description

The applicant is proposing a master sign program for the Springline mixed-use development. The development has three frontages (El Camino Real, Garwood Way and Oak Grove Avenue). El Camino Real is considered the primary frontage, whereas Garwood Way and Oak Grove Avenue are considered secondary frontages. The permitted sign area for the project's El Camino Real frontage is calculated per a formula in the Zoning Ordinance ($30' + ((\text{Frontage Length} - 10') \times (8/7)))$, not including signage designated for project identification or safety/directional signage. The project's frontage along El Camino Real is 456 feet and the applicant is requesting 450 square feet of signage along this frontage, where 540 square feet is the maximum permitted.

On secondary frontages, the maximum sign area is calculated by the following formula $(0.5 \times (30' + ((\text{non-ECR Frontage} - 10') \times 8/7)))$. The applicant is proposing 125 square feet of signage along the Garwood Way secondary frontage, which is 688 feet and where 402 square feet of signage is the maximum allowed; and 100 square feet of signage along the Oak Grove Avenue secondary frontage, which is 209 feet and where 165 square feet of signage is the maximum allowed.

For projects with a mixture of office and other commercial uses, the total display area of signs at the building top parapet level is limited to one-half a square foot of signage for each linear foot of frontage. The 456 feet of frontage along El Camino Real would therefore allow 228 square feet of signage at the building parapet level, where the applicant is proposing 200 square feet. There are a total of six parapet level tenant signs proposed, of which two would not be visible from either a primary or secondary frontage. Four of the visible parapet tenant signs would be along the El Camino Real frontage; none are proposed along Garwood Way or Oak Grove Avenue.

In addition to the parapet tenant signs, there are a total of 15 tenant identification signs proposed across the three frontages. One the 15 tenant signs would not be visible from either a primary or secondary frontage. The total signage for tenant identification signs, which include tenant identification and upper floor signs (parapet tenant identification), would be 675 square feet.

The applicant has submitted project plans (Attachment C) and a project description letter (Attachment D) with a series of elevation sheets that illustrate the various signs that would be permitted, visible from Springline's three frontages (El Camino, Oak Grove, and Garwood Way). It should be noted, the elevations also show possible alternative signage locations.

Safety and directional signage

For applicable projects with the ECR/D-SP zoning district, safety and directional signage is exempt from the limits on signage display area, provided that the safety and directional signage is approved pursuant to a master signage program. For purposes of signage, "safety and directional signage" means signage providing information on directions, ingress and egress, parking access and location, accessibility, and other similar identifying information. The applicant is proposing a total of 22 directional signs, which include parking signage, a pedestrian directory, a freestanding pedestrian wayfinding sign and wayfinding blade signs for a total of 197 square feet.

Signage identifying the name of the project

For applicable projects with the ECR/D-SP zoning district, signage identifying the name of the project may be installed and not count against the overall allowable display area provided that the project identification signage is approved pursuant to a master sign program. The applicant is proposing a project identification sign, consisting of individual 15-inch tall letters, over an existing arched gateway that would total approximately 24 square feet of display area. The gateway is located in between two office buildings and provides pedestrian access from El Camino Real to Springline's central plaza. Staff believes the design of the project's identification signage is compatible with the project's overall architecture and is appropriate in terms of its size and location within the project given its height and central location.

Letter size

The applicant is seeking additional flexibility, compared to the current regulations set forth in the Sign Design Guidelines, with regards to signage letter size, which the Planning Commission may approve as part of a master sign program if such changes are compatible and harmonious with the overall project and appropriate in terms of size and location within the project. In general, letter sizes between 8 inches and 18 inches is considered acceptable. Letter sizes larger than 24 inches are typically considered for buildings

with large setbacks from the street in the Sign Design Guideline. The applicant is proposing tenant identification signs to be maximum 24 inches in letter size for the retail level (ground floor) for no more than 25 square feet display area each, and parapet tenant identification sign letter sizes between 30 to 48 inches for the upper level, office use for no more than 50 square feet display area each. Staff believes the larger letter sizes are appropriate given the scale of the building.

Design and materials

The applicant proposes various materials based on the type of sign. The three main materials proposed for signs are aluminum, painted aluminum and frosted vinyl. Sign colors would be limited to black, white and grey except for tenant logos on blade signs.

The project identification sign along the El Camino Real frontage is proposed to have channel letters made of acrylic to be internally illuminated. Directional signs would be fabricated aluminum lettering. Pedestrian wayfinding signs would be fabricated aluminum cabinet which would be illuminated with an LED system housing a digital touch screen. Blade signs would be non-illuminated fabricated aluminum with the tenant logo in vinyl. The tenant logo may have color based on the brand color scheme. Proposed tenant and parapet tenant signs would be illuminated with white LED and the lettering would be a white translucent acrylic. It should be noted, the tenant logo colors would need to adhere to the color regulations provided in the Sign Design Guidelines.

Staff believes the signage specified by the master sign program would be compatible and harmonious with the buildings on the property as the design would be proportionate in size to the overall scale of the buildings and the proposed colors and signage designs would compliment the primary white and tan colors of the buildings, as well as the brown and red colors of the clay tile roofing.

Correspondence

Staff has not received any correspondence on this project.

Conclusion

Staff believes the proposed signage in the master sign program would be proportionate, compatible and harmonious with the buildings on the property given the scale of the Springline development. The design of the project's identification signage is compatible with the project's overall architecture and is appropriate in terms of its size and location within the project given its height and central location. The proposed colors and signage designs would compliment the primary white and tan colors of the buildings, as well as the brown and red colors of the clay tile roofing. Staff recommends that the Planning Commission approve the master sign program.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The proposed master sign program is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the CEQA Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the project.

Attachments

- A. Draft Planning Commission Resolution Adopting Findings for project Master Sign Program, including project Conditions of Approval
 - Exhibits to Attachment A:
 - A. Project Plans (See Attachment C to this (July 25, 2022) Planning Commission Staff report)
 - B. Condition of Approval
- B. Location Map
- C. Project Plans
- D. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Report prepared by:
Fahteen Khan, Associate Planner

Report review by:
Corinna Sandmeier, Acting Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2022-XX

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
MENLO PARK APPROVING A MASTER SIGN PROGRAM FOR A
MIXED-USE DEVELOPMENT (SPRINGLINE) IN THE SP-ECR/D (EL
CAMINO REAL/DOWNTOWN SPECIFIC PLAN) ZONING DISTRICT**

WHEREAS, the City of Menlo Park (“City”) received an application requesting approval of a master sign program for a mixed-use development (Springline) in the SP-ECR-D (El Camino Real/Downtown Specific Plan) zoning district (“Project”) from Oscar Ibarra, (“Applicant”), on behalf of the property owner Real Social Good Investments, LLC (“Owner”) located at 1300 El Camino Real (APN 061-430-490) (“Property”). The Project master sign program is depicted in and subject to the development plans attached hereto as Exhibit A and incorporated herein by this reference; and

WHEREAS, the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district encompasses El Camino Real, the Caltrain station area and downtown Menlo Park, and supports a variety of uses, including, retail, personal services, restaurants, business and professional offices, residential uses, public and semi-public uses, and transit uses; and

WHEREAS, the proposed Project complies with all objective standards of the SP-ECR/D district; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review pursuant to Section 15061(b)(3) of the CEQA guidelines; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on July 25, 2022, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project Revisions.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Master Sign Program. The Planning Commission approves Master Sign Program No. PLN2022-00034, which master sign program is depicted in and subject to the development plans and documents which are attached hereto and incorporated herein by this reference as Exhibit A. The Master Sign Program is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit B. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

- A. The signage specified by the Master Sign Program is compatible and harmonious with the buildings on the property in that it is proportionate in size to the overall scale of the buildings and the colors and signage designs compliment the primary white and tan colors of the buildings, as well as the brown and red colors of the clay tile roofing.
- B. Requested exceptions from the City's Design Guidelines for Signs are compatible and harmonious with the overall project in that the signs are proportionate in size with the existing development.
- C. The design of the project's identification signage is compatible with the project's overall architecture and is appropriate in terms of its size and location within the project.

Section 3. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

- A. The Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the CEQA guidelines.

Section 4. SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project Revisions, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Acting Principal Planner and Planning Commission Liaison of the City of Menlo Park, do hereby certify that the above and foregoing Commission Resolution

was duly and regularly passed and adopted at a meeting by said Commission on July 25, 2022, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 25th day of July, 2022.

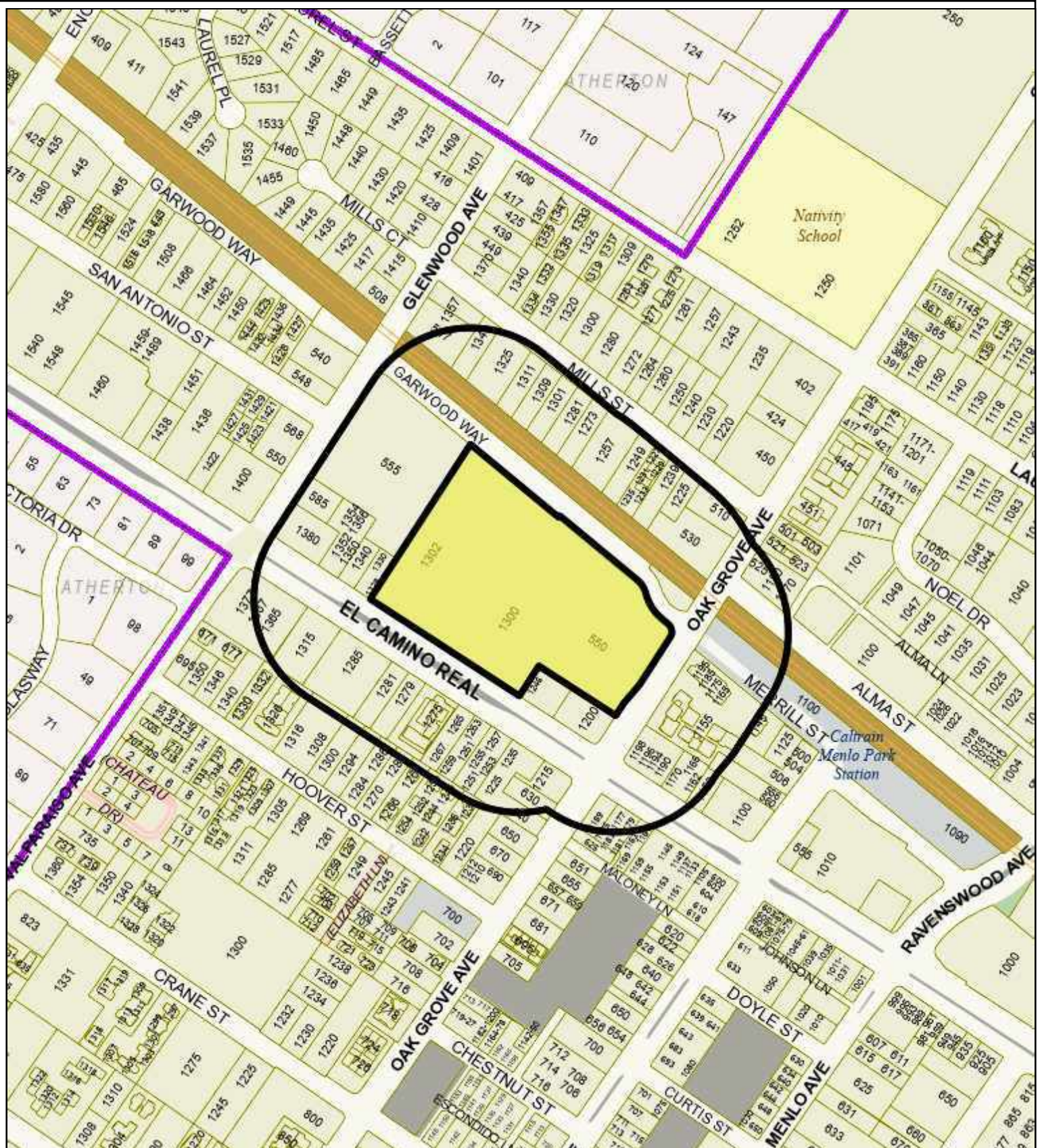
Corinna Sandmeier
Acting Principal Planner
City of Menlo Park

Exhibits

- A. Project Plans
- B. Condition of Approval

1300 El Camino Real – Exhibit B: Conditions of Approval

LOCATION: 1300 El Camino Real	PROJECT NUMBER: PLN2022-00034	APPLICANT: Oscar Ibarra	OWNER: Real Social Good Investment's, LLC
CONDITIONS OF APPROVAL: <ol style="list-style-type: none">1. Development of the project shall be substantially in conformance with the plans prepared by Corporate Sign Systems consisting of 65 plan sheets, dated received July 12, 2022 and approved by the Planning Commission on July 25, 2022, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.2. Applicant shall comply with all requirements of the Planning Division, Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.3. Applicant shall pay all fees incurred through staff time spent reviewing the application.4. The Project shall adhere to all ordinances, plans, regulations, and specifications of the City of Menlo Park and all applicable local, State, and Federal laws and regulations.5. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.			



City of Menlo Park
Location Map
1300-1302 El Camino Real





2019 CALIFORNIA CODE WILL APPLY TO THIS SPRINGLINE

SIGN TYPE A1 - ARCHWAY SIGNAGE

- Fabricate and install (x1) internally illuminated archway signage, arch mounting. Connecting to power source (BY OTHERS) with 20amp dedicated circuit, photocell, and timer.

SIGN TYPE P1 - PARKING SIGNAGE

- Fabricate and install (x4) non-illuminated parking signage, wall mounting.

SIGN TYPE B1 - PEDESTRIAN DIRECTORY

- Fabricate and install (x4) internally illuminated pedestrian directory, ground mounting. Connecting to power source (BY OTHERS) with 20amp dedicated circuit, photocell, and timer.

SIGN TYPE B2 - PEDESTRIAN WAYFINDING

- Fabricate and install (x1) internally illuminated pedestrian wayfinding, ground mounting. Connecting to power source (BY OTHERS) with 20amp dedicated circuit, photocell, and timer.

SIGN TYPE WB - WAYFINDING BLADE SIGN

- Fabricate and install (x1) non-illuminated wayfinding blade sign, wall mounting.

SIGN TYPE BL - BLADE SIGNAGE

- Fabricate and install (x12) internally illuminated blade signage, wall mounting. Connecting to power source (BY OTHERS) with 20amp dedicated circuit, photocell, and timer.

SIGN TYPE T - TENANT ID

- Fabricate and install (x15) illuminated tenant id, wall mounting.

SIGN TYPE PT - PARAPET TENANT ID

- Fabricate and install (x6) illuminated parapet tenant id, wall mounting.

PROJECT:

1300 & 1302 EL CAMINO REAL
MENLO PARK, CA 94025

MASTER SIGN PROGRAM

07/13/22

Design + Build.

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INTRODUCTION

PROJECT DESCRIPTION

Springline is a 6.4 acre mixed-use development located at 1300-1302 El Camino Real and 550 Oak Grove Avenue in Menlo Park, California. With a focus on tenant and visitor hospitality, the property will boast two 100,000 square foot state-of-the-art, Class A+ office buildings, 183 residences, exclusive community serving uses and dining options, a dual-level subterranean parking garage, as well as substantial public outdoor space tailor-made for one-of-a-kind experiences, gatherings, and events for both tenants and the surrounding community.

NAMING CONVENTIONS IN THIS GUIDE

The term Project shall be used to refer to all activities including planning, construction and maintenance in regard to the property.

The term Campus shall be used to refer to all buildings, grounds, roadways or other architectural features not specifically included in the scope of other terms such as Tenant.

The term Commercial Tenant shall be used to refer to the occupants, businesses, and community serving uses utilizing the portions of the Campus for their business.

The term Owner shall be used to refer to Real Social Good Investments, LLC., its agents and subsidiaries.

The term City shall be used to refer to the city of Menlo Park and its respective agencies, laws, policies or representatives.



MASTER SIGN PLAN PROCESS

MASTER SIGN PROGRAM REVIEW PROCESS

- Planning commission review
- Planning approval

* For subsequent tenant signage approval, planning staff reviews conformance with MSP. Thereafter, individual tenant signage will be routed to the building department for structural, electrical and safety conformance.

- * To provide specific criteria regulating various aspects of signage for the campus.
- * To provide specific criteria regulating various aspects of signage for the Tenant.
- * To regulate all permanent Campus and Tenant signage within the Projects boundaries.
- * To provide criteria for approval such that all signage approved from this document needs administrative approval in relation to zoning & guidelines.

PURPOSE OF THE MASTER SIGN PROGRAM CRITERIA

The Master Sign Program Criteria is provided to guide developers, designers, architects, tenants and the City of Menlo Park in the design, development, approval and implementation of signage at the Project. The regulations of this section shall govern the design and maintenance of Campus and Tenant signage within the Project Area.

THE OBJECTIVES OF THIS CRITERIA ARE

- * To provide a clear criteria for developing a Master Sign Program. Such a program should follow the specifications in this document as guidelines for creating specific signage designs addressing all sign types within the Project.
- * To generate varied and creative signage incorporating a uniformly high level of design, graphics, continuity, consistency and maintenance.
- * To establish signage as a design element that contributes to the overall aesthetic of the project.
- * To provide standards of acceptability for signs in order to facilitate the review and approval process by the Owner and the City.
- * To supply Campus, Tenant and Parapet Tenant identification, information and directional signage, providing for public safety through the ready recognition of wayfinding throughout the Campus.

*** All signage will require a permit and must be submitted, reviewed and approved by the city staff before installed.**

FUTURE REVISIONS

Minor deviations to the master sign program may be reviewed by the city's planning department at staff level. Larger revisions would require an amendment to the Master Sign Program to be submitted. The level of revision requested will be reviewed and determined by the City's planning department.

DESCRIPTIONS / USAGE / RESTRICTIONS

CAMPUS SIGNAGE DESIGN GUIDELINES

Design objective

The primary objective of the Master Sign Program for Springline is to generate quality, creative signage that works to reinforce the quality and character of this Project, while at the same time providing effective project identity, wayfinding and campus safety.

Design Quality

All signage will achieve the highest level of design quality and be consistent with the quality defined in the Project submittal documents.

All signage will be consistent with the architectural and landscape character of the Project. This consistency shall be maintained through: complimentary materials, design, texture, color and typefaces. The scale and proportion of graphics shall be consistent with the site, landscape and buildings of the project.

All signage must be designed and specified to meet the construction requirements in this document. This includes all quality standards for finishing, color and durability.

Employ illumination techniques in keeping with a high quality development such as:

- Edge lit illuminated letters
- Externally illuminated from light sources hidden in the landscaping for ground / monument signage
- Internally or externally lit blade signage
- Internally lit monument wayfinding signage
- Internally lit archway signage

Design Content

Campus signage will convey the name of Project, identify tenants and address as well as provide wayfinding information around the campus. Specifics of this content and its use are detailed in this document.

Sign Placement

Campus signage shall be located as indicated on the elevations and master sign location plans included in this package.

Locations given indicate a general area where the sign will be located. Exact location will depend on final design and will be given during submittal stage of sign implementation and permitting.

Monument and free-standing signage will be located in such a way as to have a minimum setback from traffic, but shall not block view of traffic entering a lane. Exact location should be coordinated with traffic consultant's line of sight studies.

DESCRIPTIONS / USAGE / RESTRICTIONS

Typestyles

Type shall be sized in accordance with established standards for visibility and legibility. Sizing shall take into consideration viewing distance, site lines and vehicle speed for vehicular oriented signs.

The font Brown Regular and Bold has been outlined as the project's default and standard type style. Minor variations may be approved by planning at staff level when keeping consistent with design guidelines and project style.

Lighting

Design of signage lighting shall contribute to the design of the sign, and shall not detract from the overall design character of the Project. Lighting shall provide for enhanced legibility and effectiveness.

Colors

Sign colors are to provide sufficient contrast against building background colors. Color of letter returns are to contrast with building colors for good daytime readability.

Refer to this document's style sheet for approved colors and materials.

Sign Maintenance

All signs shall be maintained in an as-new and fully-functional condition. Signs shall meet all relevant standards of the Project submittal documents at all times. Project management shall make periodic inspections of all signs on site. Any deficiencies shall be immediately corrected by the person(s) or business(es) responsible for the maintenance of said sign or signs.

Temporary Signs

Temporary signs shall comply with the City's Planning Division requirements.

Prohibited Sign Types

The following sign types shall be prohibited on this Project :

- Illuminated sign boxes with face lit panels.
- Illuminated back-lit canopies.
- Signs with exposed raceways, conduit, junction boxes, transformer lamps, tubing, or neon crossovers of any type.
- Rotating, animated and flashing signs.
- Pole signs and other signs with exposed structural supports not intended as a design element except for code-required signs.
- Pennants, banners, or flags identifying individual tenants.
- A-frame sandwich boards.
- Vehicle signs, except for the identification of a business enterprise or advertisement upon a vehicle which is used in the operation of the business. The signage must be painted on or otherwise affixed so as not to project from the usual profile of the vehicle. The vehicle must be in an operable state.
- Signs painted on an exterior building wall, window, fascia, chimney of a building, on a fence or fence-type wall, on benches, fence posts, trash receptacles, utility poles, utility boxes, storage sheds, bus shelters, satellite dish antennas or other accessory structures.
- Signs attached, painted on, or otherwise affixed to trees, other living vegetation, landscaping or natural materials.
- Any sign designed to be moved from place to place.
- Signs attached, painted or otherwise affixed to awnings, tents or umbrellas.

- Balloons and inflatable signs.
- Any signs including freestanding signs advertising the availability of employment opportunities.
- Signs which emit sound, odor or visible matter or which bear or contain statements, words or pictures of an obscene, pornographic or immoral character.
- Fluorescent or reflective sign colors.
- Simulated materials, i.e. wood grained plastic laminate, wall covering, paper, cardboard or foam.
- Signs attached directly to raceways unless reasonable access is possible through wall or structure behind sign.
- Fluorescent or reflective materials such as mirror.

SIGNAGE DISPLAY AREA -CALCULATIONS

TOTAL SIGN AREA CALCULATIONS

Total Sign Area Calculations in SF

EL CAMINO REAL

LOT LINEAR FRONTAGE	PRIMARY FRONTAGE FORMULA FOR MAXIMUM DISPLAY AREA	MAXIMUM DISPLAY AREA	SIGN TYPE	PROPOSED SF	x QTY PROPOSED	= TOTAL SIGN AREA USED	= TOTAL SIGN AREA OF DIRECTIONAL SIGNAGE*
FT	SF	SF	A1. ARCHWAY SIGNAGE	24.16 SF	1	- (exempt)	24.16 SF
456'-0" LF	30' + (Frontage Length - 10') x (8/7) 30' + (456' - 10') x (8/7)	539.71 SF	P1. PARKING SIGNAGE	12.34 SF	2	- (exempt)	24.68 SF
PARAPET SIGNAGE FORMULA FOR MAXIMUM DISPLAY AREA		PARAPET SIGNAGE MAXIMUM DISPLAY AREA	B1. PEDESTRIAN DIRECTORY	19.25 SF	1	- (exempt)	19.25 SF
0.5 x (LOT LINEAR FRONTAGE) 0.5 x (456)		228 SF	WL. WAYFINDING BLADE SIGN	4 SF	1	- (exempt)	4 SF
			BL. BLADE SIGNAGE	4 SF	9	- (exempt)	36 SF
			T. TENANT ID - 24"H	25 SF	10	250 SF	- (not applicable)
			PT. PARAPET TENANT ID - 30-48"H	50 SF	4	200 SF	- (not applicable)
TOTAL =				450 SF		108.09 SF	

NON - VISIBLE SIGN AREA		TOTAL
PARAPET ID	TENANT ID	
-	25 SF	25 SF

*Per Menlo Park Sign Ordinance §16.92.110 Signs pertaining to commercial and industrial land use zones (10): "Within the ECR/D-SP zoning district, safety and directional signage shall be exempt from the limits on signage display area, [...] provided, that the safety and directional signage is approved pursuant to a master signage program.

GARWOOD WAY

LOT FRONTAGE	SECONDARY FRONTAGE FORMULA FOR MAXIMUM DISPLAY AREA	MAXIMUM DISPLAY AREA	SIGN TYPE	PROPOSED SF	x QTY PROPOSED	= TOTAL SIGN AREA USED	= TOTAL SIGN AREA OF DIRECTIONAL SIGNAGE*
FT	SF	SF	A1. ARCHWAY SIGNAGE	24.16 SF	-	- (exempt)	- (not applicable)
688'-0" LF	0.5 x 30' + (non -ECR Frontage - 10') x (8/7) 0.5 x 30' + (688' - 10') x (8/7)	402.42 SF	P1. PARKING SIGNAGE	12.34 SF	2	- (exempt)	24.68 SF
PARAPET SIGNAGE FORMULA FOR MAXIMUM DISPLAY AREA		PARAPET SIGNAGE MAXIMUM DISPLAY AREA	B1. PEDESTRIAN DIRECTORY	19.25 SF	2	- (exempt)	38.5 SF
0.5 x (LOT LINEAR FRONTAGE) 0.5 x (688)		344 SF	B2. PEDESTRIAN WAYFINDING	9.17 SF	1	- (exempt)	9.17 SF
			T. TENANT ID - 24"H	25 SF	1	25 SF	- (not applicable)
			PT. PARAPET TENANT ID - 30-48"H	50 SF	2	100 SF	- (not applicable)
TOTAL =				125 SF		72.35 SF	

NON - VISIBLE SIGN AREA		TOTAL
PARAPET ID	TENANT ID	
-	25 SF	25 SF

*Per Menlo Park Sign Ordinance §16.92.110 Signs pertaining to commercial and industrial land use zones (10): "Within the ECR/D-SP zoning district, safety and directional signage shall be exempt from the limits on signage display area, [...] provided, that the safety and directional signage is approved pursuant to a master signage program.

OAK GROVE AVE

LINEAR FRONTAGE	SECONDARY FRONTAGE FORMULA FOR MAXIMUM DISPLAY AREA	MAXIMUM DISPLAY AREA	SIGN TYPE	PROPOSED SF	x QTY PROPOSED	= TOTAL SIGN AREA USED	= TOTAL SIGN AREA OF DIRECTIONAL SIGNAGE*
FT	SF	SF	A1. ARCHWAY SIGNAGE	24.16 SF	-	- (exempt)	- (not applicable)
273'-0" LF	0.5 x 30' + (non -ECR Frontage - 10') x (8/7) 0.5 x 30' + (273' - 10') x (8/7)	165.28 SF	P1. PARKING SIGNAGE	12.34 SF	-	- (exempt)	- (not applicable)
PARAPET SIGNAGE FORMULA FOR MAXIMUM DISPLAY AREA		PARAPET SIGNAGE MAXIMUM DISPLAY AREA	B1. PEDESTRIAN DIRECTORY	19.25 SF	1	- (exempt)	19.25 SF
0.5 x (LOT LINEAR FRONTAGE) 0.5 x (273)		136.5 SF	B2. PEDESTRIAN WAYFINDING	9.17 SF	-	- (exempt)	- (not applicable)
			T. TENANT ID - 24"H	25 SF	4	100 SF	- (not applicable)
			PT. PARAPET TENANT ID - 30-48"H	50 SF	-	- (not applicable)	- (not applicable)
			BL. BLADE SIGNAGE	4 SF	3	- (exempt)	12 SF
TOTAL =				100 SF		31.25 SF	
GRAND TOTAL =				675 SF		211.69 SF	

NON - VISIBLE SIGN AREA		TOTAL
PARAPET ID	TENANT ID	
-	-	-

*Per Menlo Park Sign Ordinance §16.92.110 Signs pertaining to commercial and industrial land use zones (10): "Within the ECR/D-SP zoning district, safety and directional signage shall be exempt from the limits on signage display area, [...] provided, that the safety and directional signage is approved pursuant to a master signage program.

SITE PLAN

PARCEL FRONTAGES

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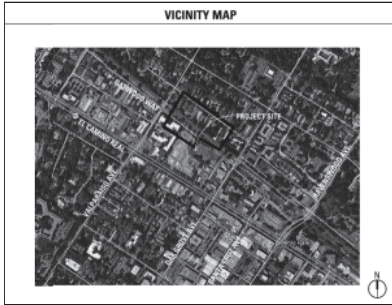
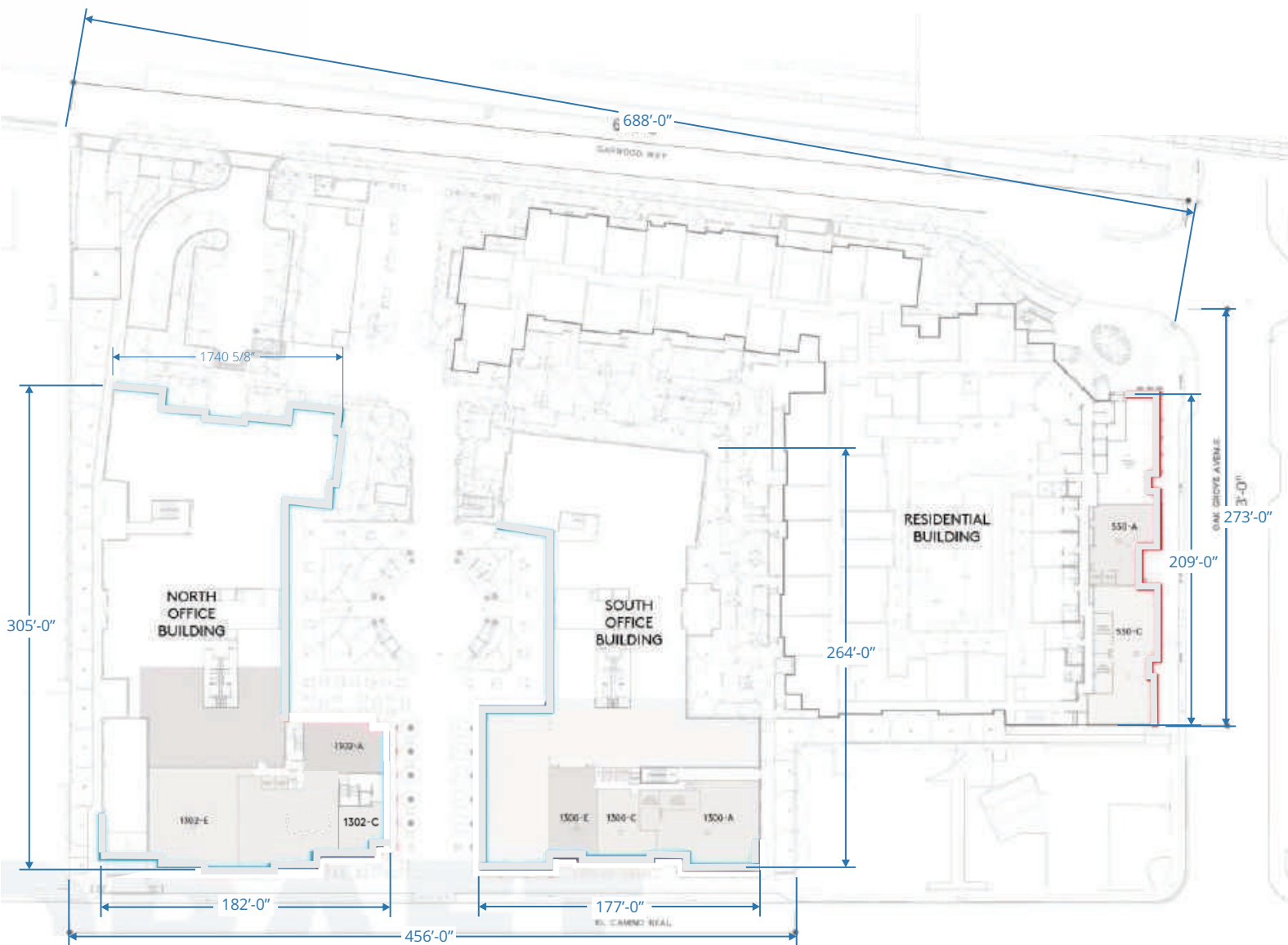
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SITE PLAN FRONTAGES

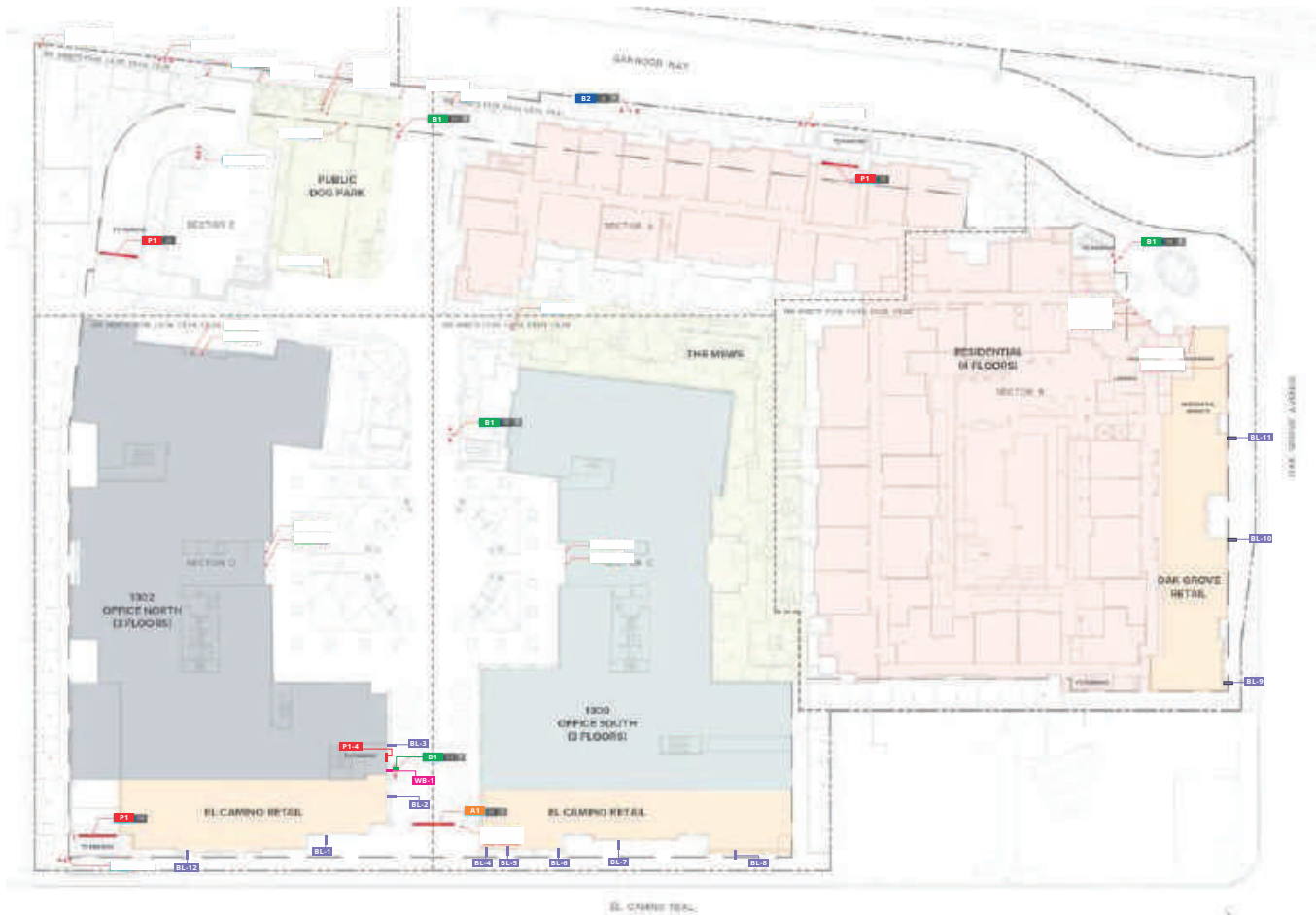
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1 SITE PLAN
scale: 1/64"=1'-0"

LOCATION PLAN

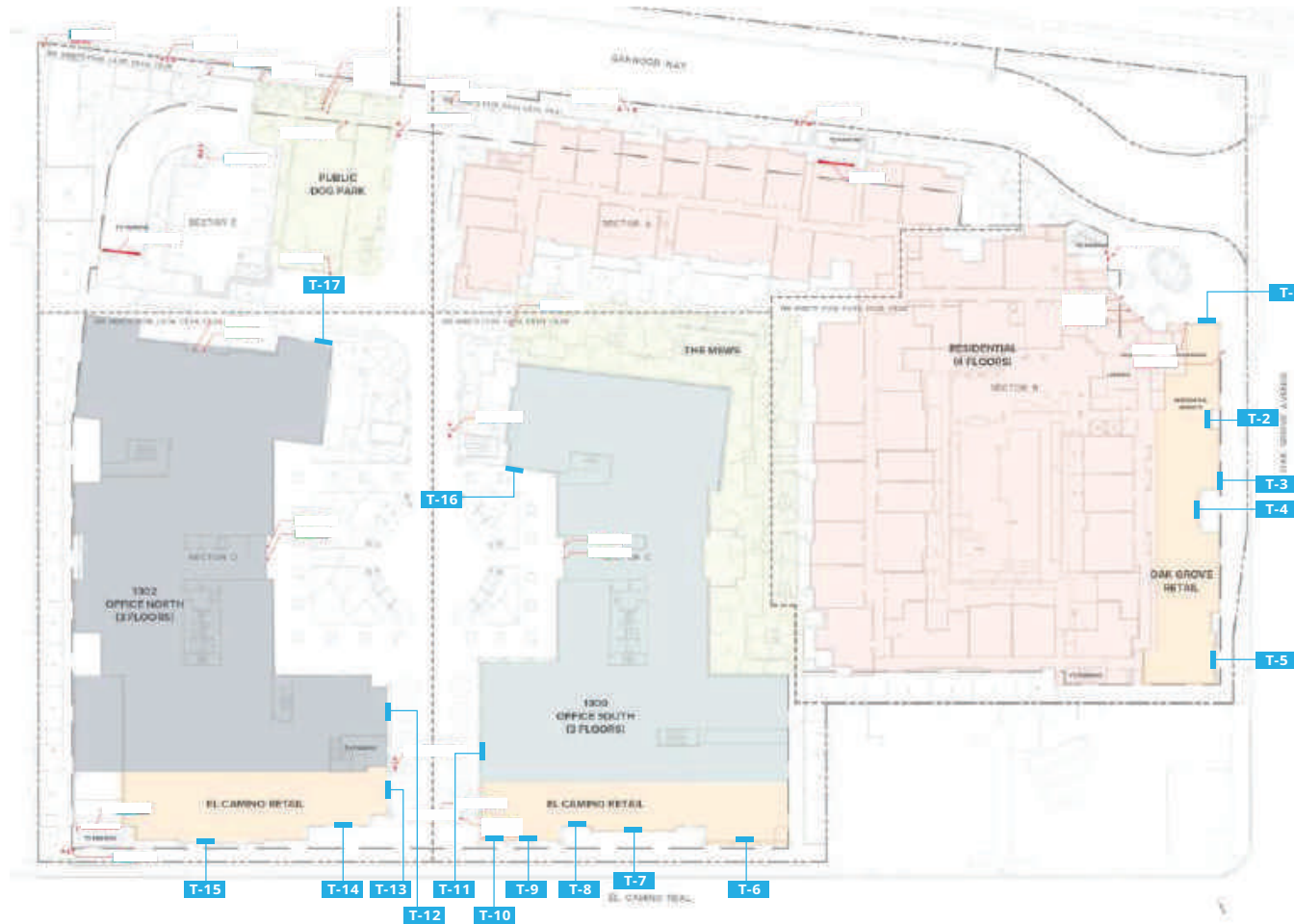


- A1 ARCHWAY SIGNAGE
- P1 PARKING SIGNAGE
- WB WAYFINDING BLADE SIGN
- BL BLADE SIGNAGE
- B1 PEDESTRIAN DIRECTORY
- B2 PEDESTRIAN WAYFINDING

LOCATION PLAN TENANT ID

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LOCATION PLAN

PARAPET TENANT ID

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PT PARAPET TENANT ID

STYLE SHEET

BRAND ARTWORK



FONTS

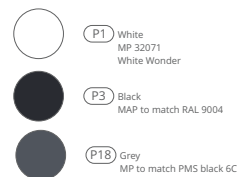
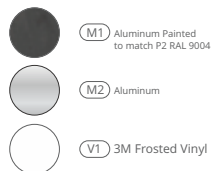
Brown Regular

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
1234567890

Brown Bold

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
1234567890

MATERIAL AND COLOR SCHEDULE



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SIGN TYPES



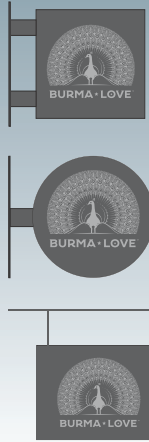
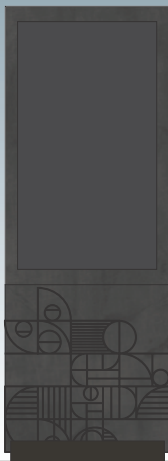
TENANT XYZ
TENANT XYZ
TENANT XYZ

scale: 1/4" = 1'-0"

A1 ARCHWAY SIGNAGE

T TENANT ID
PT PARAPET TENANT ID

PARKING



scale: 1/2" = 1'-0"

P1 PARKING SIGNAGE

B1 PEDESTRIAN DIRECTORY
B2 PEDESTRIAN WAYFINDING

WB WAYFINDING BLADE SIGN

BL BLADE SIGNAGE

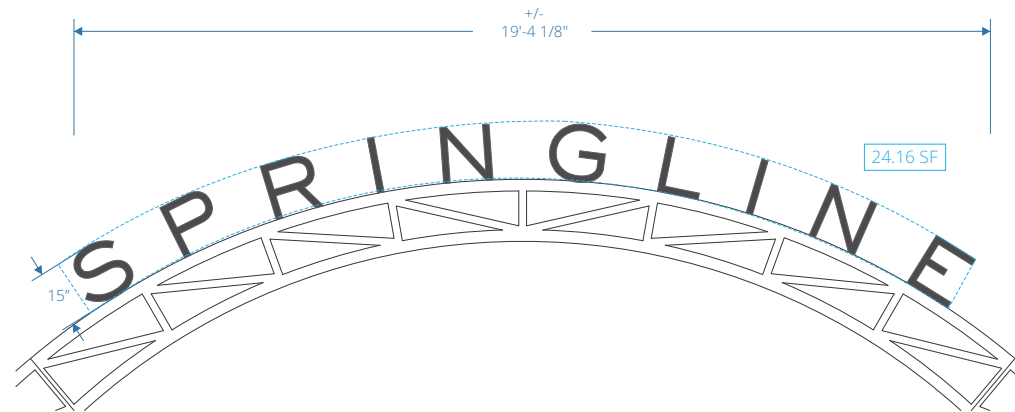
ARCHWAY SIGNAGE

SIGN TYPE A1

Archway Signage

A. SIGN MASSING

Sign should be mounted to the arch in the property, and their design should be consistent with the building architecture in terms of style, material, colors, and proportions. The size of signs should be compatible with other signs in the surrounding area.



1 FRONT VIEW
scale: 1/2"=1'-0"

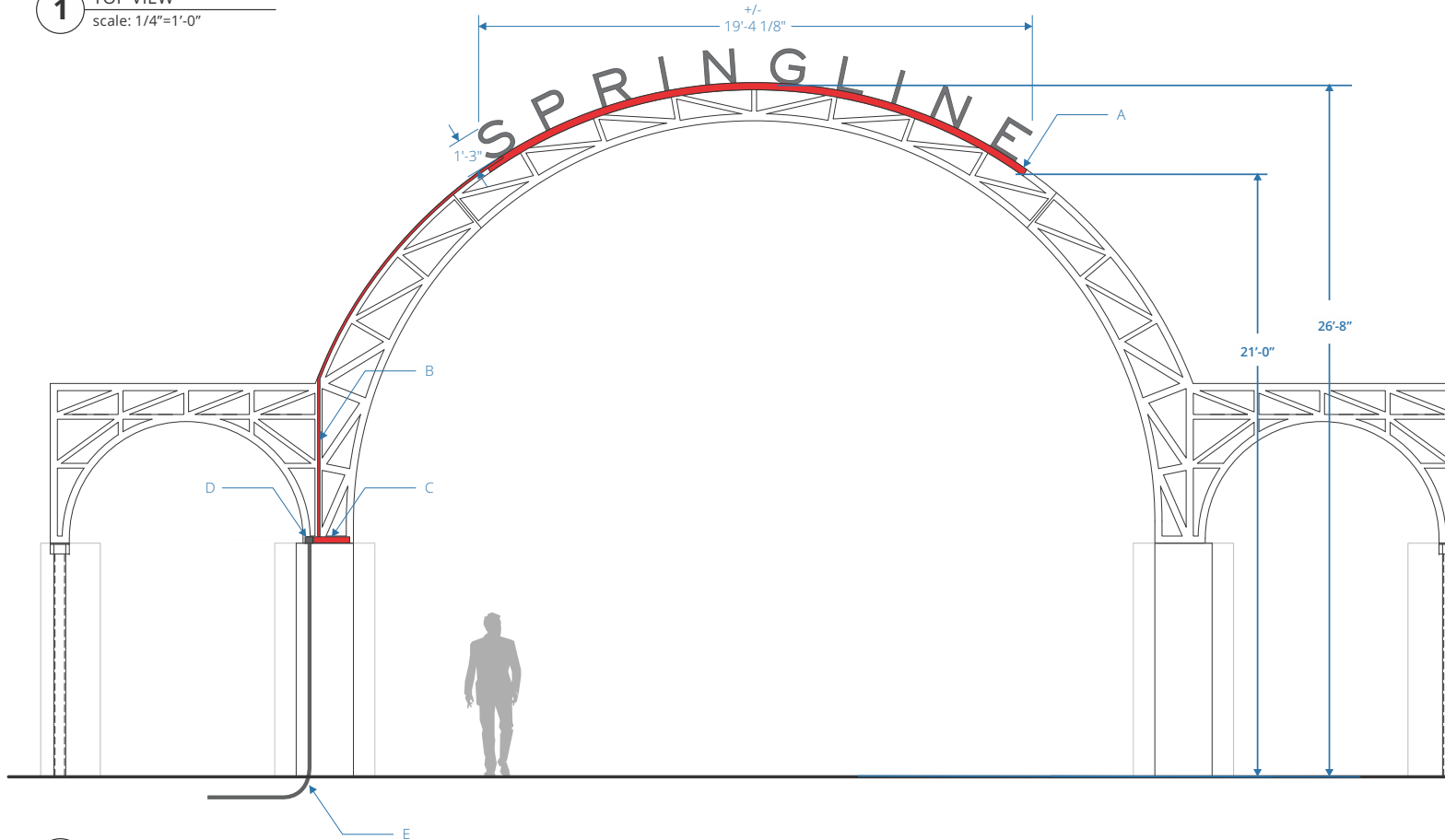
SIGN TYPE A1
ARCHWAY SIGNAGE
PROPOSED = 24.16 SF

ARCHWAY SIGNAGE CONSTRUCTION DETAILS

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD



1 TOP VIEW
scale: 1/4"=1'-0"



2 FRONT VIEW
scale: 1/4"=1'-0"

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SIGN TYPE

A1

DESCRIPTION

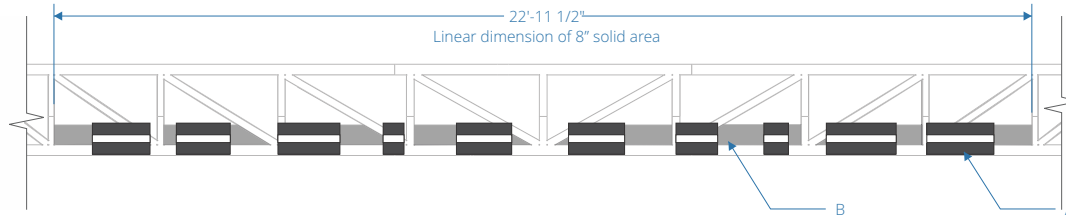
QTY: 1

- A.** Raceway to house wiring mounted in structure.
- B.** Conduit from electrical box to wiring raceway.
- C.** Electrical box to house power supply mounted in structure.
- D.** Jbox.
- E.** To main electrical.

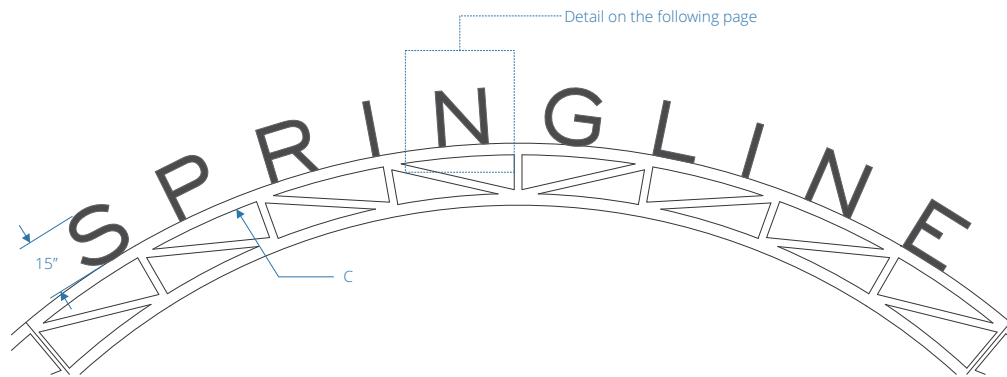
SIGN TYPE A1
ARCHWAY SIGNAGE
PROPOSED = 24.16 SF

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

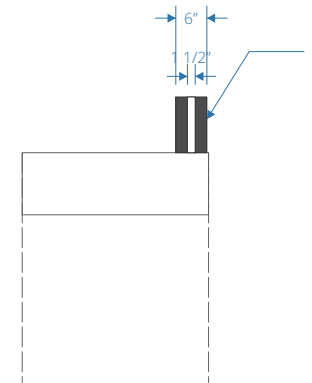
ARCHWAY SIGNAGE CONSTRUCTION DETAILS



3 TOP VIEW - DETAIL
scale: 1/2"=1'-0"



4 FRONT VIEW - DETAIL
scale: 1/2"=1'-0"



5 SIDE VIEW - DETAIL
scale: 1/2"=1'-0"

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SIGN TYPE

A1

DESCRIPTION

QTY: 1

- A.** Channel letters to have stripe of acrylic for returns for edge illumination. Highly recommends mock-up of letter to get the correct amount of illumination.
- B.** Mounting plates as required per engineering.
- C.** Raceway to house wiring mounted in structure
- D.** Channel letters attached to archway to have 1" wide acrylic return that illuminates at night.

SIGN TYPE A1
ARCHWAY SIGNAGE
PROPOSED = 24.16 SF

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

ARCHWAY SIGNAGE

CONSTRUCTION DETAILS

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SIGN TYPE

A1

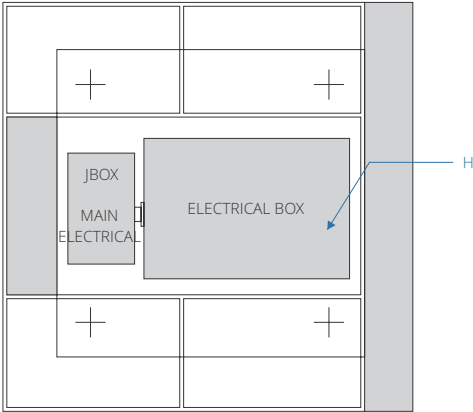
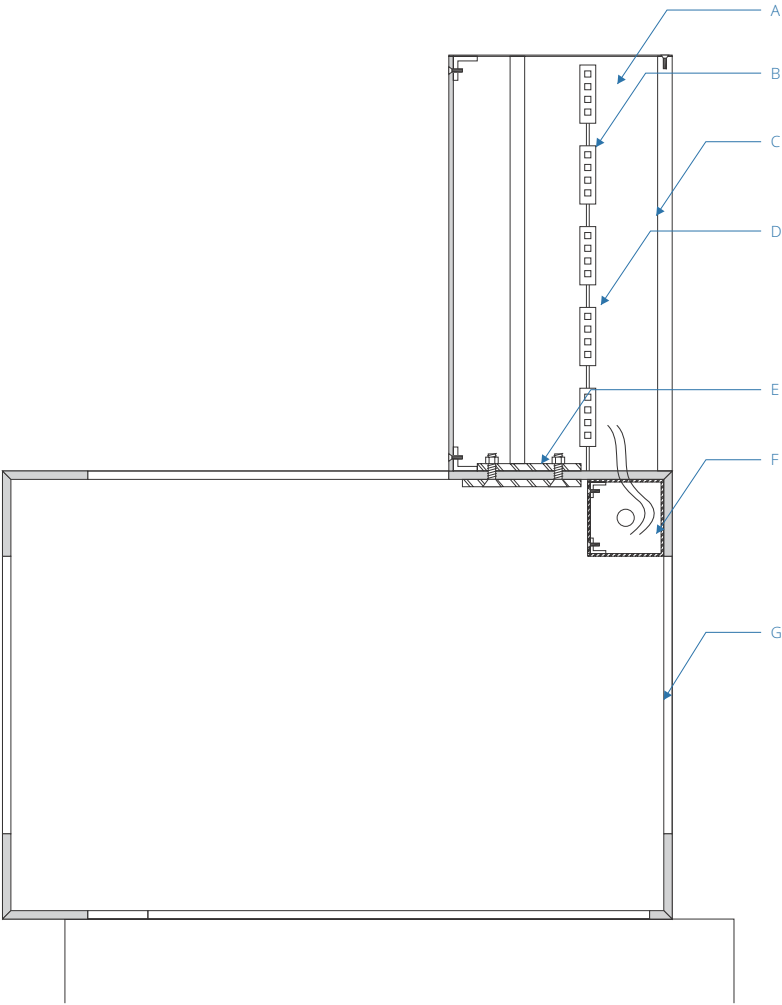
DESCRIPTION

QTY: 1

- A.** Fabricated aluminum channel letter 1/8" thick back and .090 returns.
- B.** LED system as required to provide even illumination with no hot spots, client to approve light temperature specification prior to fabrication.
- C.** 1/2" thick clear acrylic letters
- D.** Interior of letters to be prepared and painted Spraylat Star Bright White Lacryl Reflective.
- E.** Mounting plate and attachment as required per engineer.
- F.** Raceway to house wiring mounted in structure.
- G.** Existing arch structure.
- H.** Electrical box to house power supply mounted in structure.

SIGN TYPE A1
ARCHWAY SIGNAGE
PROPOSED = 24.16 SF

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



6

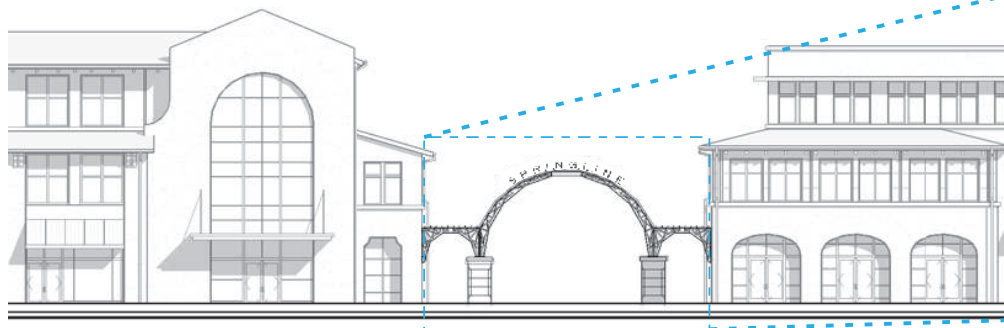
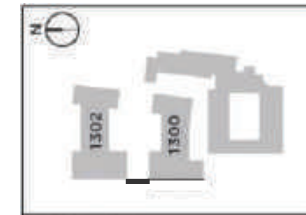
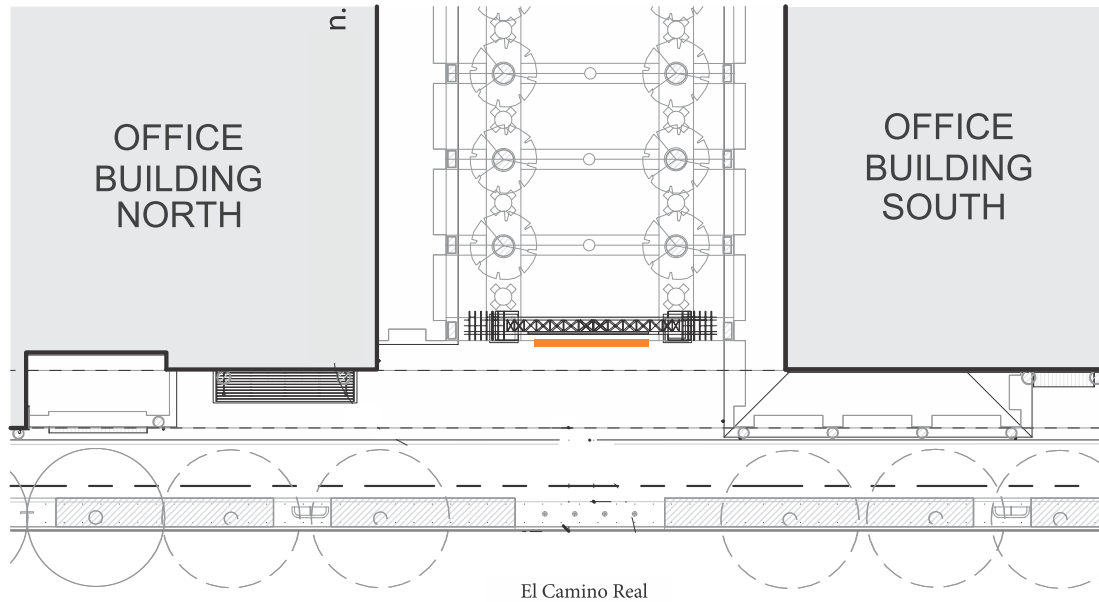
LETTER SECTION
scale: NTS

ARCHWAY SIGNAGE ELEVATION

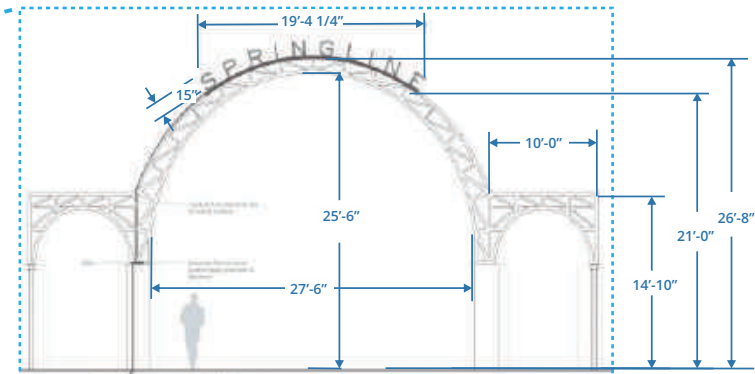
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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NORTH & SOUTH OFFICE BUILDING - WEST ELEVATION



ENLARGED ELEVATION

scale: 3/32" = 1'-0"

PARKING SIGNAGE

SIGN TYPE P1

Parking Signage

A. DESIGN INTENT

The parking entry signage are intended to identify entrance into the parking garage below ground for all residents and visitors of the Property

B. SIGN MASSING

The height of lettering in general shall be 15 inches tall. Signs should be mounted flush against a building, and may not project above the eave of the roof or the top of parapet.

C. VARIATION

Final design should contain no (or very minimal) variation in size or layout to provide for maximum recognition and wayfinding effectiveness. Signs are subject to size restrictions that vary according to the frontage of the lot. Maximum sign area is 12.34 square feet.

D. SIGN LOCATION

Exact sign location to be determined based on final sign design and shape, and to comply with sight distance analyses based on 10' clear sight distance at project driveways and adjacent intersections.



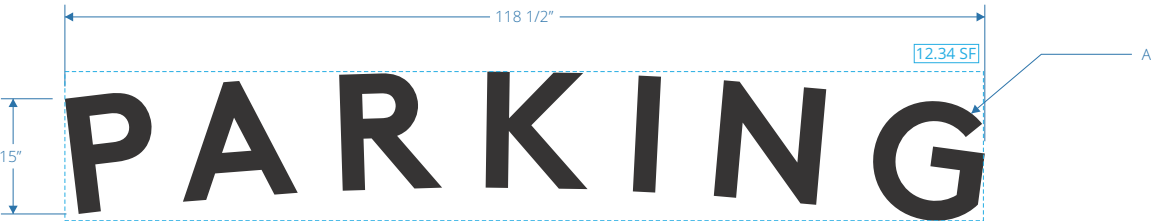
1 FRONT VIEW
scale: 3/4" = 1'-0"

SIGN TYPE P1
PARKING SIGNAGE
PROPOSED = 12.34 SF

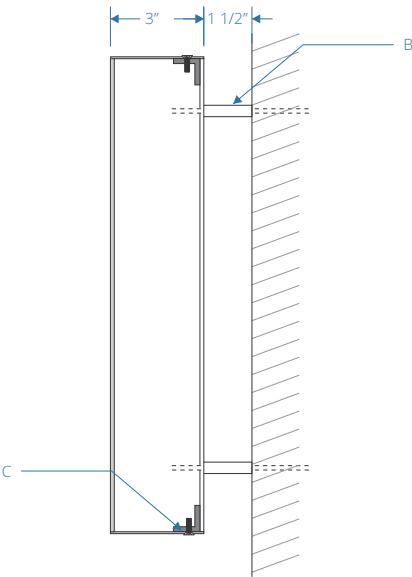
PARKING SIGNAGE CONSTRUCTION DETAILS

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1 FRONT VIEW
scale: 3/4" = 1'-0"



2 SIDE VIEW - ENLARGED
scale: 3" = 1'-0"

SIGN TYPE

P1

DESCRIPTION

QTY: 4

A. 15"h x 3"d fabricated aluminum lettering with 1/8" thick aluminum face and backer, and 1/16" thick aluminum returns, painted P3 black

B. 1 1/2" stainless steel stand-off painted to match wall

C. Counter sunk, socket head steel screw painted to match adjacent as needed

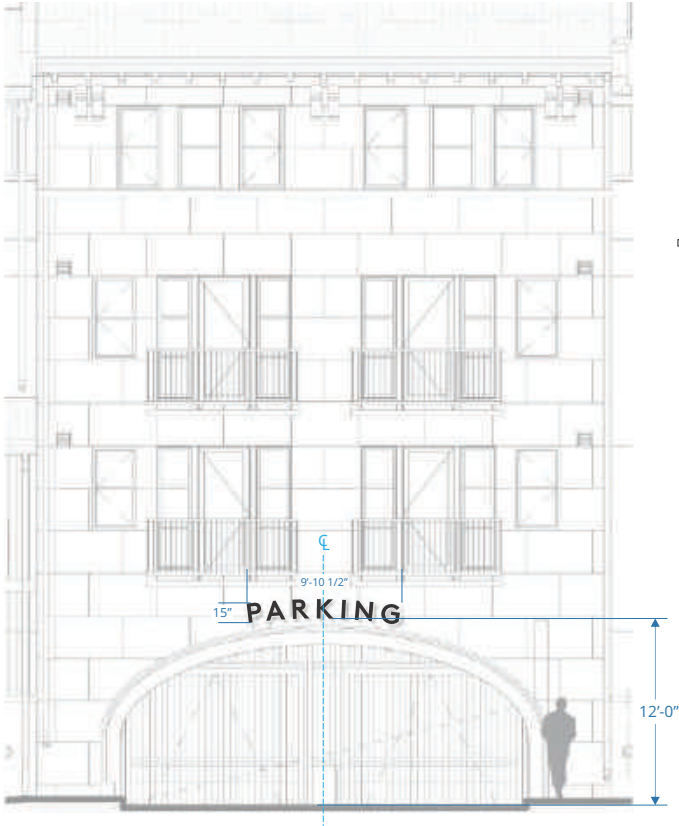
SIGN TYPE P1
PARKING SIGNAGE
PROPOSED = 12.34 SF

PARKING SIGNAGE ELEVATION

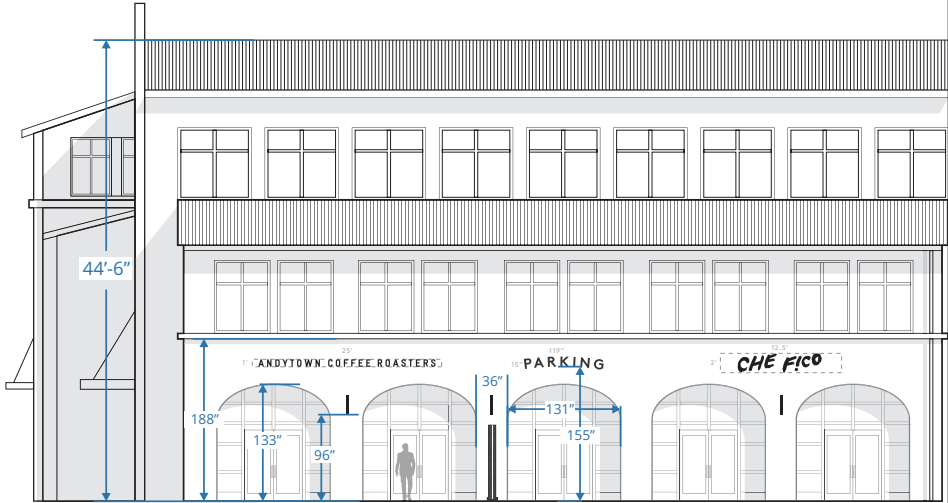
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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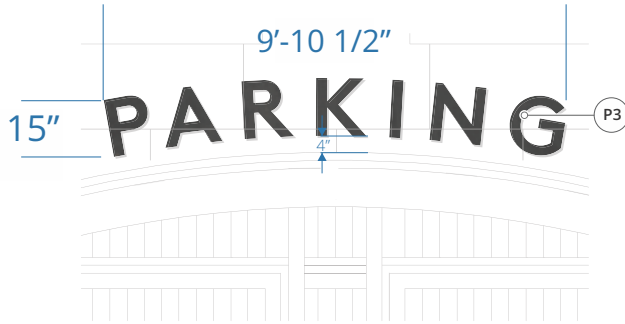
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4 NORTH OFFICE BUILDING - WEST ELEVATION
scale: 1/8" = 1'-0"



5 NORTH OFFICE BUILDING - SOUTH ELEVATION
scale: 1/12" = 1'-0"



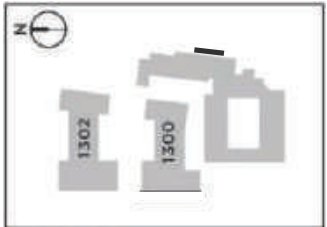
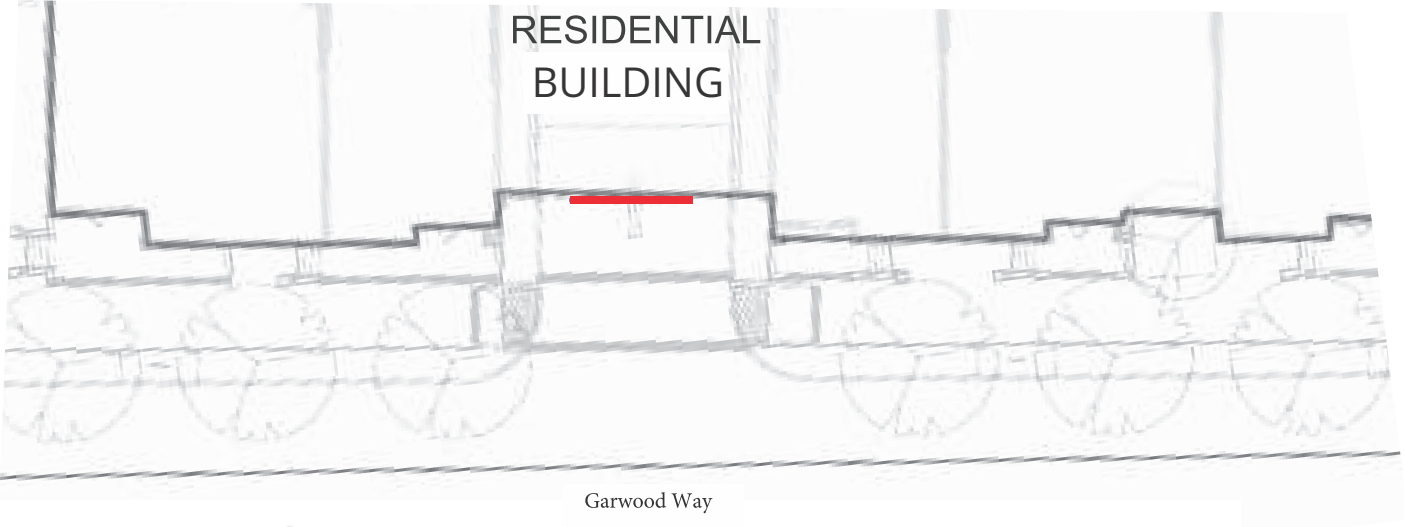
3 INSTALL ELEVATION
scale: 3/8" = 1'-0"

PARKING SIGNAGE ELEVATION

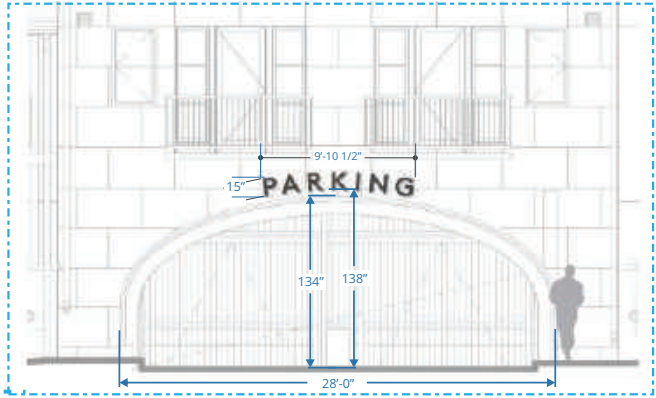
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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RESIDENTIAL BUILDING - EAST ELEVATION



ENLARGED ELEVATION

scale: 1/8" = 1'-0"

PEDESTRIAN DIRECTORY

SIGN TYPE B1

Pedestrian Directories

A. SIGN MASSING

Directory Signs. In all districts where group occupancies in office buildings are permitted, directory signs may be erected displaying the names of the occupants of a building who are engaged in a particular profession, business or the like. Signs shall not exceed eight feet in height. Taller signs may be permitted if necessary due to sight visibility issues. The materials used in the construction of the sign frame and base should be the same as the materials and colors used in the building, or should be complementary to the building materials and colors.

B. VARIATION

Final placement, orientation and dimensions of this sign type may vary slightly from location to location and dependent on final architectural conditions. The overall mass and total sign area should remain consistent with this document. Signs are subject to size restrictions that vary according to the frontage of the lot. Maximum sign area is 19.25 square feet.

C. SIGN LOCATION

Signs will be located as per the location plans in this document. Exact sign location to be determined based on final sign design and shape, and to comply with the City's sign triangle and traffic view area.

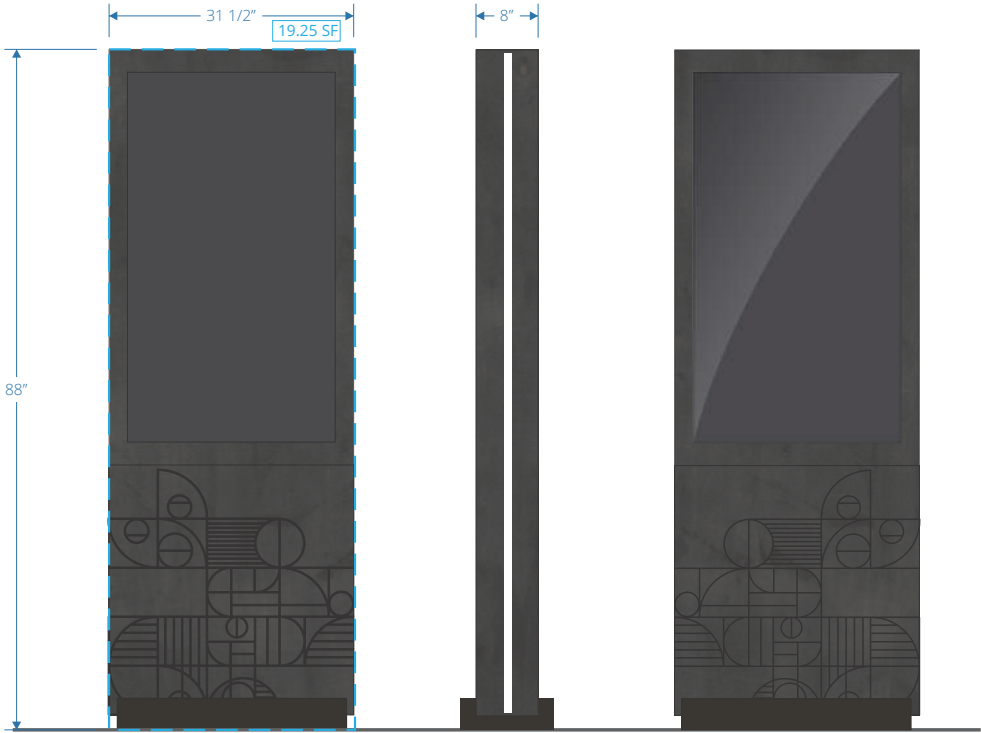
D. VARIANCE

Where practical difficulties, unnecessary hardships or results inconsistent with the general purposes of the sign ordinance may result from the strict and literal interpretation and enforcement of the provisions hereof, the planning commission, upon the verified application of any property owner or lessee of the property affected, shall have authority to grant, upon such terms and conditions as it deems necessary, such variances therefrom as may be in harmony with their general purpose and intent so that the spirit of this chapter shall be observed, public safety and welfare secured and substantial justice done. Given the size of the lot, and in order to adequately direct and assist pedestrians, a total of 5 pedestrian wayfinding signs are proposed throughout the campus to guide towards the corresponding areas and/or destinations. In addition, since the design intent and focus is on guiding and directing pedestrian traffic, any property information is excluded from the signage design.



SIGN TYPE B1
PEDESTRIAN DIRECTORY
PROPOSED = 19.25 SF

1 TOP VIEW
scale: 3/4"=1'-0"



2 FRONT VIEW
scale: 3/4"=1'-0"

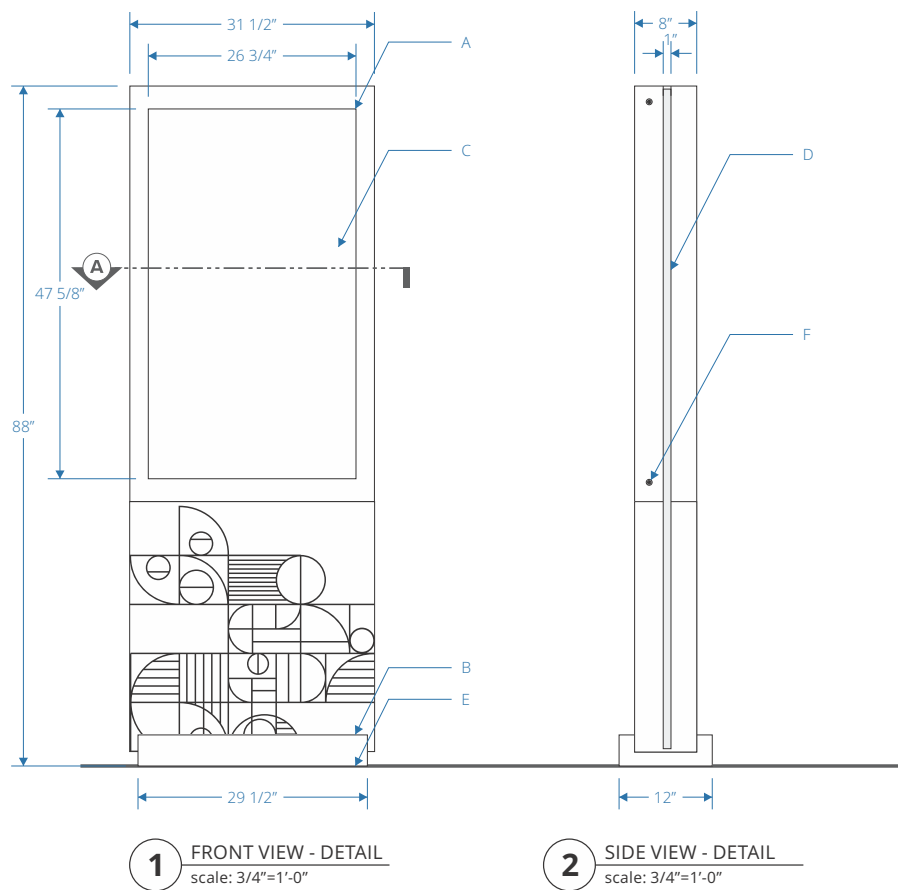
3 SIDE VIEW
scale: 3/4"=1'-0"

4 BACK VIEW
scale: 3/4"=1'-0"

PEDESTRIAN DIRECTORY

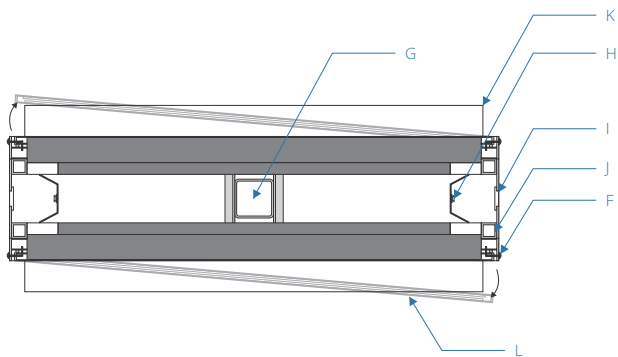
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SIGN TYPE B1
PEDESTRIAN DIRECTORY
PROPOSED = 19.25 SF

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



SIGN TYPE

B1

DESCRIPTION

QTY: 4

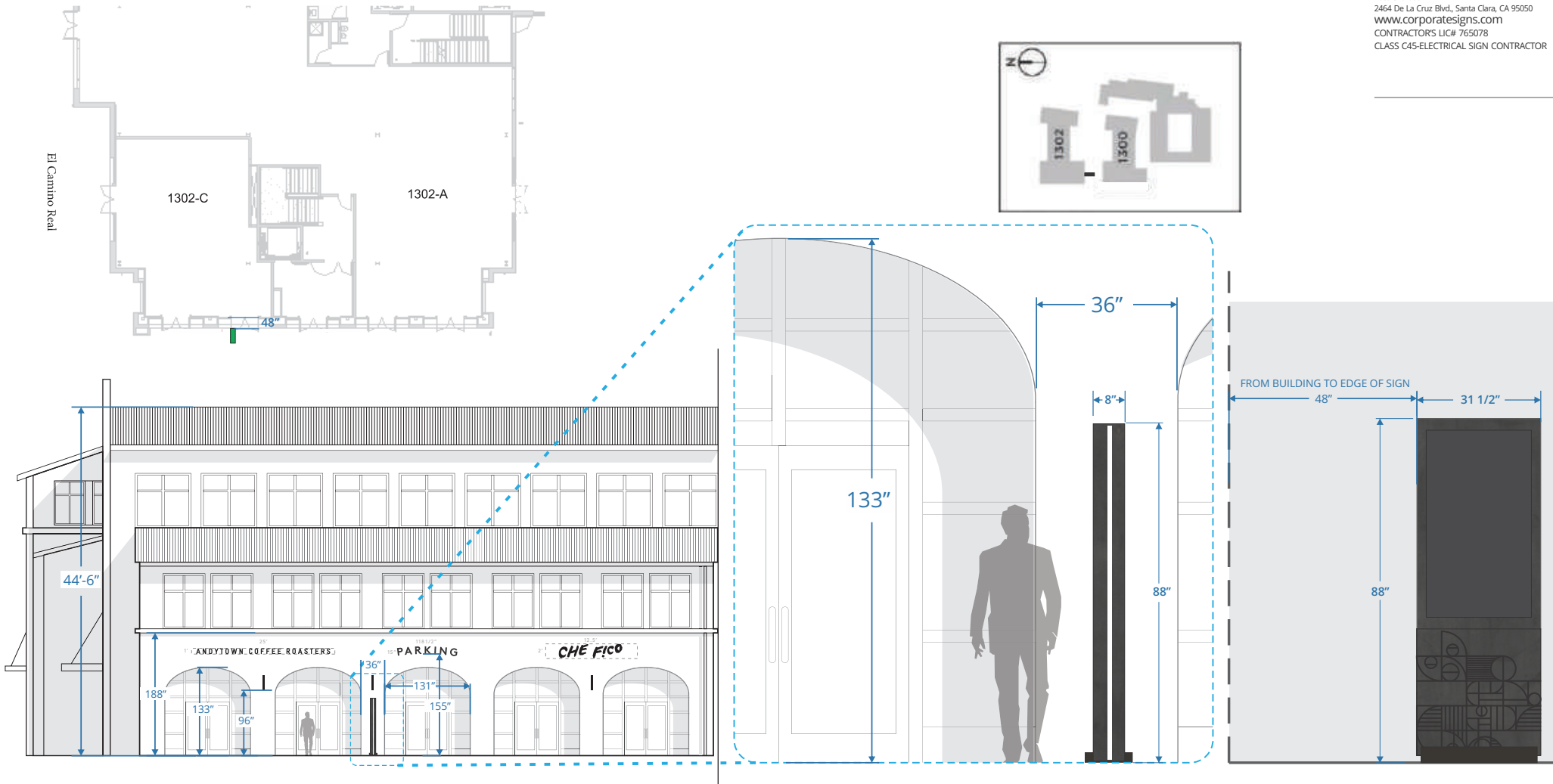
- A. 55" Digital touch screen by others.
- B. Footer to be painted P3 Black
- C. Fabricated aluminum cabinet to house electrical and components for digital signage. Ventilation to be minimal and preferably on top of sign.
- D. 1" Thick acrylic stripe to extend full length of cabinet to internally illuminate
- E. Anchoring as required per sign
- F. Cam lock on side of cabinet door
- G. Steel support as required per sign contractor's engineer. Below grade footing.
- H. LED system as required to provide even illumination.
- I. 1/2" wide acrylic push-thru flush
- J. Fabricated aluminum cabinet with internal structural frame
- K. Painted aluminum footer
- L. Aluminum extrusion cabinet hinged door mechanically fastened to frame

PEDESTRIAN DIRECTORY ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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1 NORTH OFFICE BUILDING - SOUTH ELEVATION
scale: 1/12"=1'-0"

2 NORTH OFFICE BUILDING - SOUTH ELEVATION (ENLARGED)
scale: 1/2"=1'-0"

PEDESTRIAN WAYFINDING ID

SIGN TYPE B2

Pedestrian Wayfinding

A. SIGN MASSING

Directory Signs. In all districts where group occupancies in office buildings are permitted, directory signs may be erected displaying the names of the occupants of a building who are engaged in a particular profession, business or the like. Signs shall not exceed eight feet in height. Taller signs may be permitted if necessary due to sight visibility issues. Signs located near street corners and driveways may be referred to the City's traffic engineer for determinations regarding appropriate vehicle sight clearances. The materials used in the construction of the sign frame and base should be the same as the materials and colors used in the building, or should be complementary to the building materials and colors.

B. VARIATION

Final placement, orientation and dimensions of this sign type may vary slightly from location to location and dependent on final architectural conditions. The overall mass and total sign area should remain consistent with this document. Signs are subject to size restrictions that vary according to the frontage of the lot. Maximum sign area is 9.17 square feet.

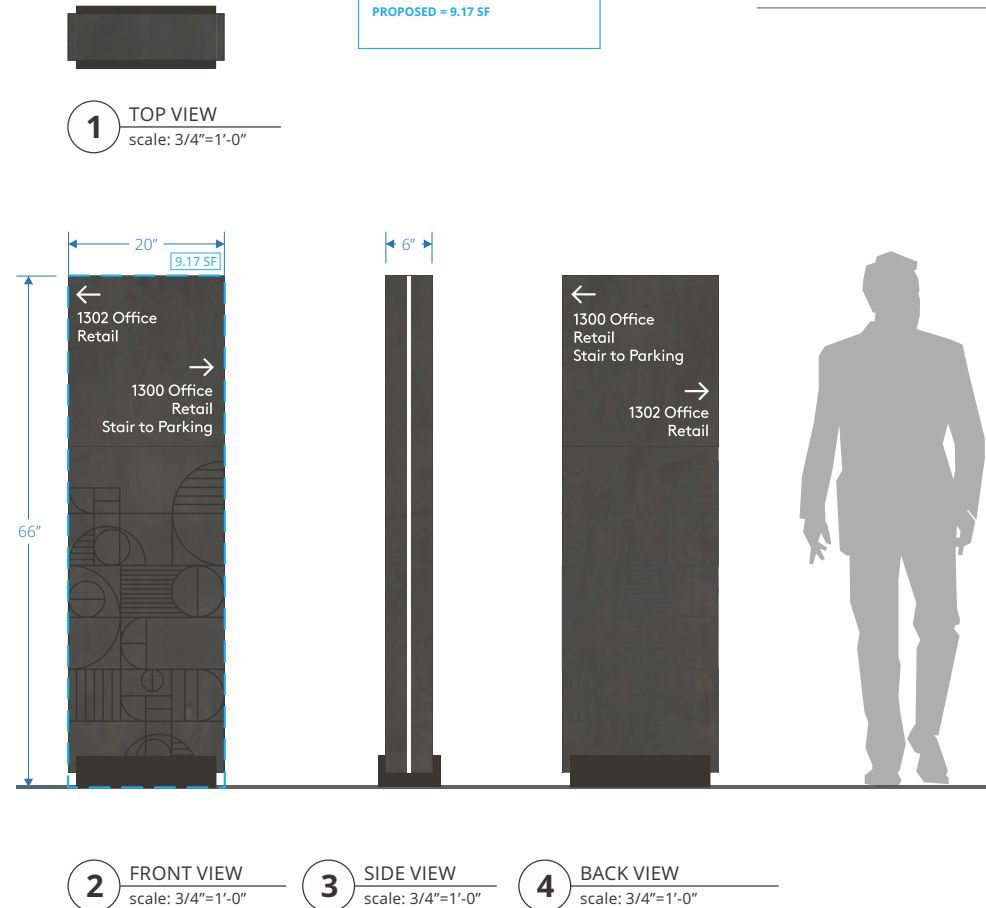
C. SIGN LOCATION

Signs will be located as per the location plans in this document. Exact sign location to be determined based on final sign design and shape, and to comply with the City's sign triangle and traffic view area.

D. VARIANCE

Where practical difficulties, unnecessary hardships or results inconsistent with the general purposes of the sign ordinance may result from the strict and literal interpretation and enforcement of the provisions hereof, the planning commission, upon the verified application of any property owner or lessee of the property affected, shall have authority to grant, upon such terms and conditions as it deems necessary, such variances therefrom as may be in harmony with their general purpose and intent so that the spirit of this chapter shall be observed, public safety and welfare secured and substantial justice done. Given the size of the lot, and in order to adequately direct and assist pedestrians, a total of 5 pedestrian wayfinding signs are proposed throughout the campus to guide towards the corresponding areas and/or destinations. In addition, since the design intent and focus is on guiding and directing pedestrian traffic, any property information is excluded from the signage design.

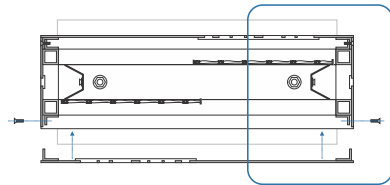
SIGN TYPE B2
PEDESTRIAN WAYFINDING ID
PROPOSED = 9.17 SF



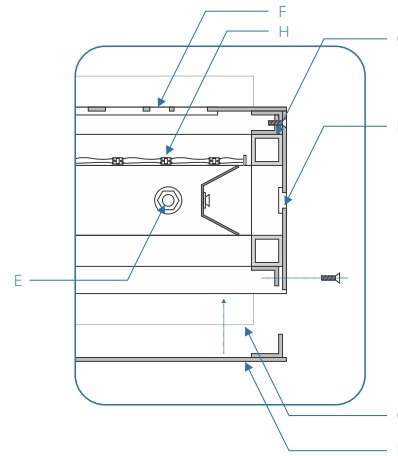
PEDESTRIAN WAYFINDING ID CONSTRUCTION DETAILS

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CONTRACTOR'S LIC# 765078
CLASS C45-ELECTRICAL SIGN CONTRACTOR

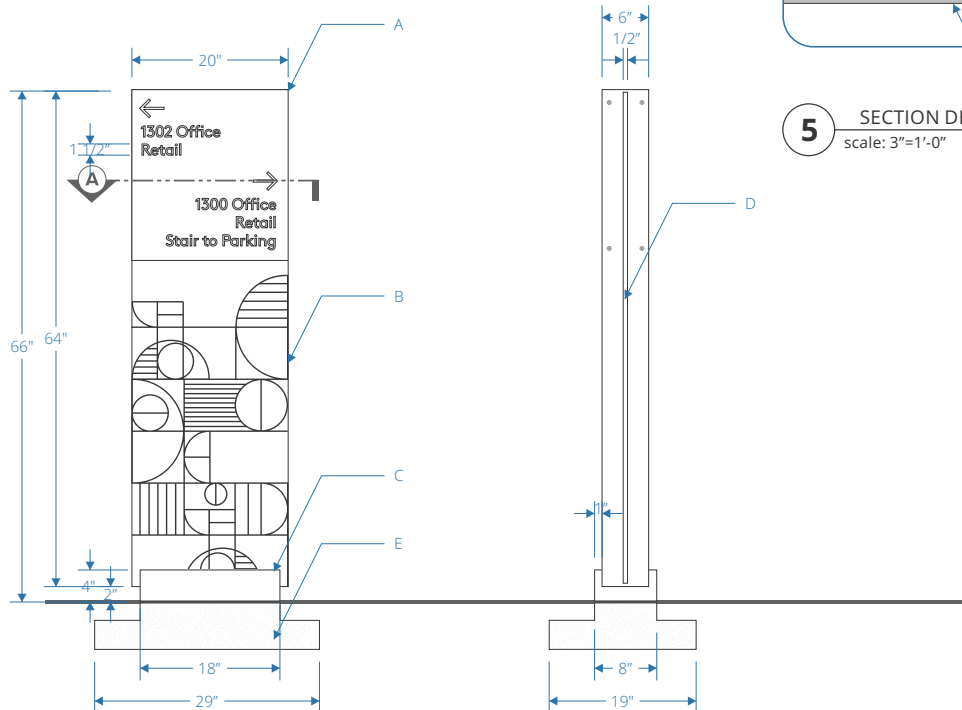


1 TOP VIEW
scale: 1 1/2"=1'-0"



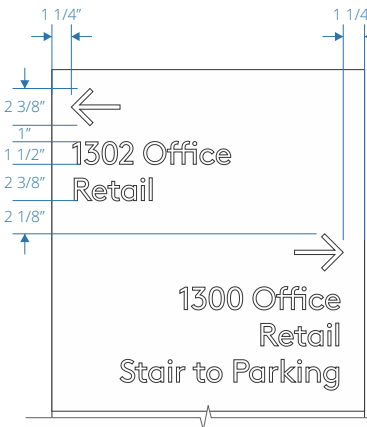
5 SECTION DETAIL
scale: 3"=1'-0"

SIGN TYPE B2
PEDESTRIAN WAYFINDING ID
PROPOSED = 9.17 SF



2 FRONT VIEW
scale: 3/4"=1'-0"

8 SIDE VIEW
scale: 3/4"=1'-0"



4 DETAIL VIEW
scale: 1 1/2"=1'-0"

SIGN TYPE

B2

DESCRIPTION

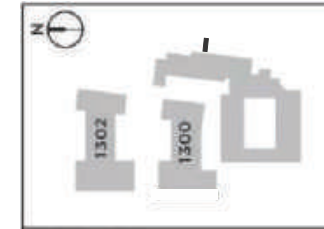
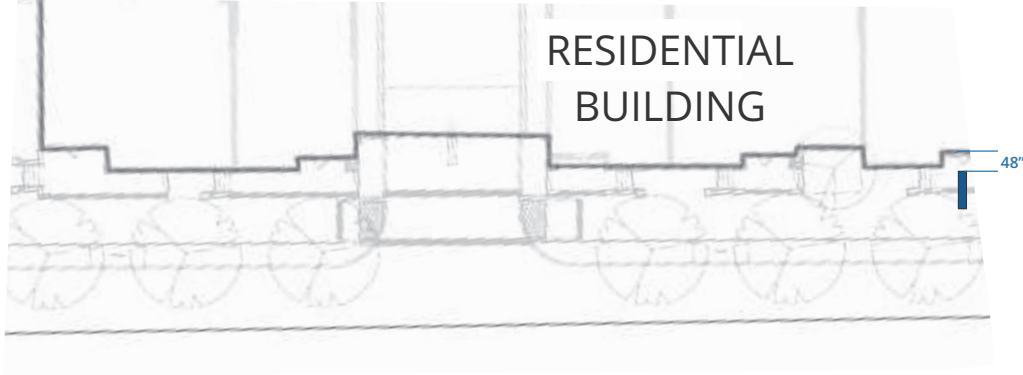
QTY: 1

- A.** Fabricated aluminum cabinet M1 with push through flush text
- B.** Graphic pattern to be routed or etched onto face of panel
- C.** Footer to be painted P3 Black
- D.** 1/2" wide acrylic stripe to extend full length of cabinet to internally illuminate
- E.** Anchoring as required per sign contractor's engineer. Below grade footing.
- F.** Push-thru flush acrylic copy
- G.** Fabricated aluminum cabinet with internal structure frame
- H.** LED system as required to provide even illumination. No hot spots
- I.** Removable panel with push-thru flush acrylic copy mechanically fastened on sides with s. st. c/s socket drive flat head screw painted to match adjacent color

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

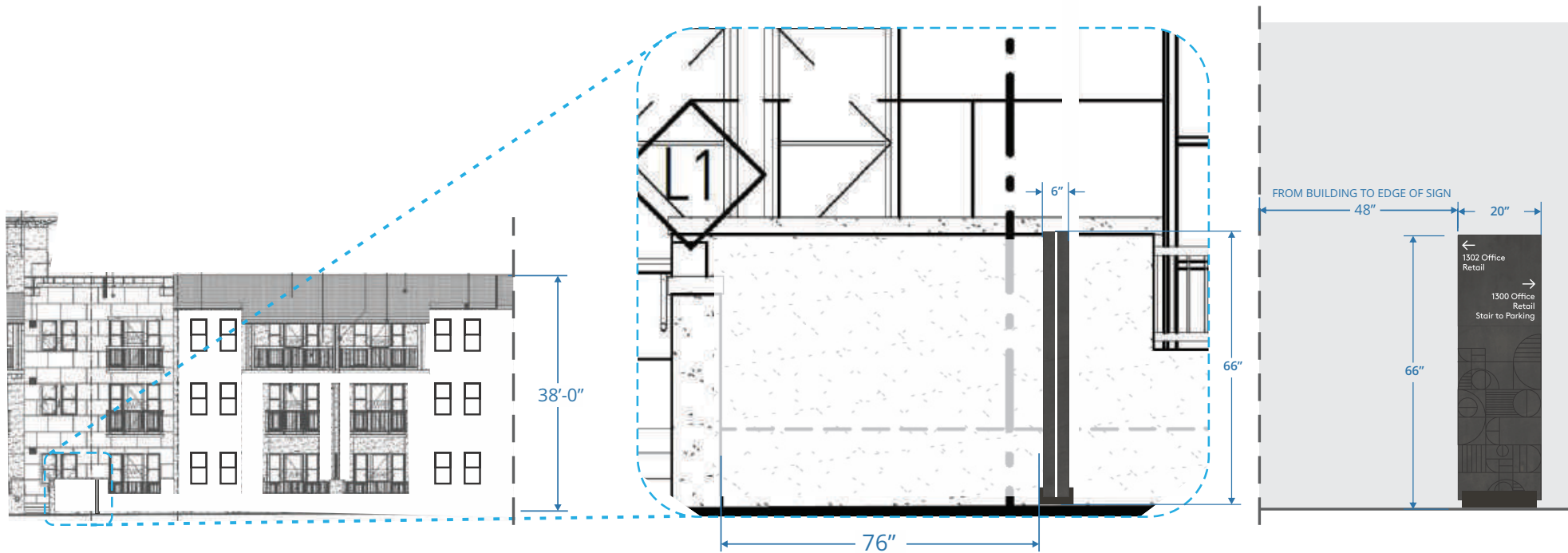
PEDESTRIAN WAYFINDING ID RENDERING ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD



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1 ELEVATION
scale: 1/16" = 1'-0"

2 ELEVATION - ENLARGED
scale: 1/2" = 1'-0"

WAYFINDING BLADE SIGN

SIGN TYPE WB

Wayfinding Blade Sign

A. SIGN MASSING

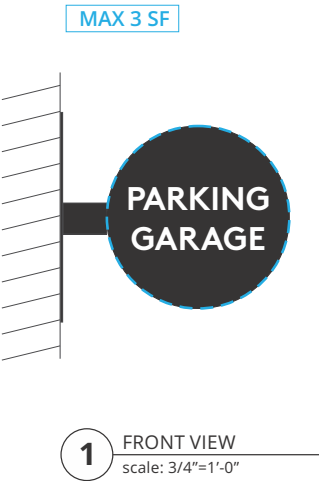
Wayfinding Blade signs are relatively flat, two-sided solid panels attached to brackets which are mounted on and perpendicular to the face of buildings and storefronts. The material of Wayfinding blade sign is fabricated aluminum, and painted black RAL 9004 with non-illuminated style. The lettering of "Parking Garage" is masked and painted with white wonder color. These blade signs can be up to three (3) square feet in size, and are not counted toward the maximum square footage of signage allowed for each parcel.

B. VARIATION

Simple round or square horizontal supports with capped ends. More decorative approaches may be desirable when appropriate to the sign and/or architectural character of the building.

C. SIGN LOCATION

Sign shall no more than 8'-0" from the building surface to which the sign is attached. In addition, each business or tenant is allowed one suspended or blade sign to be place under awnings or canopies.



SIGN TYPE WB
WAYFINDING BLADE SIGNAGE
PROPOSED = 3 SF



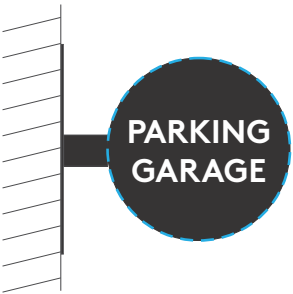
2 PHOTO RENDERING
scale: NTS

WAYFINDING BLADE SIGN

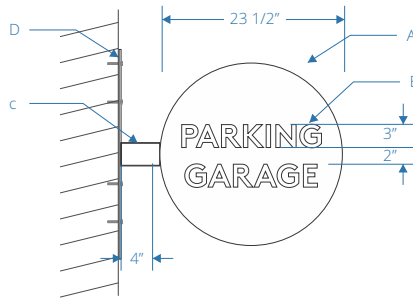
CONSTRUCTION DETAILS

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1 FRONT VIEW
scale: 3/4"=1'-0"



2 FRONT VIEW - DETAIL
scale: 3/4"=1'-0"

SIGN TYPE WB
WAYFINDING BLADE SIGN
PROPOSED = 3 SF

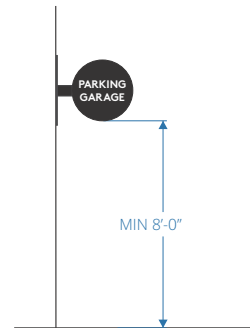
SIGN TYPE

WB

DESCRIPTION

QTY: 1

- A.** Fabricated aluminum cabinet, color C2 black RAL 9004 and non-illumination
- B.** Masked and painted of "Parking Garage" lettering with C1 white wonder color
- C.** welded aluminum standoff, and painted to match sign cabinet color C2 black RAL 9004
- D.** mounting plate and mechanically attached to wall with tapcon concrete anchor



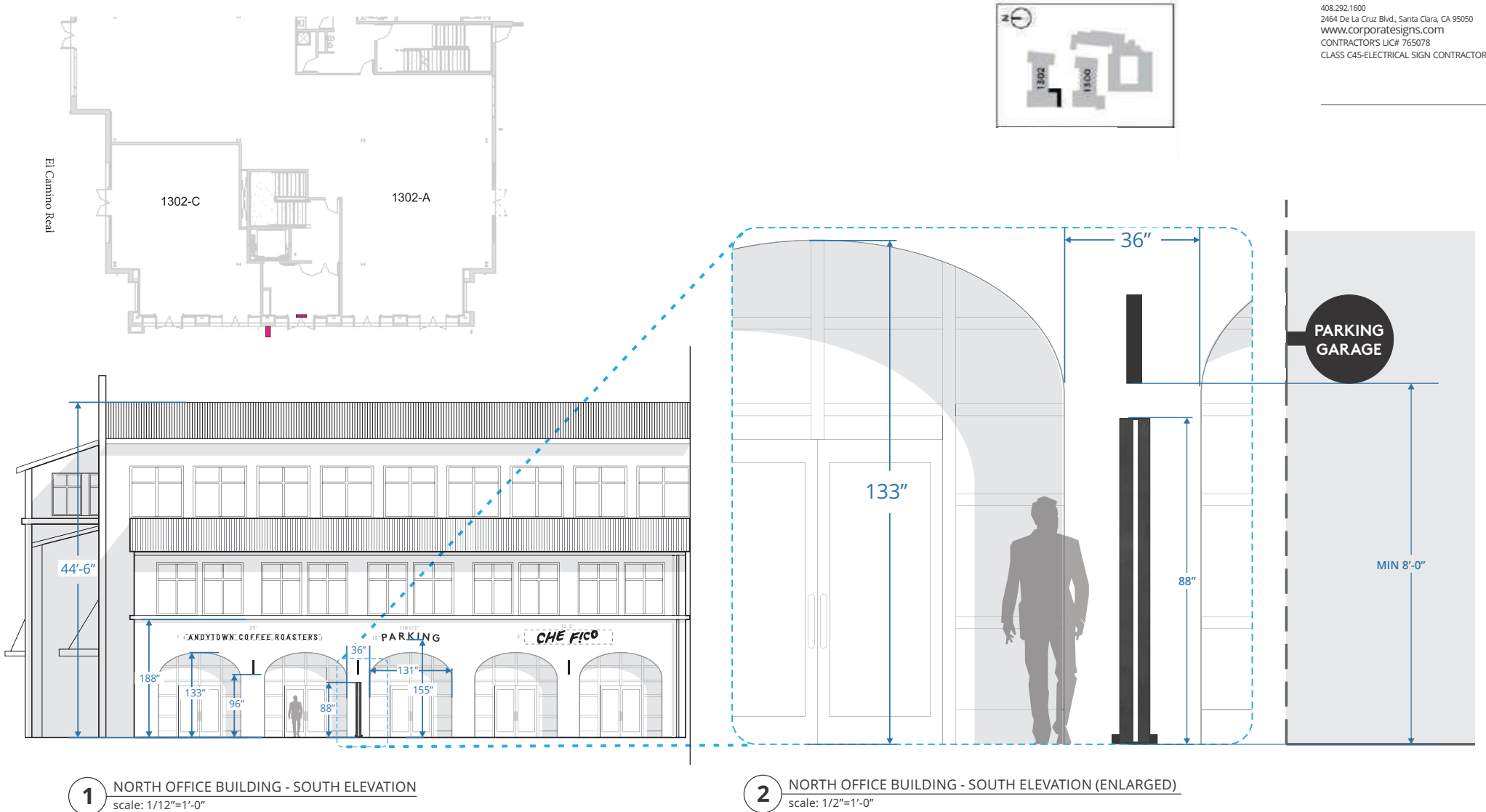
3 ELEVATION
scale: 1/4"=1'-0"

WAYFINDING BLADE SIGN ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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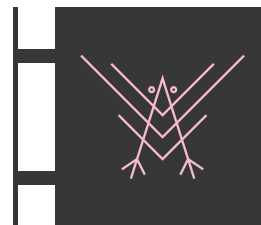
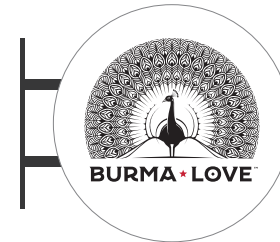
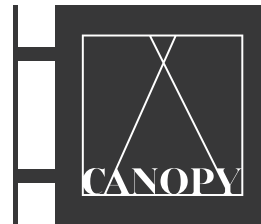
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BLADE SIGNAGE BRAND SAMPLES

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1 RENDERING
scale: NTS

BLADE SIGNAGE

SIGN TYPE BL

Blade Signage

A. SIGN MASSING

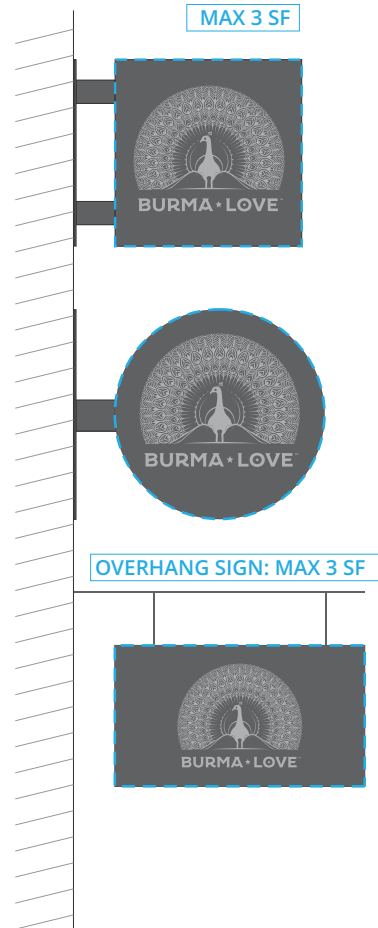
Blade signs are relatively flat, two-sided solid panels attached to brackets which are mounted on and perpendicular to the face of buildings and storefronts. Blade signage shape, colors, and materials and illumination (optional) style to be established by tenant and approved by property management. These blade signs can be up to three (3) square feet in size, and are not counted toward the maximum square footage of signage allowed for each parcel.

B. VARIATION

Simple round or square horizontal supports with capped ends. More decorative approaches may be desirable when appropriate to the sign and/or architectural character of the building.

C. SIGN LOCATION

Sign shall no more than 8'-0" from the building surface to which the sign is attached. In addition, each business or tenant is allowed one suspended or blade sign to be place under awnings or canopies.



1 FRONT VIEW
scale: 1/2"=1'-0"

SIGN TYPE BL
BLADE SIGNAGE
PROPOSED = 3 SF



2 PHOTO RENDERING
scale: NTS

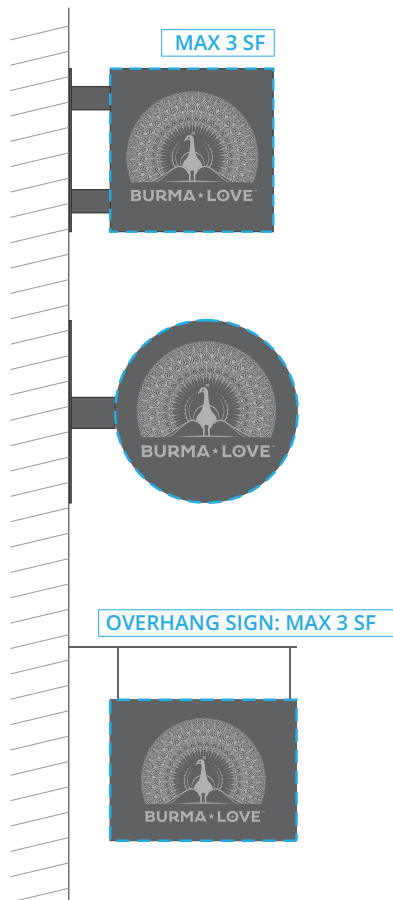
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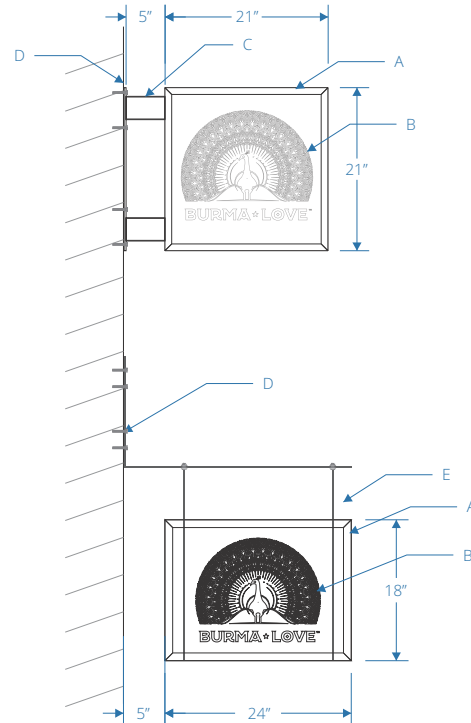
BLADE SIGNAGE CONSTRUCTION DETAILS

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1 FRONT VIEW
scale: 3/4"=1'-0"



2 FRONT VIEW - DETAIL
scale: 3/4"=1'-0"

SIGN TYPE BL
BLADE SIGNAGE
PROPOSED = 3 SF

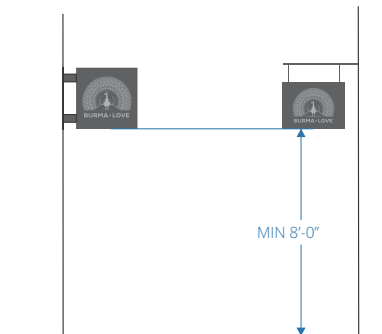
SIGN TYPE

BL

QTY: 12

DESCRIPTION

- A.** Fabricated aluminum cabinet, color can be variety based on tenant approved
- B.** Vinyl tenant logo w/o illumination
- C.** welded aluminum standoff, and painted to match sign cabinet color
- D.** mounting plate and mechanically attached to wall with tapcon concrete anchor
- E.** threaded rod to hold sign cabinet, painted to match sign cabinet



3 ELEVATION
scale: 1/4"=1'-0"

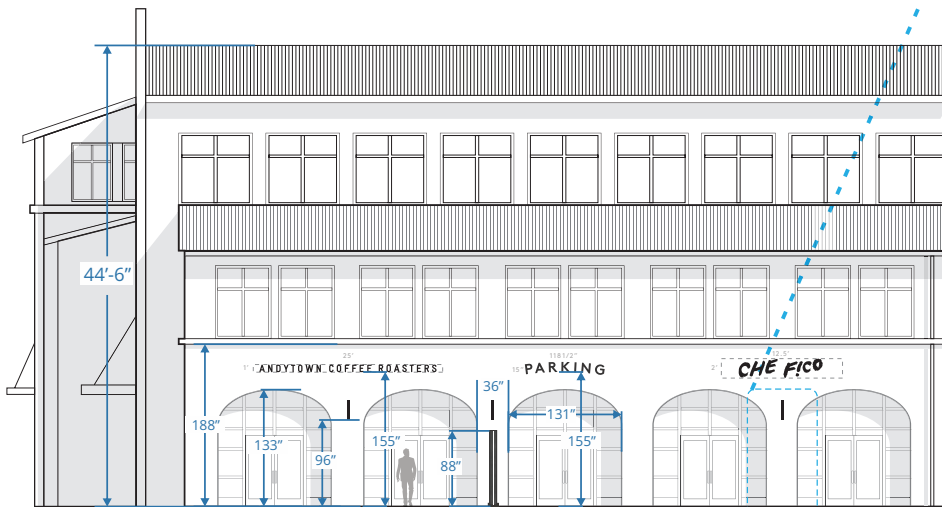
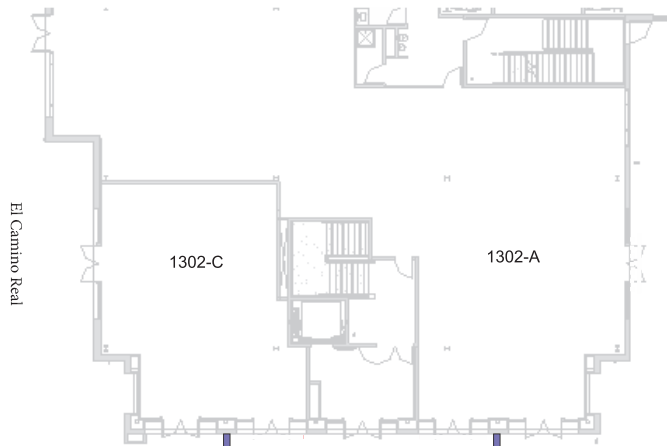
BLADE SIGNAGE

TYPICAL ELEVATION

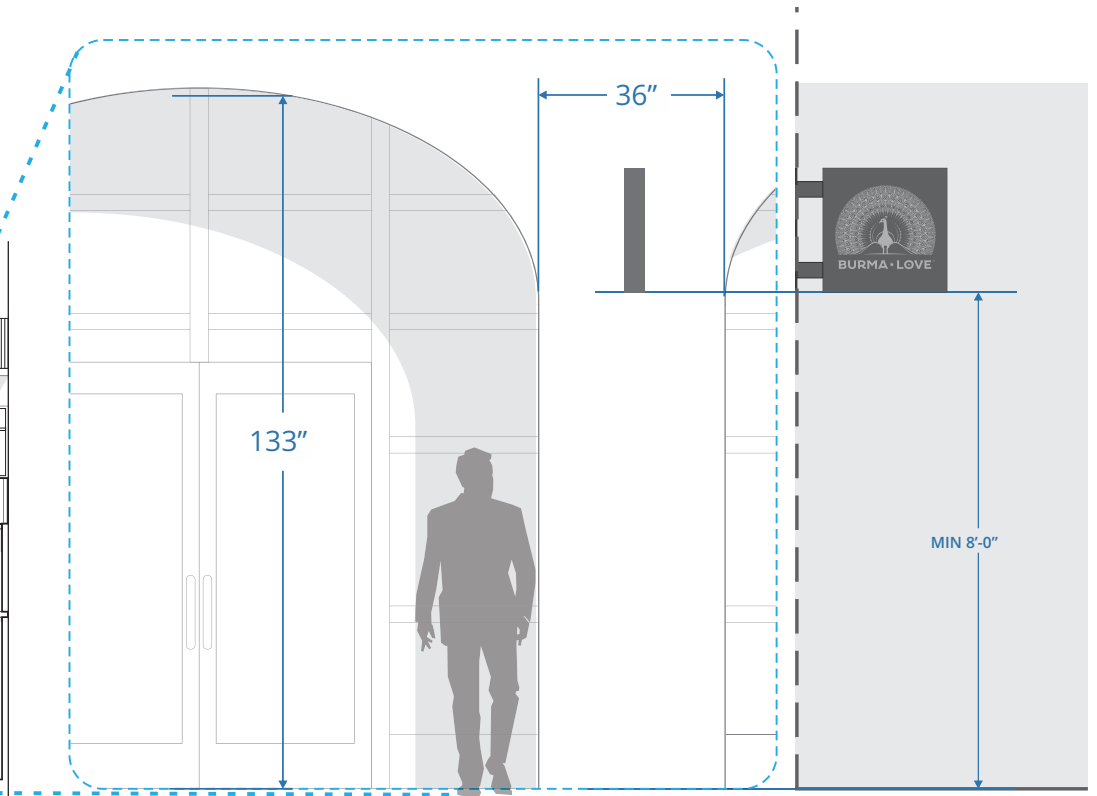
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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1 NORTH OFFICE BUILDING - SOUTH ELEVATION
scale: 1/12"=1'-0"



2 NORTH OFFICE BUILDING - SOUTH ELEVATION (ENLARGED)
scale: 1/2"=1'-0"

TENANT ID

SIGN TYPE T

Tenant ID

A. DESIGN INTENT

Tenant IDs are intended to identify the major Tenants in a prominent way from a larger or campus-wide view.

B. SIGN MASSING

The height of lettering in general shall be in between 8 inches to 24 inches tall. For multi-tenant buildings, the concept of fair sharing will be used in determining the sign area for each tenant. Fair sharing allows the maximum sign area to be proportionately allocated to each tenant according to the building frontage of each tenant space.

C. VARIATION

Final design should contain no (or very minimal) variation in size or layout to provide for maximum recognition and wayfinding effectiveness. Signs are subject to size restrictions that vary according to the frontage of the lot. Maximum sign area is 25 square feet.

D. SIGN LOCATION

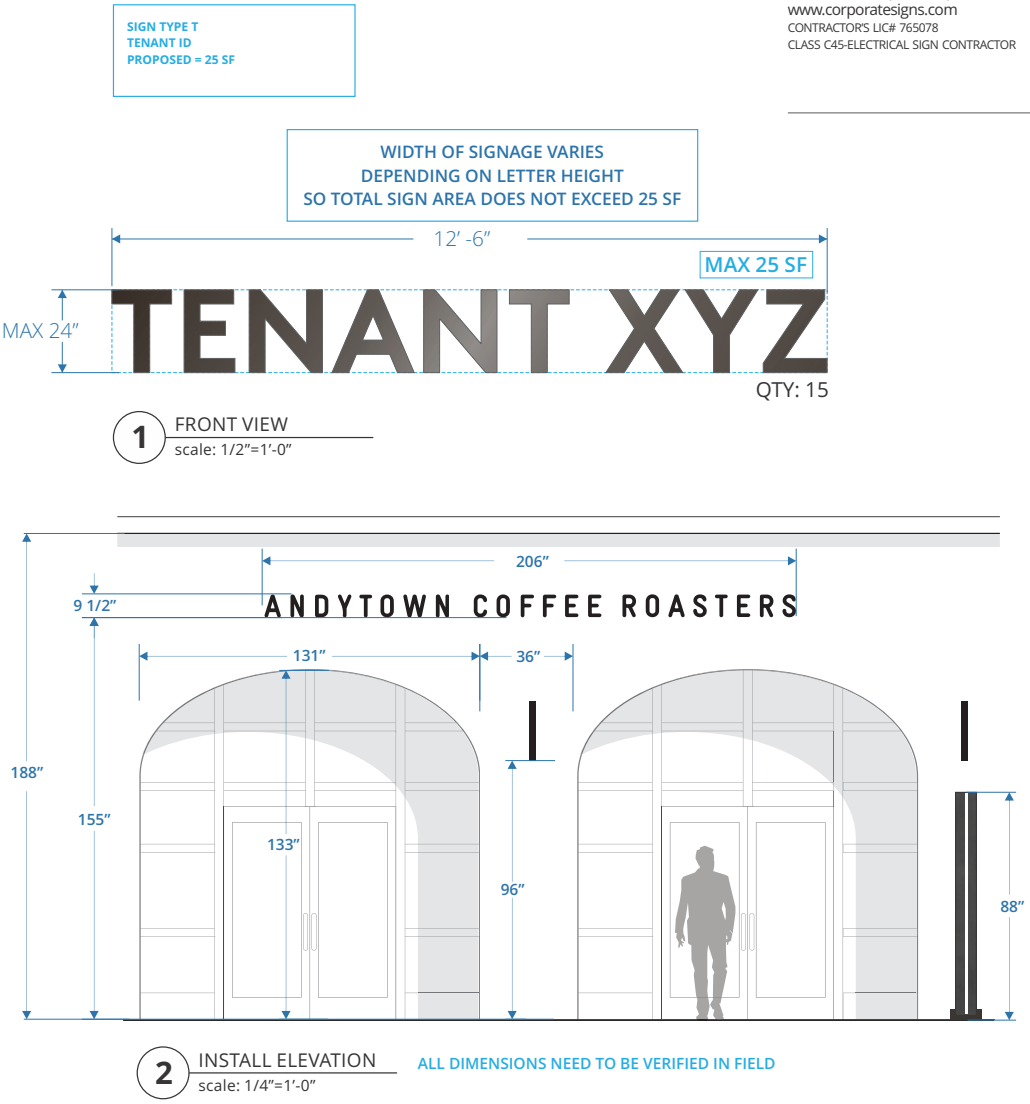
Exact sign location to be determined based on final sign design and shape, and to comply with sight distance analyses based on 10' clear sight distance at project driveways and adjacent intersections.

E. FAIR SHARING

The concept of "Fair Sharing" shall apply in determining the sign areas for each tenant. "Fair Sharing" allows the maximum sign area to be proportionately allocated to each tenant according to the building frontage of each tenant space. The steps and formulas used to calculate this is as shown below:

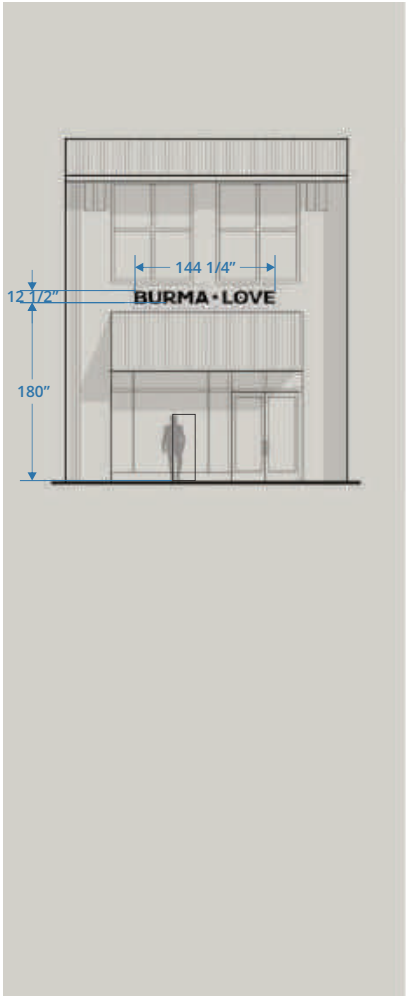
1. Tenant Space Building Frontage/Total Building Frontage = Percentage of Building Frontage

2. Percentage of Building Frontage * Lot Linear Frontage = Maximum Allowable Sign Area for Tenant



TENANT ID DAY VIEW RENDERING

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TENANT ID NIGHT VIEW RENDERING

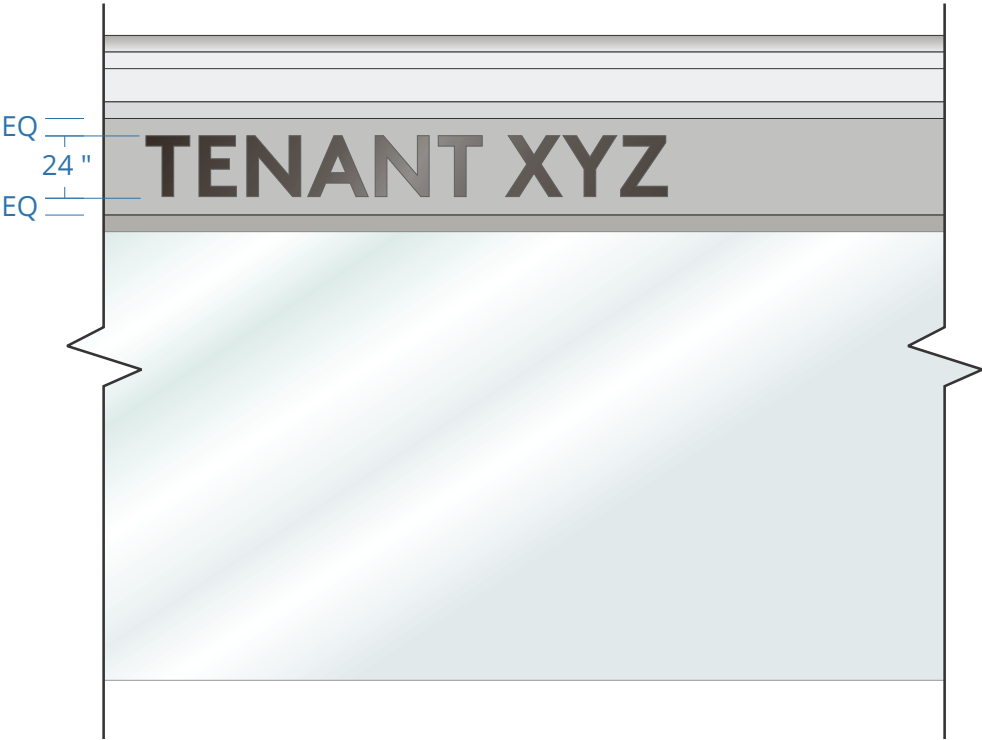
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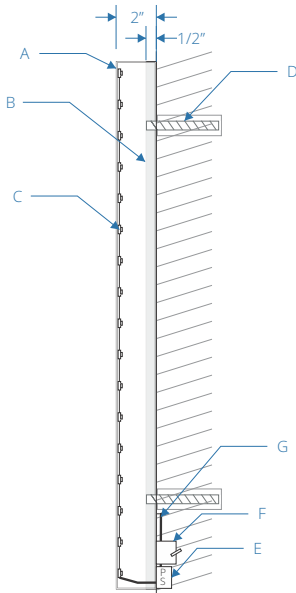


TENANT ID CONSTRUCTION DETAIL

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1 FRONT VIEW - DETAIL
scale: 1/4"=1'-0"



2 SIDE VIEW
scale: 2" = 1'-0"

SIGN TYPE

T

DESCRIPTION QTY: 15

ILLUMINATED SIGN

- A. 2" deep fabricated blackened bronze finish steel channel numbers with edge illumination
- B. 1/2" white translucent acrylic backer
- C. White LEDs
- D. Stud mounted to the wall.
- E. 110v-277v ul listed power supply with enclosed raceway
- F. disconnect switch and photocell control by others
- G. to 110v-277v power source (by others) with dedicated circuit, photocell and timer for final permit inspection

SIGN TYPE T
TENANT ID
PROPOSED = 25 SF

PARAPET TENANT ID

SIGN TYPE PT

Parapet Tenant ID

A. DESIGN INTENT

Parapet Tenant IDs are intended to identify the major Parapet Tenants in a prominent way from a larger or campus-wide view.

B. SIGN MASSING

The height of lettering in general shall be in between 30 inches to 48 inches tall. For multi-tenant buildings, the concept of fair sharing will be used in determining the sign area for each tenant. Fair sharing allows the maximum sign area to be proportionately allocated to each tenant according to the building frontage of each tenant space.

C. VARIATION

Final design should contain no (or very minimal) variation in size or layout to provide for maximum recognition and wayfinding effectiveness. Signs are subject to size restrictions that vary according to the frontage of the lot. Maximum sign area is 50 square feet.

D. SIGN LOCATION

Exact sign location to be determined based on final sign design and shape, and to comply with sight distance analyses based on 10' clear sight distance at project driveways and adjacent intersections.

E. FAIR SHARING

The concept of "Fair Sharing" shall apply in determining the sign areas for each tenant. "Fair Sharing" allows the maximum sign area to be proportionately allocated to each tenant according to the building frontage of each tenant space. The steps and formulas used to calculate this is as shown below:

1. Tenant Space Building Frontage/Total Building Frontage = Percentage of Building Frontage

2. Percentage of Building Frontage * Lot Linear Frontage = Maximum Allowable Sign Area for Tenant

F. VARIANCE

Where practical difficulties, unnecessary hardships or results inconsistent with the general purposes of the sign ordinance may result from the strict and literal interpretation and enforcement of the provisions hereof, the planning commission, upon the verified application of any property owner or lessee of the property affected, shall have authority to grant, upon such terms and conditions as it deems necessary, such variances therefrom as may be in harmony with their general purpose and intent so that the spirit of this chapter shall be observed, public safety and welfare secured and substantial justice done. Given the typical height a.f.f. for the parapet tenant signage, an increased height is requested and considered a necessity to properly guide pedestrian traffic and provide visible identification signage to the corresponding tenants.

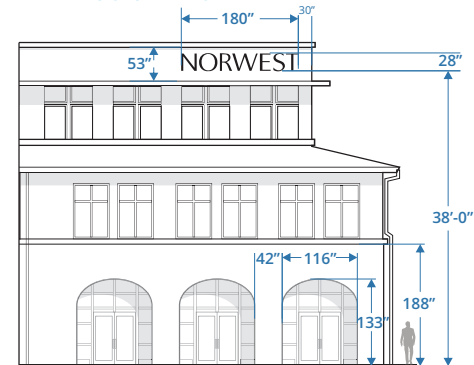
SIGN TYPE PT
PARAPET TENANT ID
PROPOSED = 50 SF

WIDTH OF SIGNAGE VARIES
DEPENDING ON LETTER HEIGHT
SO TOTAL SIGN AREA DOES NOT EXCEED 50 SF



1 FRONT VIEW scale: 1/4"=1'-0"

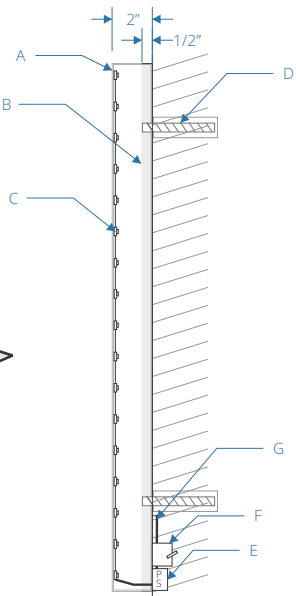
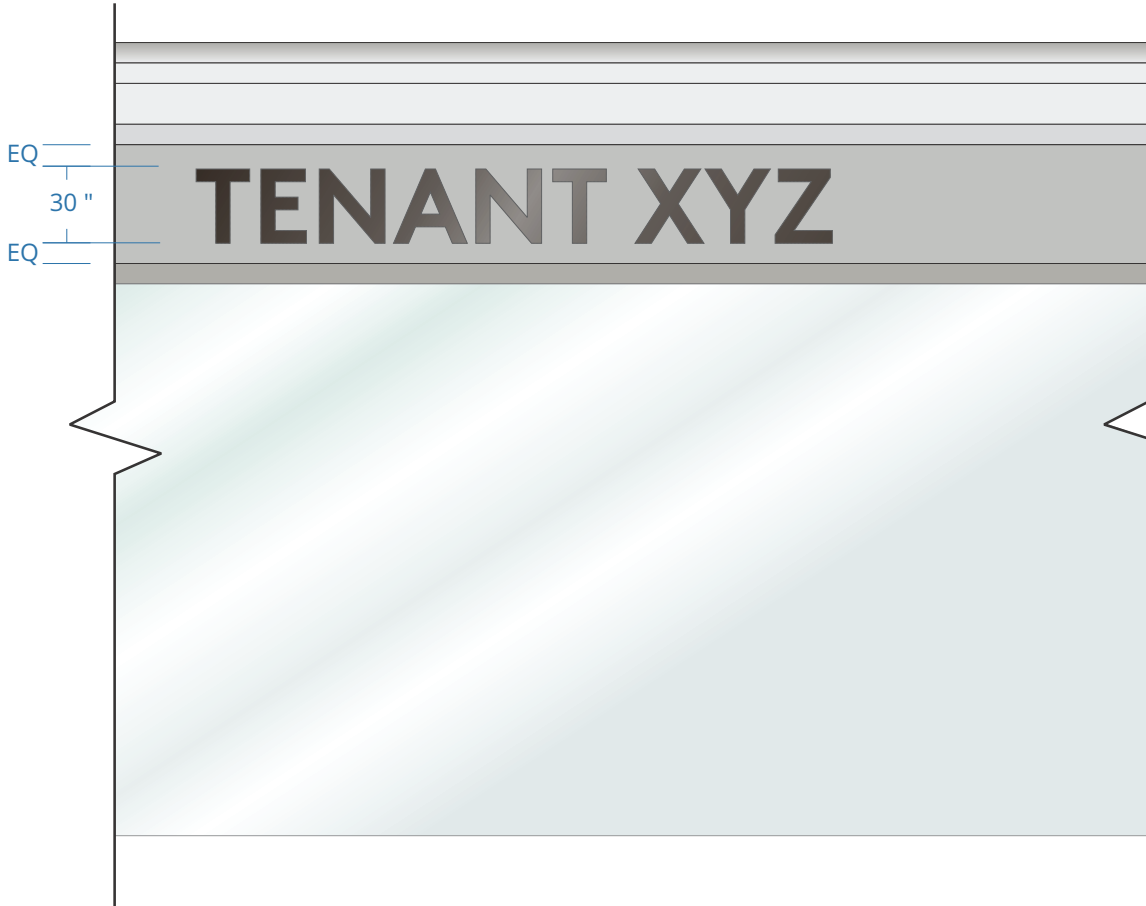
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD



2 INSTALL ELEVATION scale: 1/16"=1'-0"

PARAPET TENANT ID CONSTRUCTION DETAIL

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SIGN TYPE
PT

DESCRIPTION QTY: 6

- ILLUMINATED SIGN
- A. 2" deep fabricated blackened bronze finish steel channel numbers with edge illumination
 - B. 1/2" white translucent acrylic backer
 - C. White LEDs
 - D. Stud mounted to the wall.
 - E. 110v-277v ul listed power supply with enclosed raceway
 - F. disconnect switch and photocell control by others
 - G. to 110v-277v power source (by others) with dedicated circuit, photocell and timer for final permit inspection

SIGN TYPE PT
PARAPET TENANT ID
PROPOSED = 50 SF

1 FRONT VIEW - DETAIL
scale: 1/4"=1'-0"

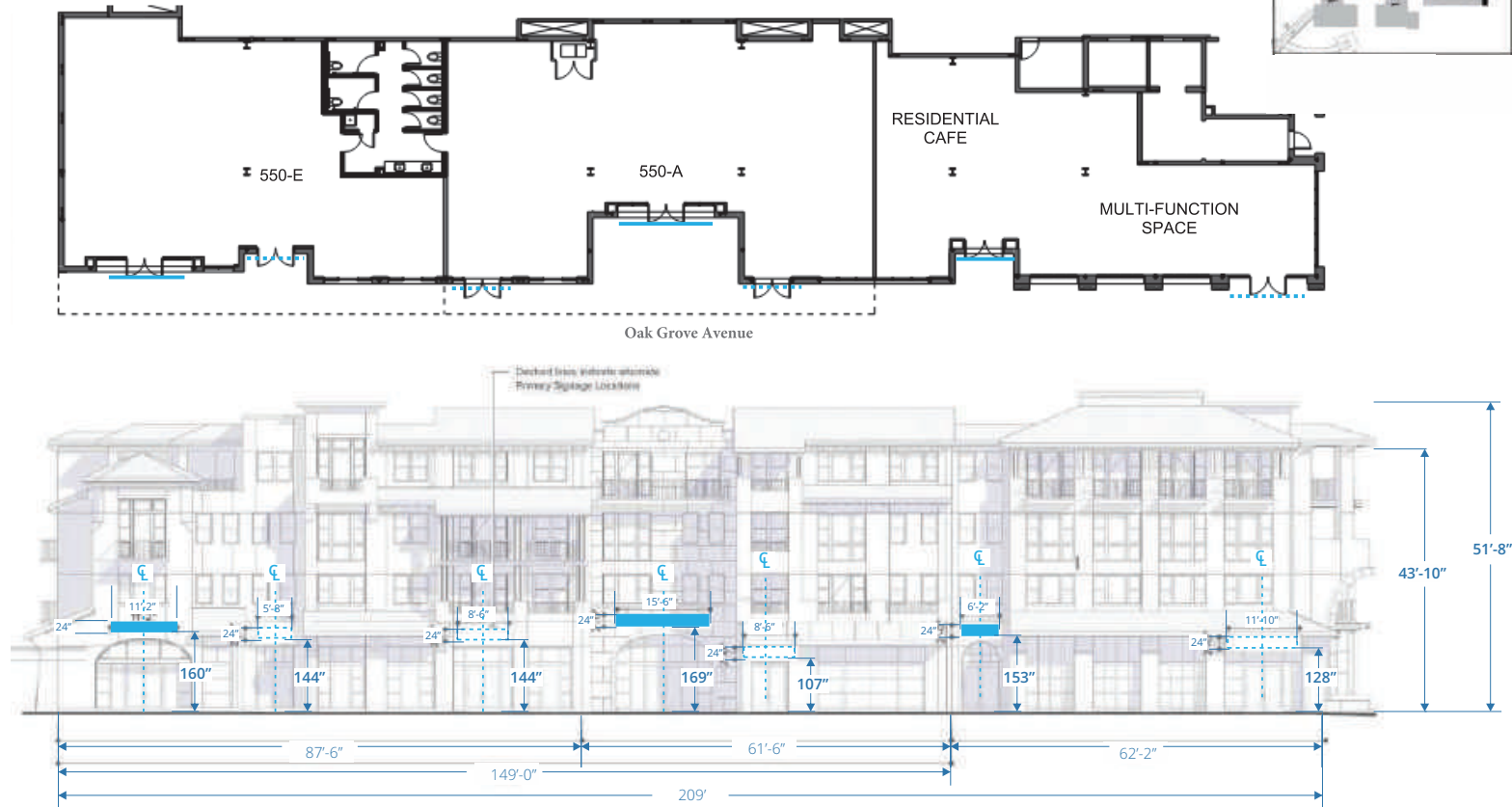
2 SIDE VIEW
scale: 2" = 1'-0"

TENANT/PARAPET TENANT ID ELEVATION

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1 RESIDENTIAL BUILDING - SOUTH ELEVATION
scale: 1/20"=1'-0"

TENANT/PARAPET TENANT ID RENDERING ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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ALTERNATIVE TENANT ID

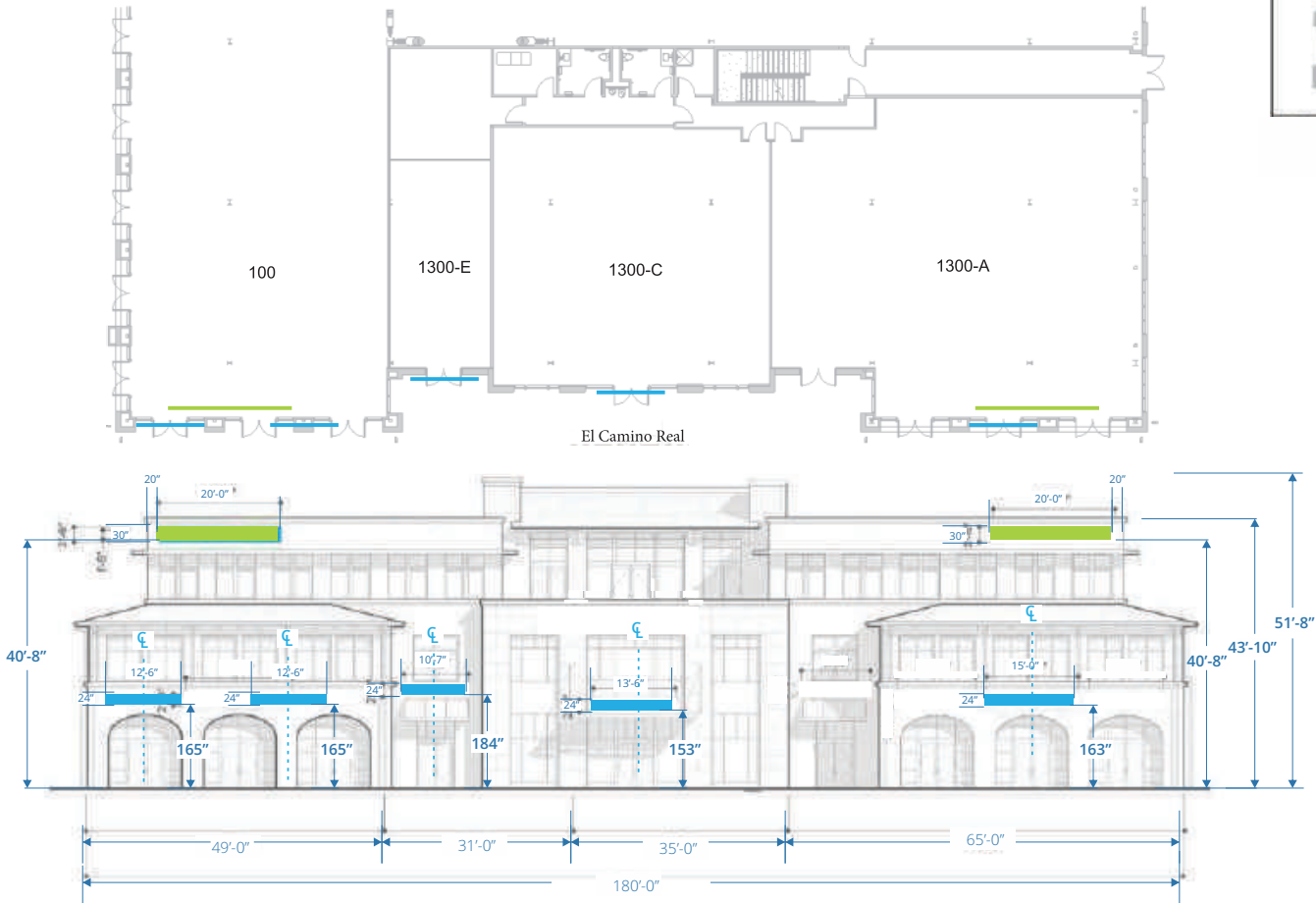
2 RESIDENTIAL BUILDING - SOUTH ELEVATION
scale: 1/12"=1'-0"

TENANT/PARAPET TENANT ID ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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T TENANT ID

PT PARAPET TENANT ID

1 SOUTH OFFICE BUILDING - WEST ELEVATION
scale: 1/20"=1'-0"

TENANT/PARAPET TENANT ID RENDERING ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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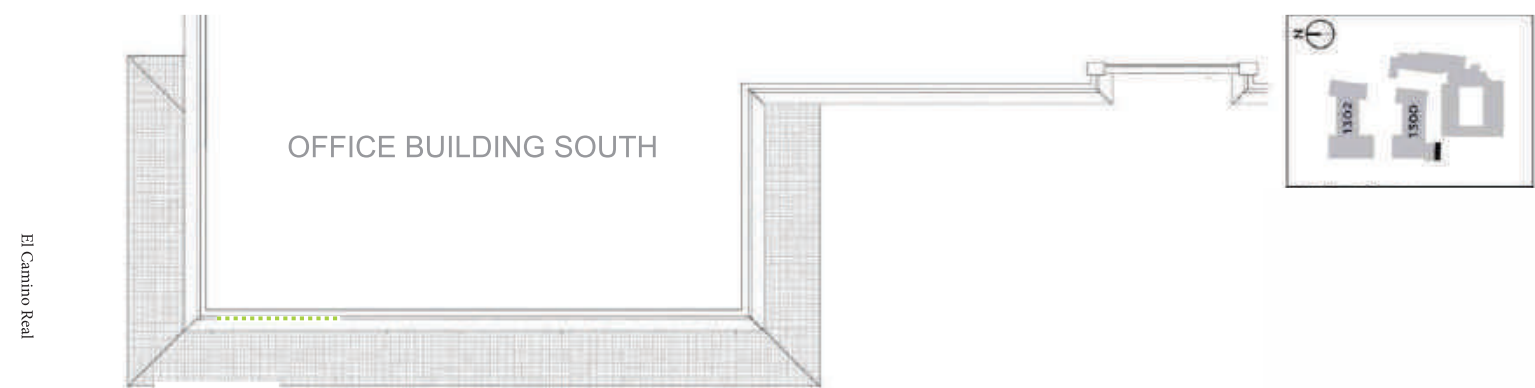
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2 SOUTH OFFICE BUILDING - WEST ELEVATION
scale: 1/12"=1'-0"

TENANT/PARAPET TENANT ID ELEVATION

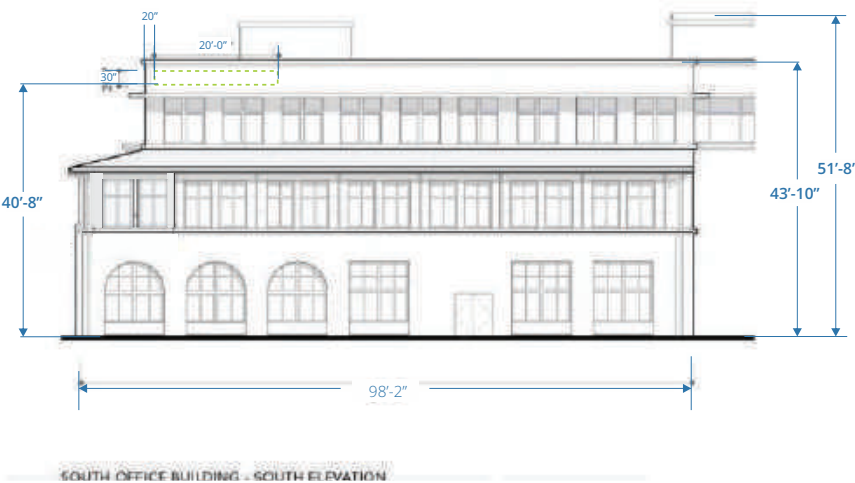
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[PT] ALTERNATIVE PARAPET TENANT ID



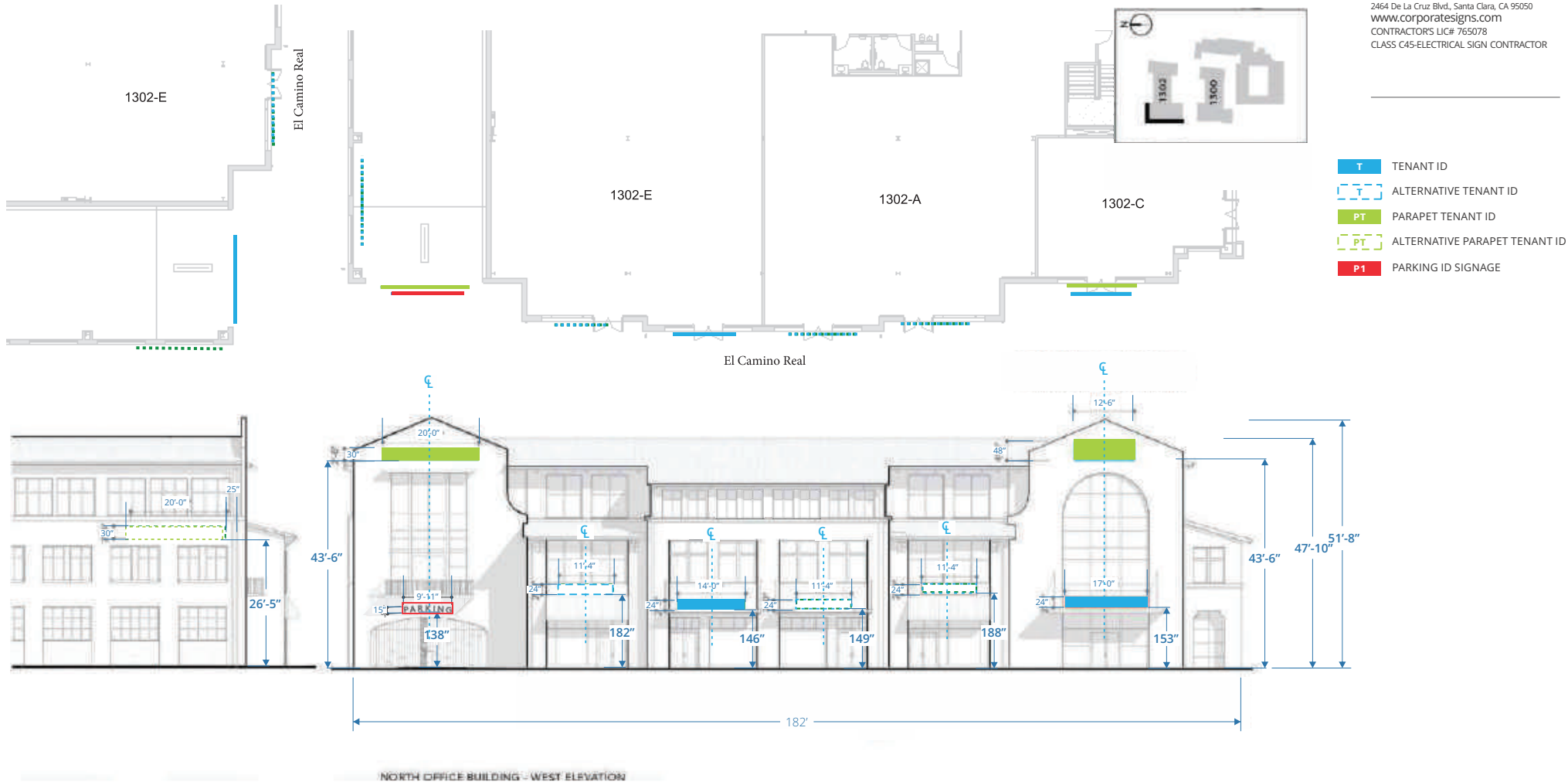
1 SOUTH OFFICE BUILDING - SOUTH ELEVATION
scale: 1/20"=1'-0"

TENANT/PARAPET TENANT ID ELEVATION

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1 NORTH OFFICE BUILDING - WEST ELEVATION
scale: 1/20"=1'-0"

TENANT/PARAPET TENANT ID RENDERING ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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2 NORTH OFFICE BUILDING - WEST ELEVATION
scale: 1/12"=1'-0"

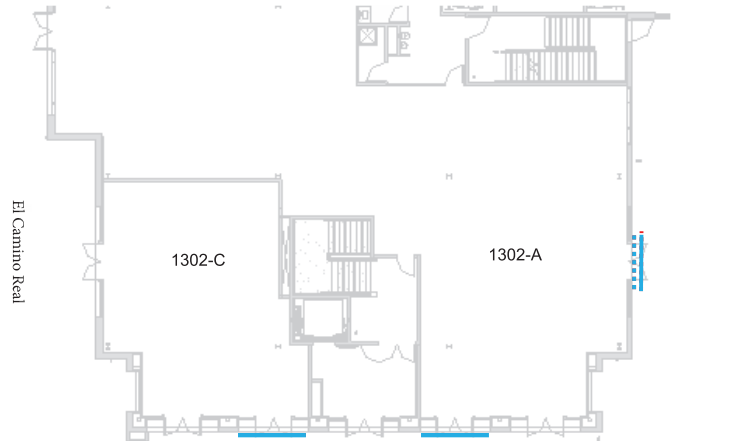
TENANT/PARAPET TENANT ID ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

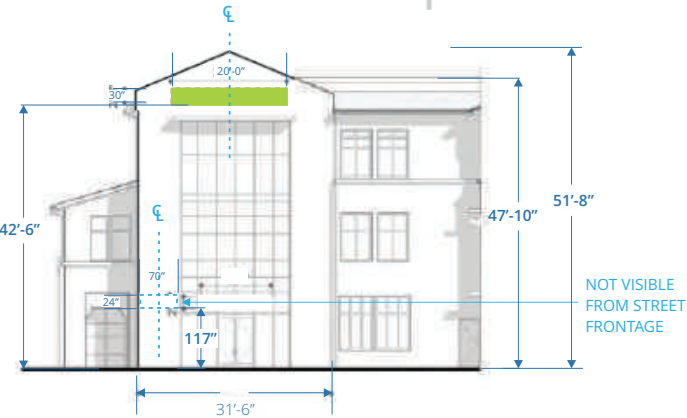
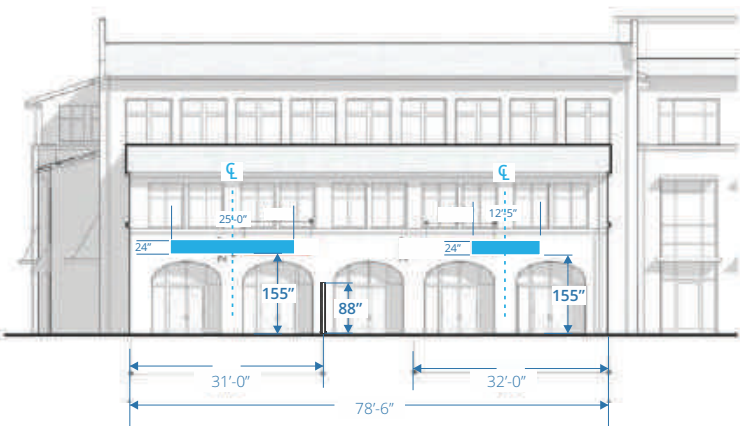
El Camino Real

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- T TENANT ID
- T ALTERNATIVE TENANT ID
- PT PARAPET TENANT ID
- PT ALTERNATIVE PARAPET TENANT ID



1 NORTH OFFICE BUILDING - SOUTH ELEVATION
scale: 1/20"=1'-0"

2 NORTH OFFICE BUILDING - EAST ELEVATION
scale: 1/20"=1'-0"

TENANT/PARAPET TENANT ID RENDERING ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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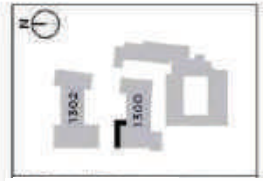


TENANT/PARAPET TENANT ID ELEVATION

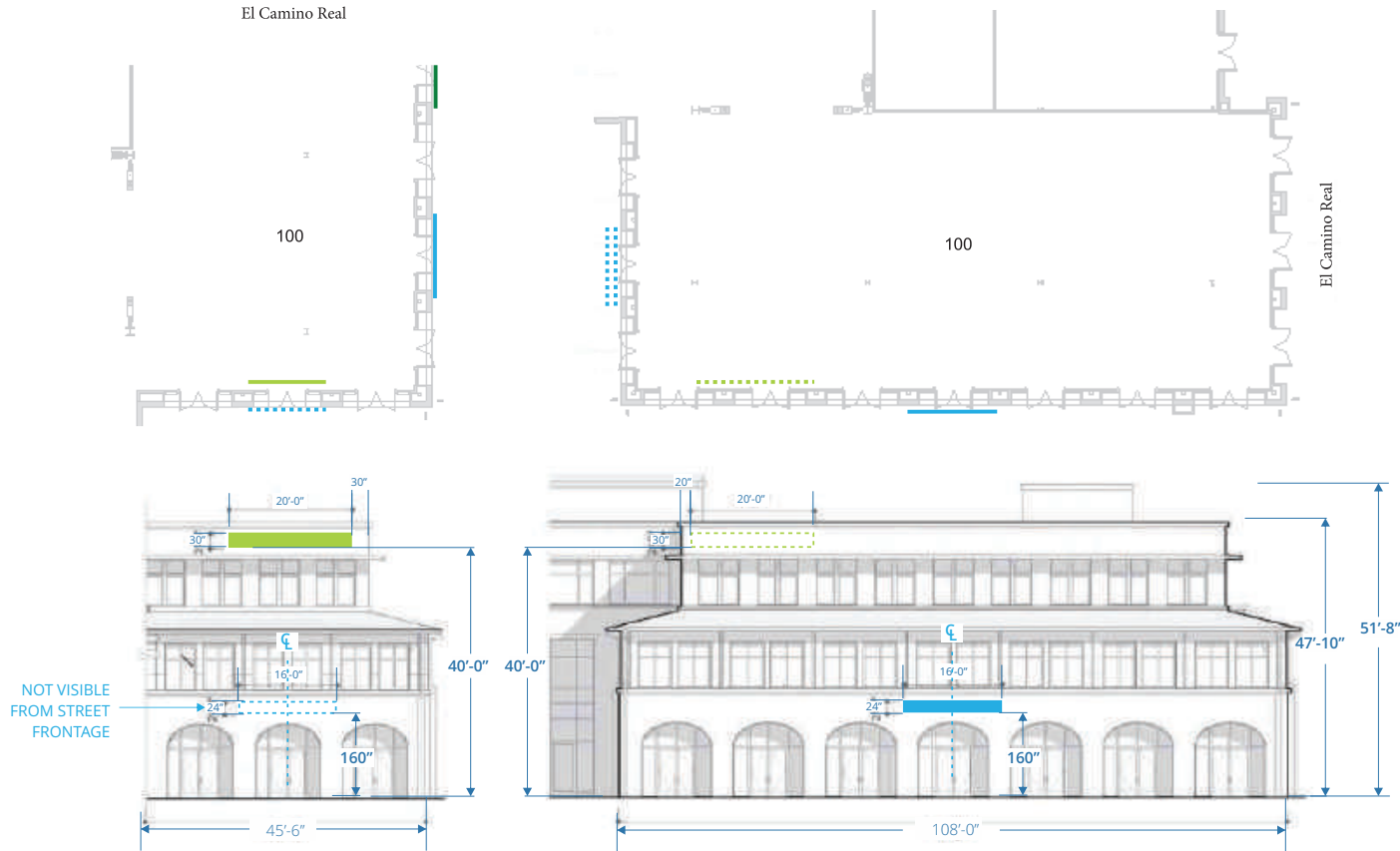
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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www.corporatesigns.com
CONTRACTOR'S LIC# 765078
CLASS C45-ELECTRICAL SIGN CONTRACTOR



- T TENANT ID
- T ALTERNATIVE TENANT ID
- PT PARAPET TENANT ID
- PT ALTERNATIVE PARAPET TENANT ID



1 SOUTH OFFICE BUILDING - EAST ELEVATION
scale: 1/20"=1'-0"

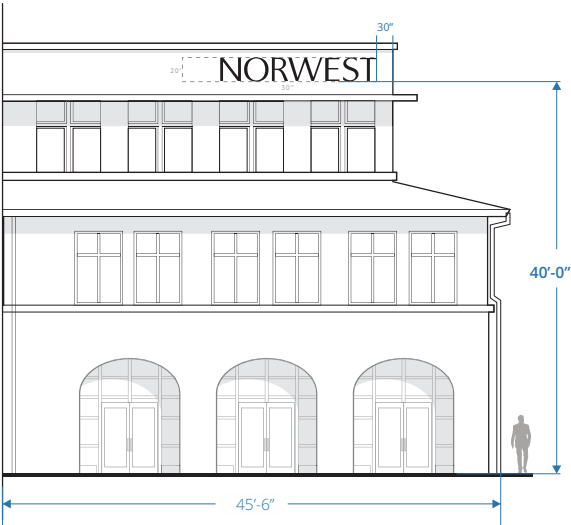
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TENANT/PARAPET TENANT ID RENDERING ELEVATION

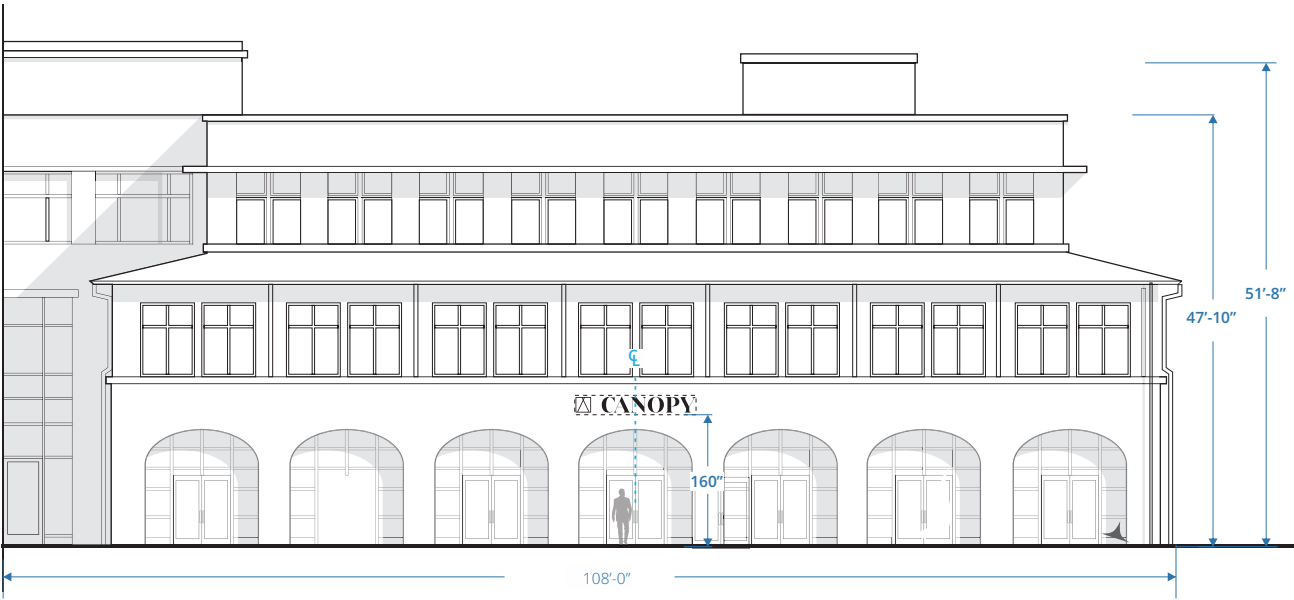
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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3 SOUTH OFFICE BUILDING - EAST ELEVATION
scale: 1/12"=1'-0"



4 SOUTH OFFICE BUILDING - NORTH ELEVATION
scale: 1/12"=1'-0"

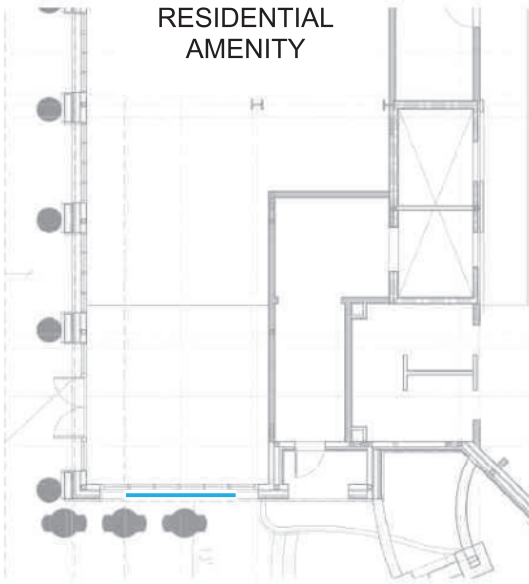
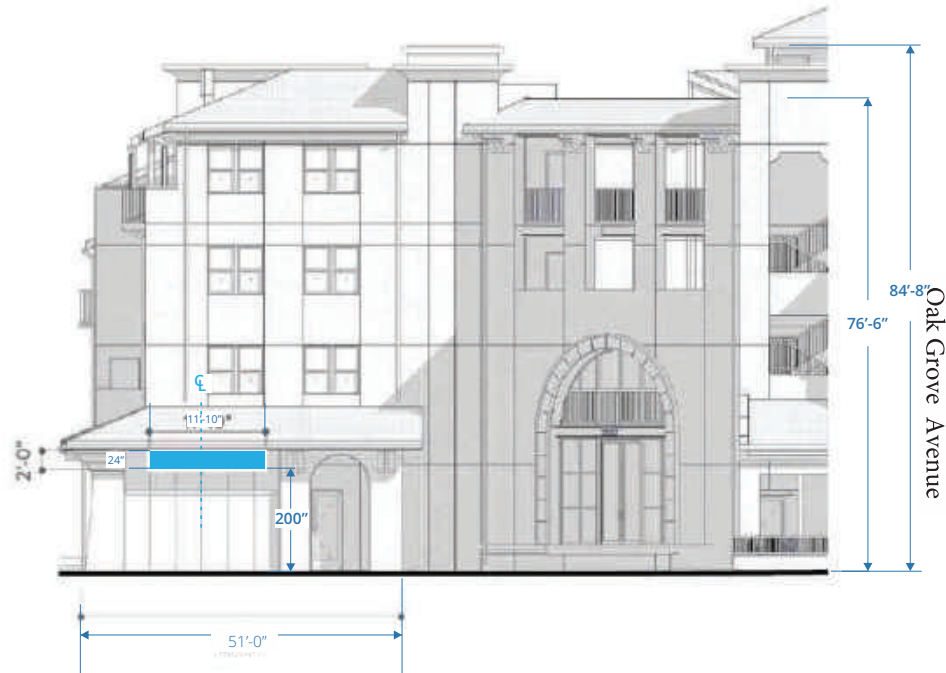
TENANT/PARAPET TENANT ID ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

- T TENANT ID
- T ALTERNATIVE TENANT ID
- PT PARAPET TENANT ID
- PT ALTERNATIVE PARAPET TENANT ID

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NOTE: SIGNAGE IS VISIBLE FROM BOTH OAK GROVE AND GARWOOD BUT IS ALLOCATED TO OAK GROVE ON TOTALS. SUBJECT TO FURTHER DISCUSSION AS TO ALLOCATION OF SIGNAGE VISIBLE / POTENTIALLY VISIBLE FROM MULTIPLE STREETS.

1 RESIDENTIAL BUILDING - EAST ELEVATION
scale: 1/20"=1'-0"

TENANT/PARAPET TENANT ID RENDERING ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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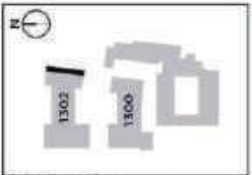
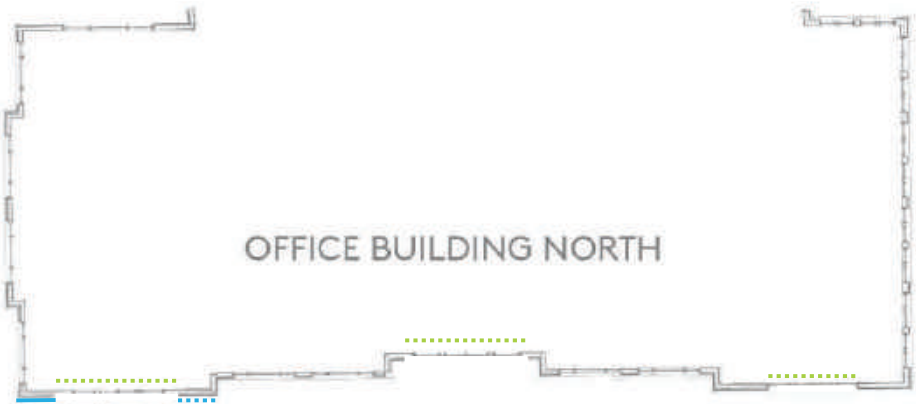
2 RESIDENTIAL BUILDING - EAST ELEVATION
scale: 1/12"=1'-0"

TENANT/PARAPET TENANT ID ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD



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- T** TENANT ID
- ALT** ALTERNATIVE TENANT ID
- PT** PARAPET TENANT ID
- ALT PT** ALTERNATIVE PARAPET TENANT ID



1 NORTH OFFICE BUILDING - EAST ELEVATION
scale: 1/20"=1'-0"

TENANT/PARAPET TENANT ID RENDERING ELEVATION

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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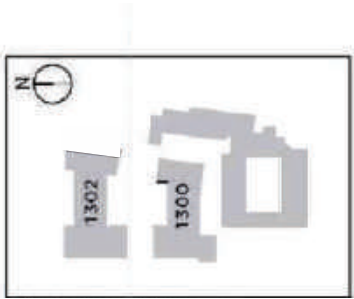
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TENANT/PARAPET TENANT ID ELEVATION

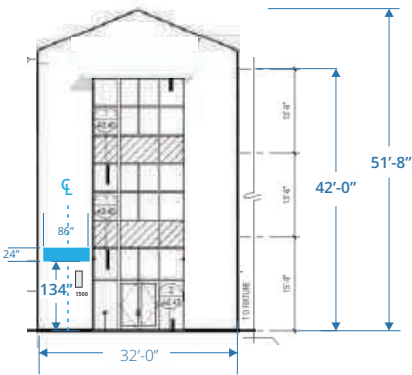
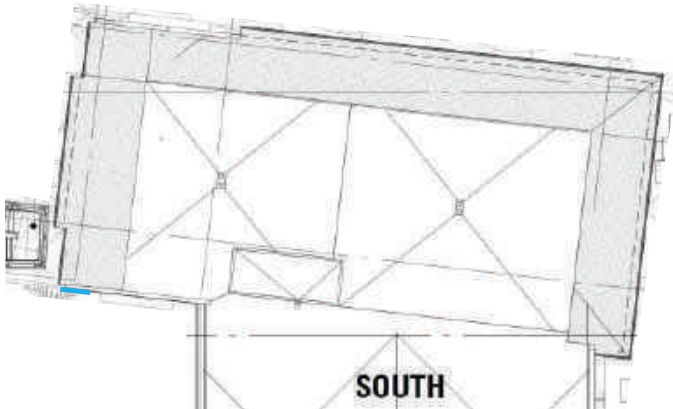
ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

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- T** TENANT ID
- [T]** ALTERNATIVE TENANT ID
- PT** PARAPET TENANT ID
- [PT]** ALTERNATIVE PARAPET TENANT ID



1 SOUTH OFFICE BUILDING - WEST ELEVATION
scale: 1/20"=1'-0"

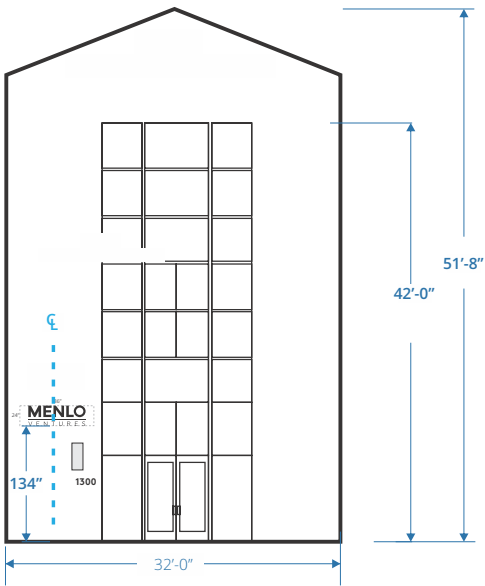
TENANT/PARAPET TENANT ID

ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD

RENDERING ELEVATION

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2 SOUTH OFFICE BUILDING - WEST ELEVATION
scale: 1/12"=1'-0"

OFFICE NORTH

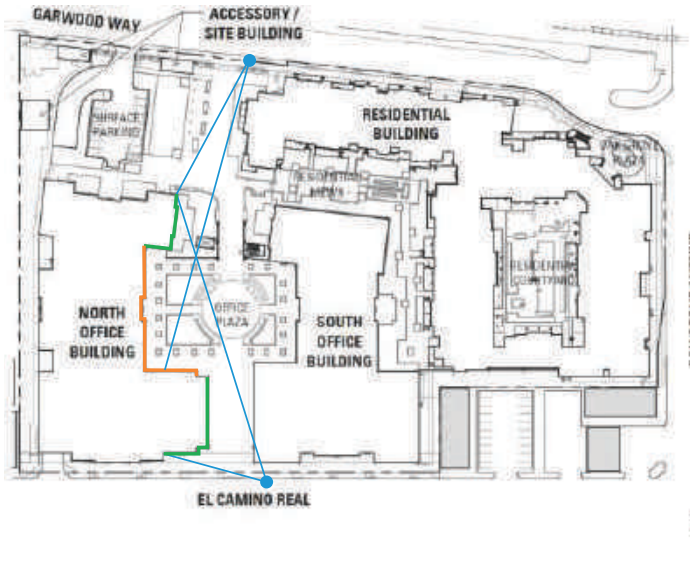
POINT OF VIEW 1302 EL CAMINO REAL AND GARWOOD WAY

corporate
SIGN SYSTEMS

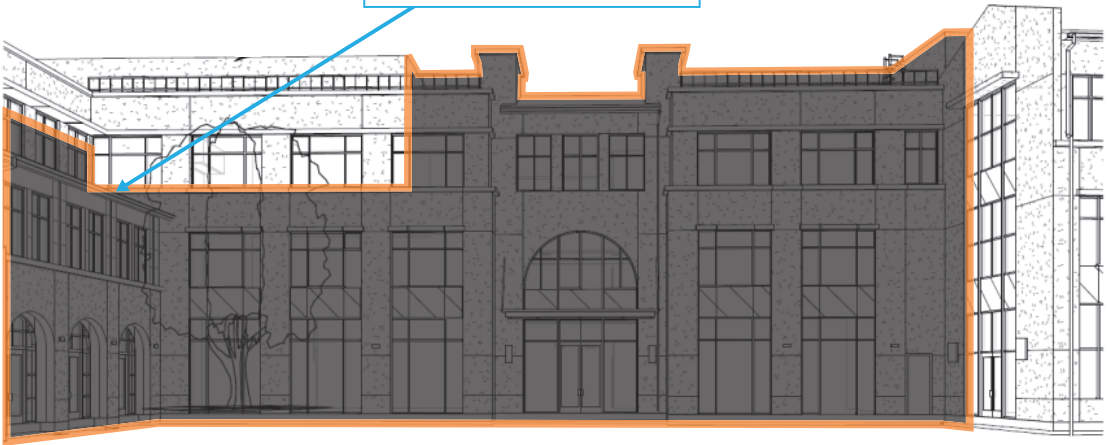
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- VISIBLE AREA FROM EL CAMINO REAL AND GARWOOD WAY
- NON-VISIBLE AREA FROM EL CAMINO REAL AND GARWOOD WAY
- POINT OF VIEW FROM CORRESPONDING STREET



NON-VISIBLE BUILDING FRONTAGES FROM EL CAMINO REAL AND GARWOOD WAY

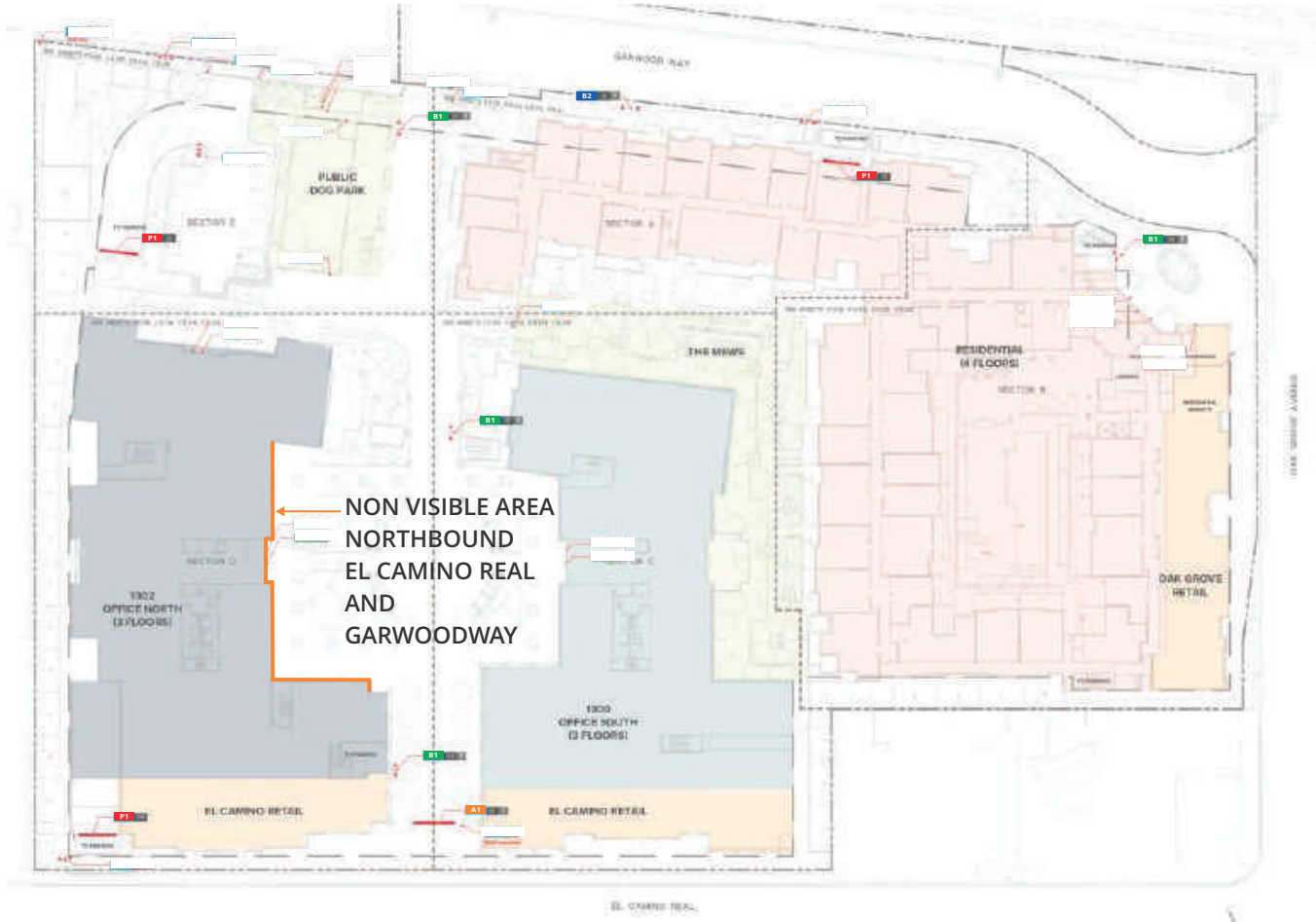


SIGHT OF VIEW STUDY

POINT OF VIEW NORTHBOUND EL CAMINO REAL AND GARWOOD WAY

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SIGHT OF VIEW

POINT OF VIEW NORTHBOUND EL CAMINO REAL AND GARWOOD WAY

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NORTHBOUND EL CAMINO REAL



NORTHBOUND GARWOOD WAY

OFFICE SOUTH

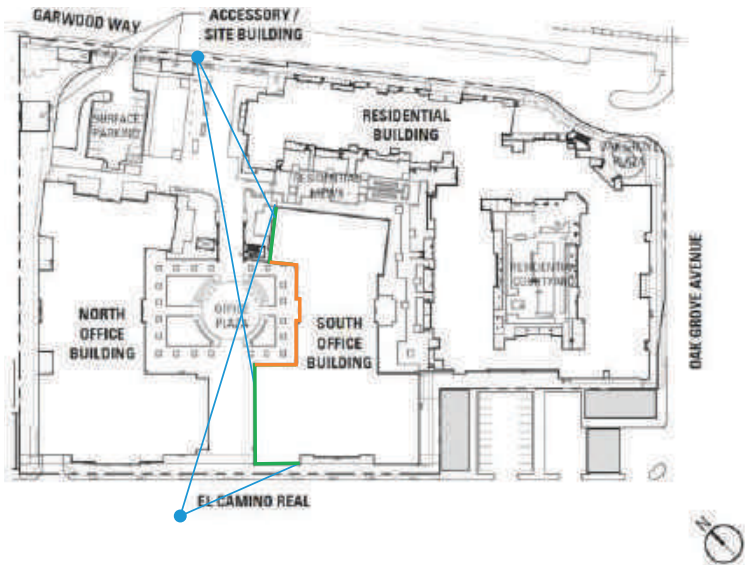
POINT OF VIEW 1300 EL CAMINO REAL AND GARWOOD WAY

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CONTRACTOR'S LIC# 765078
CLASS C45-ELECTRICAL SIGN CONTRACTOR



- VISIBLE AREA FROM EL CAMINO REAL AND GARWOOD WAY
- NON-VISIBLE AREA FROM EL CAMINO REAL AND GARWOOD WAY
- POINT OF VIEW FROM CORRESPONDING STREET



NON-VISIBLE BUILDING FRONTS FROM EL CAMINO REAL AND GARWOOD WAY

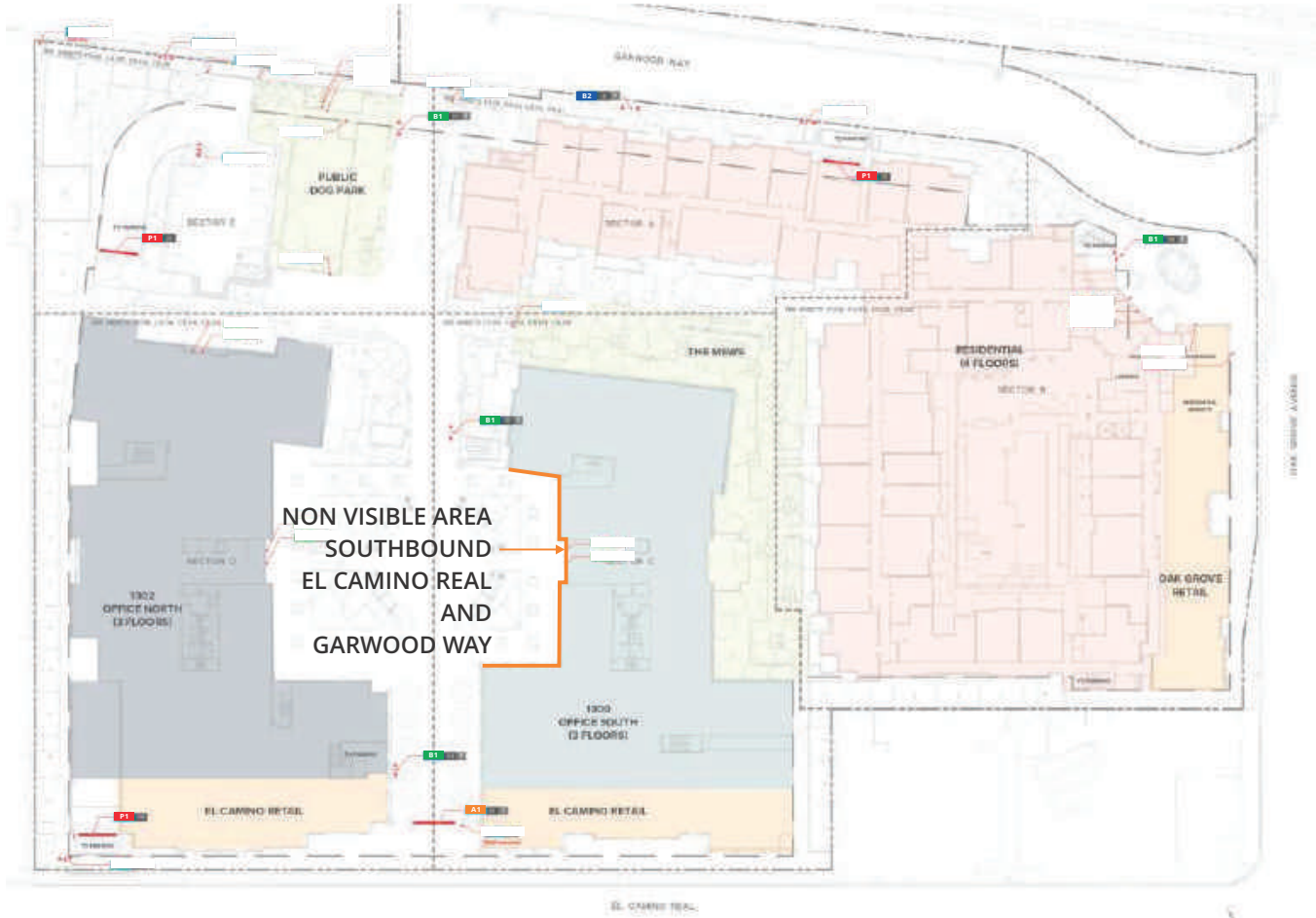


SIGHT OF VIEW STUDY

POINT OF VIEW SOUTHBOUND EL CAMINO REAL AND GARWOOD WAY



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SIGHT OF VIEW

POINT OF VIEW SOUTHBOUND EL CAMINO REAL AND GARWOOD WAY

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SOUTHBOUND EL CAMINO REAL



SOUTHBOUND GARWOOD WAY

June 28, 2022

City of Menlo Park
Planning Commission
PLN2022-00034

**1300 El Camino Real: Master Sign Program
Project Description Letter**

The proposed Master Sign Program for the Springline property at 1300 El Camino Real serves to promote the health, safety, and welfare of property owners and residents of the City by introducing a set of signage standards that guide tenant signage, project identification signage and campus wayfinding signage so as to complement the surrounding architectural elements and remain consistent with the intent of the City of Menlo Park Sign Ordinance and the City's Design Guidelines for Signs.

Once the Springline community development project was approved by City Council on January 24, 2017, a need to amend the City of Menlo Park Sign Ordinance was identified so as to allow for proper tenant visibility and campus identification within a larger property. Thereafter, with Presidio Bay Ventures leading the efforts, from 2017 to February 2022, several study sessions were conducted with City Council to analyze the existing signage regulations (at that time) and discuss several proposed solutions that would allow larger projects to receive larger signage allocations. As a result of the combined efforts, an approved signage amendment was added to the City of Menlo Park Sign Ordinance in March of 2022.

Therefore, we formally submit the Springline MSP that proposes to use 675 SF of sign area, well under the allocated and available 1,107 SF of sign area. This will serve to introduce quality, creative and uniform signage within the property, allow tenants at Springline to have proper signage visibility, and place adequate wayfinding signage to guide visitors within the Springline campus.

Respectfully,

Corporate Sign Systems | Presidio Bay Ventures



STAFF REPORT

Planning Commission

Meeting Date:

7/25/2022

Staff Report Number:

22-040-PC

Public Hearing:

Review for consistency with the General Plan related to the proposed abandonment of public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive and recommendation to City Council

Recommendation

Staff recommends that the Planning Commission adopt a resolution determining that the vacation of public service easements within the properties of 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive is consistent with the General Plan and forward a recommendation to the City Council for approval of abandonment (Attachment A).

Policy Issues

The City is legally required to go through a multistep process as specified by the State of California Streets and Highways Code, Section 8300, in order to abandon public service easements. The Planning Commission should consider whether the proposed vacation is consistent with the General Plan and vote on a determination to forward to the City Council. The City Council will consider the Commission's determination prior to taking final action on the request.

Background

In September 2021, the City Council certified the final environmental impact report, and approved the use permit, architectural control, below market rate housing agreement, community amenities operating covenant, and vesting tentative map for the Menlo Uptown project located on three contiguous parcels at 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive. The project demolished existing single-story office and industrial buildings and is currently constructing 441 rental units within two seven-story buildings and 42 for-sale condominium townhome units within six three-story buildings, as well as 2,940 square feet of commercial uses to be constructed as an urgent care center. A location map is included as Attachment B.

The project is requesting that the City abandon public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive. On June 28, 2022, the City Council adopted Resolution No. 6748 (Attachment C) declaring intention to abandon public service easements within the subject properties.

Analysis

Currently, the existing public service easements proposed for abandonment (Exhibit A to Attachment A)

contain overhead electric and communications facilities. There are no other known utilities within the public service easements to be abandoned. Based on requirements of the R-MU zoning district of the subject properties, and according to the needs of the proposed development, the existing electric and communications facilities are planned for relocation underground within new dedicated public service easements. Therefore, the public service easements proposed for abandonment will no longer be necessary for future public use.

Utility coordination

The City has received “no objection” letters from all relevant public utility agencies. As noted previously, the existing utilities within the public service easements are planned for relocation underground within new dedicated easements.

Abandonment procedure

According to City practice, the applicable abandonment procedure is a three-step process. The first step was completed on June 28, 2022, when the City Council adopted a resolution of intent to abandon the public service easements. The resolution forwards the abandonment request to the Planning Commission for consideration at its July 25 meeting, and sets the time and date for the City Council public hearing as August 23, at 6 p.m. The Planning Commission should review the abandonment to determine if it is compatible with the City’s General Plan, and forward its recommendation to the City Council for approval of the abandonment at the public hearing. Staff would advertise notices of the public hearing in the newspaper and at the site in accordance with the requirements of the Streets and Highways Code. An affidavit of posting would then be filed with the city clerk. Should the utility agencies, affected parties, Planning Commission, and City Council consider the abandonment favorably, a resolution ordering the vacation and abandonment of the easements at 141 Jefferson Drive, 180 Constitution Drive, and 186 Constitution Drive will be recorded. The resolution ordering the vacation and abandonment will only be recorded following the recordation of the new easements required for relocation and undergrounding of existing utilities.

General Plan consistency

The proposed abandonment would not conflict with the General Plan land use and circulation goals and policies. The Land Use and Circulation Elements of the General Plan do not contain specific goals or policies that directly address the proposed vacation. The proposed vacation would not appear to conflict with General Plan philosophy, which generally promotes orderly development, the maintenance of the City’s economic vitality and fiscal health, the protection of people and property from exposure to health and safety hazards, and the minimization of adverse impacts of the development to the City’s public facilities and services. Staff believes the proposal is consistent with the General Plan and staff recommends that the Planning Commission find that the proposed public service easement abandonments are consistent with the General Plan.

Impact on City Resources

There is no direct impact on City resources associated with the actions in this staff report. The fee for staff time to review and process the abandonment has been paid by the applicant.

Environmental Review

The proposed public service easement abandonment is Categorically Exempt under Class 5, Section 15305 (Minor Alterations in Land Use Limitations) of the current California Environmental Quality Act (CEQA) guidelines. Environmental review of the project was subject to separate action, with the Final Environmental Impact Report certified by City Council September 14, 2021.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Planning Commission resolution
 - Exhibits to Attachment A
 - A. A. Abandonment of public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive
 - B. Plat maps and legal descriptions
- B. Location map
- C. City Council resolution of intention to abandon

Report prepared by:

Eric Hinkley, Associate Engineer

Report reviewed by:

Tanisha Werner, Assistant Public Works Director – Engineering

Tom Smith, Acting Principal Planner

Corinna Sandmeier, Acting Principal Planner

RESOLUTION NO. XXXX

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK DETERMINING THAT THE ABANDONMENT OF PUBLIC SERVICE EASEMENTS WITHIN THE PROPERTIES AT 141 JEFFERSON DRIVE, 180 CONSTITUTION DRIVE, AND 186 CONSTITUTION DRIVE IS CONSISTENT WITH THE GENERAL PLAN AND RECOMMENDING THAT THE CITY COUNCIL APPROVE THE REQUESTED ABANDONMENT

WHEREAS, the City of Menlo Park (“City”) received an application requesting abandonment of existing public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive, and 186 Constitution Drive associated with a project consisting of 483 multifamily dwelling units comprised of 441 rental units and 42 for-sale condominiums and associated commercial space to be constructed as an urgent care center (hereinafter the “Project”); and

WHEREAS, the proposed Project requests to abandon certain Public Service Easements and relocate them underground such that the Project Site is adequately served by the utilities, which requires a recommendation by the Planning Commission to the City Council; and

WHEREAS, the Planning Commission has considered the public service easement abandonment within the properties at 141 Jefferson Drive, 180 Constitution Drive, and 186 Constitution Drive shown in Exhibit A, which is attached and made apart thereto; and

WHEREAS, the Planning Commission reviewed the proposed public service easement abandonment request and determined that the request complies with the General Plan goals, policies, and programs, and there have been no objections provided to the proposed abandonment by utility companies and easement holders; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA”) Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15305 et seq. (Minor Alternation in Land Use Limitations); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on July 25, 2022, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, BE IT RESOLVED that the Menlo Park Planning Commission hereby resolves as follows:

1. The Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15305 et seq. (Minor Alternation in Land Use Limitations).
2. The Planning Commission hereby finds that the public service easement abandonment would be compatible with orderly development, because the easements to be vacated are not necessary for public use and new public service easements will be created to allow existing utilities to be relocated and there have been no objections to the abandonment proposal.
3. The Planning Commission hereby finds that the proposed public service easement abandonment within the properties at 141 Jefferson Drive, 180 Constitution, and 186 Constitution Drive shown in Exhibit A is consistent with the General Plan and recommends that the City Council approved the requested abandonment as proposed.

SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Acting Principal Planner and Planning Commission Liaison of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on July 25, 2022 by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 25th day of July, 2022.

Corinna Sandmeier
Acting Principal Planner and Planning Commission
Liaison
City of Menlo Park

Exhibits:

- A. Abandonment of public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive
- B. Plat maps and legal descriptions



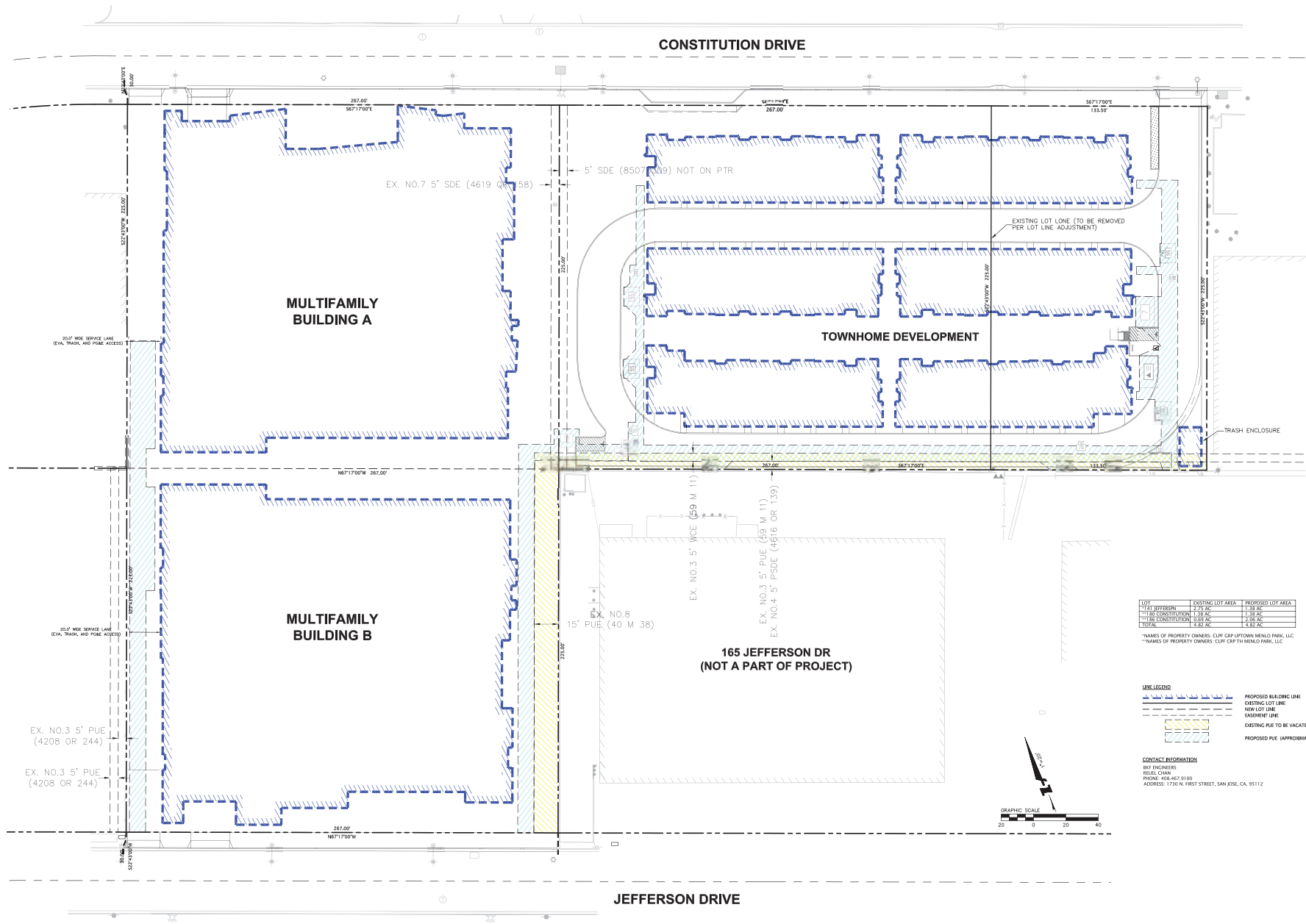
CALIFORNIA

MENLO UPTOWN
141 JEFFERSON DRIVE, 180 CONSTITUTION DRIVE, & 188 CONSTITUTION DRIVE
PUE SITE PLAN
SAN MATEO COUNTY

CITY OF MENLO PARK

Revision	
No.	
Date	6/20/2022
Scale	1" = 20'
Drawn	RLC
Checked	RLC
Approved	RLC
Job No.	22-0527

PUE EX
1 1



LOT	EXISTING LOT AREA	PROPOSED LOT AREA
TOTAL JEFFERSON	2.75 AC	1.18 AC
TOTAL CONSTITUTION	1.18 AC	1.18 AC
TOTAL	3.93 AC	2.36 AC

**NAMES OF PROPERTY OWNERS: CLIP CRP UPTOWN MENLO PARK, LLC
***NAMES OF PROPERTY OWNERS: CLIP CRP TH MENLO PARK, LLC

LINE LEGEND	
PROPOSED BUILDING LINE	---
EXISTING LOT LINE	---
NEW LOT LINE	---
EASEMENT LINE	---
EXISTING PUE TO BE VACATED	---
PROPOSED PUE (APPROXIMATE LOCATION)	---

CONTACT INFORMATION
BKF ENGINEERS
RUEL CHAN
PHONE: 408-467-9100
ADDRESS: 1730 N. FIRST STREET, SAN JOSE, CA, 95112

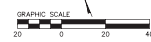




EXHIBIT A
LEGAL DESCRIPTION
VACATION – PUBLIC UTILITY EASEMENT

All that real property situate in the City of Menlo Park, County of San Mateo, California, more particularly described as follows:


Being a portion of Adjusted Parcel 2 and a portion of Adjusted Parcel 1 as described in that certain document entitled "Approval of Lot Line Adjustment", filed for record in the office of the County Recorder of San Mateo County on January 18, 2022, as document number 2022-003974, said portion being more particularly described as follows:

Being all of that certain 15 feet wide Public Utility Easement as shown on that certain map entitled "Parcel Map, filed for record in the office of said county recorder on January 17, 1978 in Book 40 at Pages 38 & 39.

Containing an area 3,525 square feet more or less.

A plat showing the above-described parcel is attached hereto and made a part hereof as Exhibit B.

This legal description was prepared by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act.


David C. Jungmann, PLS 9267

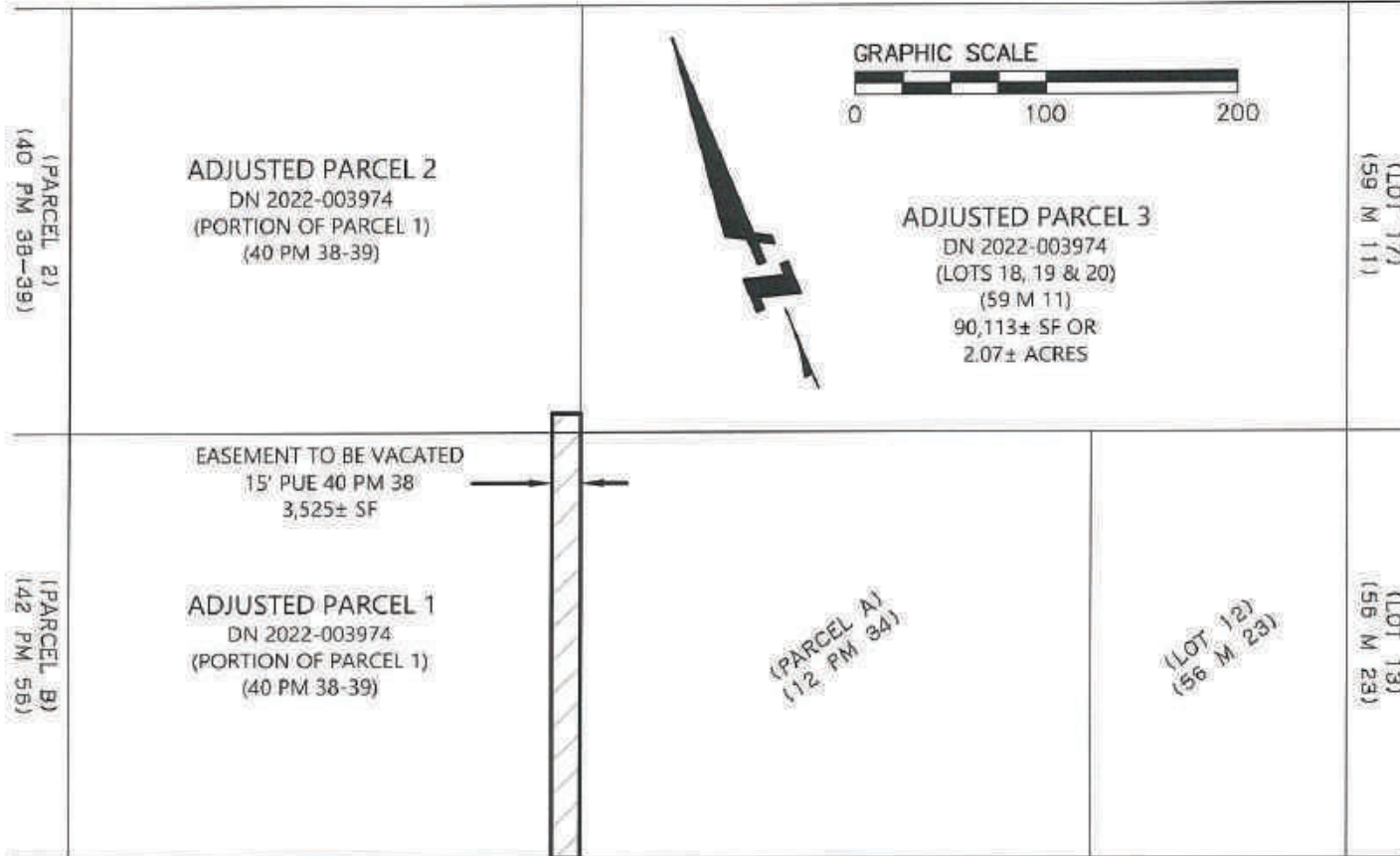


06/21/2022
Date

END OF DESCRIPTION

CONSTITUTION DRIVE

(60' WIDE R/W - A PUBLIC STREET)



[Signature] 06/21/2022

JEFFERSON DRIVE

(60' WIDE R/W - A PUBLIC STREET)

BKF

255 SHORELINE DR.
SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

SUBJECT EXHIBIT B: VACATION – PUBLIC UTILITY
EASEMENT

JOB NO. 20180527-10
BY MJD/JWG APPR. DCJ DATE 06/21/2022
2 OF 2

EXHIBIT A
LEGAL DESCRIPTION
VACATION – WIRE CLEARANCE EASEMENT

All that real property situate in the City of Menlo Park, County of San Mateo, California, more particularly described as follows:

Being a portion of Adjusted Parcel 3 as described in that certain document entitled "Approval of Lot Line Adjustment", filed for record in the office of the County Recorder of San Mateo County on January 18, 2022, as document number 2022-003974, said portion being more particularly described as follows:

Being the easterly 352.96 feet of that certain 5' wide strip, "Wire Clearance Easement", as shown on that certain map entitled "Bohannon Industrial Park No. 6" filed for record in said county on October 22, 1963, in Book 59 at page 11.

Containing an area 1,765 square feet more or less.

A plat showing the above-described parcel is attached hereto and made a part hereof as Exhibit B.

This legal description was prepared by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act.

David C. Jungmann, PLS 9267



06/21/2022
Date

END OF DESCRIPTION

CONSTITUTION DRIVE

(60' WIDE R/W - A PUBLIC STREET)

GRAPHIC SCALE



ADJUSTED PARCEL 3

DN 2022-003974

(LOTS 18, 19 & 20)

(59 M 11)

90,113± SF OR

2.07± ACRES

REMAINDER OF EASEMENT
SITUATED WITHIN ADJUSTED
PARCEL 3 TO BE VACATED BY
SEPARATE DOCUMENT

EASEMENT TO BE VACATED
5' WIRE CLEARANCE EASEMENT

59 M 11

1,765± SF

352.96'

LEGEND

APN ASSESSOR'S PARCEL NUMBER
DN DOCUMENT NUMBER
M RECORD SUBDIVISION MAPS
PM PARCEL MAPS
POB POINT OF BEGINNING
R/W RIGHT-OF-WAY
SF SQUARE FEET

BOUNDARY LINE
ADJACENT LOT LINE
ROAD CENTERLINE
TIE LINE

ADJUSTED PARCEL 2

DN 2022-003974

(PORTION OF PARCEL 1)

(40 PM 38-39)

ADJUSTED PARCEL 1

DN 2022-003974

(PORTION OF PARCEL 1)

(40 PM 38-39)



JEFFERSON DRIVE

(60' WIDE R/W - A PUBLIC STREET)

[Signature] 06/22/2022

BKF

255 SHORELINE DR.,
SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

SUBJECT EXHIBIT B: VACATION - WIRE CLEARANCE
EASEMENT

JOB NO. 20180527-10

BY MJD/JWG APPR. DCJ DATE 06/21/2022

2 OF 2



EXHIBIT A
LEGAL DESCRIPTION
VACATION – WIRE CLEARANCE EASEMENT

All that real property situate in the City of Menlo Park, County of San Mateo, California, more particularly described as follows:

Being a portion of Adjusted Parcel 3 as described in that certain document entitled "Approval of Lot Line Adjustment", filed for record in the office of the County Recorder of San Mateo County on January 18, 2022, as document number 2022-003974, said portion being more particularly described as follows:

Being the westerly 47.54 feet of that certain 5' wide strip, "Wire Clearance Easement", as shown on that certain map entitled "Bohannon Industrial Park No. 6" filed for record in said county on October 22, 1963, in Book 59 at page 11.

A plat showing the above-described parcel is attached hereto and made a part hereof as Exhibit B.

Containing an area 238 square feet more or less.

This legal description was prepared by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act.

David C. Jungmann, PLS 9267



06/21/2022
Date

END OF DESCRIPTION

CONSTITUTION DRIVE

(60' WIDE R/W - A PUBLIC STREET)

GRAPHIC SCALE



ADJUSTED PARCEL 3

DN 2022-003974
(LOTS 18, 19 & 20)
(59 M 11)
90,113± SF OR
2.07± ACRES

ADJUSTED PARCEL 2

DN 2022-003974
(PORTION OF PARCEL 1)
(40 PM 38-39)

ADJUSTED PARCEL 1

DN 2022-003974
(PORTION OF PARCEL 1)
(40 PM 38-39)

EASEMENT TO BE VACATED
5' WIRE CLEARANCE EASEMENT
59 M 11
238± SF

REMAINDER OF EASEMENT
SITUATED WITHIN ADJUSTED
PARCEL 3 TO BE VACATED BY
SEPARATE DOCUMENT

LEGEND

APN ASSESSOR'S PARCEL NUMBER
DN DOCUMENT NUMBER
M RECORD SUBDIVISION MAPS
PM PARCEL MAPS
POB POINT OF BEGINNING
R/W RIGHT-OF-WAY
SF SQUARE FEET

BOUNDARY LINE
ADJACENT LOT LINE
ROAD CENTERLINE
TIE LINE



[Signature] 06/21/2022

JEFFERSON DRIVE

(60' WIDE R/W - A PUBLIC STREET)

BKF

255 SHORELINE DR.,
SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

SUBJECT **EXHIBIT B: VACATION - WIRE CLEARANCE EASEMENT**

JOB NO. **20180527-10**
BY **MJD/JWG** APPR. **DCJ** DATE **06/21/2022**

2 OF 2



EXHIBIT A
LEGAL DESCRIPTION
VACATION – PUBLIC UTILITY EASEMENT

All that real property situate in the City of Menlo Park, County of San Mateo, California, more particularly described as follows:

Being a portion of Adjusted Parcel 3 as described in that certain document entitled "Approval of Lot Line Adjustment", filed for record in the office of the County Recorder of San Mateo County on January 18, 2022, as document number 2022-003974, said portion being more particularly described as follows:

Being the easterly 352.96 feet of that certain 5' wide strip, "Public Utility Easement", as shown on that certain map entitled "Bohannon Industrial Park No. 6" filed for record in said county on October 22, 1963, in Book 59 at page 11.

A plat showing the above-described parcel is attached hereto and made a part hereof as Exhibit B.

Containing an area 1,765 square feet more or less.

This legal description was prepared by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act.

David C. Jungmann, PLS 9267



06/21/2022
Date

END OF DESCRIPTION

CONSTITUTION DRIVE

(60' WIDE R/W - A PUBLIC STREET)

GRAPHIC SCALE



ADJUSTED PARCEL 3

DN 2022-003974
(LOTS 18, 19 & 20)
(59 M 11)
90,113± SF OR
2.07± ACRES

ADJUSTED PARCEL 2

DN 2022-003974
(PORTION OF PARCEL 1)
(40 PM 38-39)

ADJUSTED PARCEL 1

DN 2022-003974
(PORTION OF PARCEL 1)
(40 PM 38-39)

REMAINDER OF EASEMENT
SITUATED WITHIN ADJUSTED
PARCEL 3 TO BE VACATED BY
SEPARATE DOCUMENT

EASEMENT TO BE VACATED
5' PUBLIC UTILITY EASEMENT
59 M 11
1,765± SF

352.96'

(PARCEL A)
(12 PM 34)

(LOT 12)
(56 M 23)

LEGEND

APN	ASSESSOR'S PARCEL NUMBER
DN	DOCUMENT NUMBER
M	RECORD SUBDIVISION MAPS
PM	PARCEL MAPS
POB	POINT OF BEGINNING
R/W	RIGHT-OF-WAY
SF	SQUARE FEET

	BOUNDARY LINE
	ADJACENT LOT LINE
	ROAD CENTERLINE
	TIE LINE



[Signature] 06/21/2022

JEFFERSON DRIVE

(60' WIDE R/W - A PUBLIC STREET)

BKF

255 SHORELINE DR.,
SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

SUBJECT **EXHIBIT B: VACATION - PUBLIC UTILITIES EASEMENT**

JOB NO. **20180527-10**
BY **MJD/JWG** APPR. **DCJ** DATE **06/21/2022**
2 OF 2



EXHIBIT A
LEGAL DESCRIPTION
VACATION – PUBLIC UTILITY EASEMENT

All that real property situate in the City of Menlo Park, County of San Mateo, California, more particularly described as follows:

Being a portion of Adjusted Parcel 3 as described in that certain document entitled "Approval of Lot Line Adjustment", filed for record in the office of the County Recorder of San Mateo County on January 18, 2022, as document number 2022-003974, said portion being more particularly described as follows:

Being the westerly 47.54 feet of that certain 5' wide strip, "Public Utility Easement", as shown on that certain map entitled "Bohannon Industrial Park No. 6" filed for record in said county on October 22, 1963, in Book 59 at page 11.

A plat showing the above-described parcel is attached hereto and made a part hereof as Exhibit B.

Containing an area 238 square feet more or less.

This legal description was prepared by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act.

David C. Jungmann, PLS 9267



06/21/2022
Date

END OF DESCRIPTION

CONSTITUTION DRIVE

(60' WIDE R/W - A PUBLIC STREET)

GRAPHIC SCALE

0 100 200

ADJUSTED PARCEL 3

DN 2022-003974
(LOTS 18, 19 & 20)
(59 M 11)
90,113± SF OR
2.07± ACRES

ADJUSTED PARCEL 2

DN 2022-003974
(PORTION OF PARCEL 1)
(40 PM 38-39)

EASEMENT TO BE VACATED

5' PUBLIC UTILITY EASEMENT
59 M 11
238± SF

REMAINDER OF EASEMENT
SITUATED WITHIN ADJUSTED
PARCEL 3 TO BE VACATED BY
SEPARATE DOCUMENT

47.54'

ADJUSTED PARCEL 1

DN 2022-003974
(PORTION OF PARCEL 1)
(40 PM 38-39)

LEGEND

APN	ASSESSOR'S PARCEL NUMBER
DN	DOCUMENT NUMBER
M	RECORD SUBDIVISION MAPS
PM	PARCEL MAPS
POB	POINT OF BEGINNING
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
—	BOUNDARY LINE
— — —	ADJACENT LOT LINE
— — — — —	ROAD CENTERLINE
- - - - -	TIE LINE



[Signature] 06/21/2022

JEFFERSON DRIVE

(60' WIDE R/W - A PUBLIC STREET)

BKF

255 SHORELINE DR.,
SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

SUBJECT EXHIBIT B: VACATION — PUBLIC UTILITIES
EASEMENT

JOB NO. 20180527-10

BY MJD/JWG APPR. DCJ DATE 06/21/2022

2 OF 2



CITY OF MENLO PARK

LOCATION MAP

MENLO UPTOWN PROJECT

DRAWN: TAS CHECKED: CDS DATE: 7/25/22 SCALE: 1" = 300' SHEET: 1



RESOLUTION NO. 6748**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK
DECLARING THE INTENTION OF SAID CITY TO ABANDON PUBLIC
SERVICE EASEMENTS WITHIN THE PROPERTIES AT 141 JEFFERSON
DRIVE, 180 CONSTITUTION DRIVE AND 186 CONSTITUTION DRIVE**

WHEREAS, the City Council of the City of Menlo Park has considered the abandonment of public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive shown in Exhibit A, which is attached and made apart thereto; and

WHEREAS, the Planning Commission is scheduled to review the proposed abandonment for consistency with the City's General Plan at its meeting on July 25, 2022; and

WHEREAS, the City Council will hold a Public Hearing on August 23, 2022 at approximately 6:00 p.m. as required by law to determine whether said public service easements shall be abandoned.

NOW, THEREFORE, BE IT RESOLVED, that a Resolution of Intention of the City Council of the City of Menlo Park does hereby propose the abandonment of public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive, and 186 Constitution Drive.

I, Judi A. Herren, City Clerk of the City of Menlo Park, do hereby certify that the above and foregoing City Council resolution was duly and regularly passed and adopted at a meeting of said City Council on the fourteenth day of June, 2022, by the following votes:

AYES: Combs, Nash, Taylor, Wolosin


NOES: None

ABSENT: Mueller

ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this twenty-ninth day of June, 2022.

DocuSigned by:

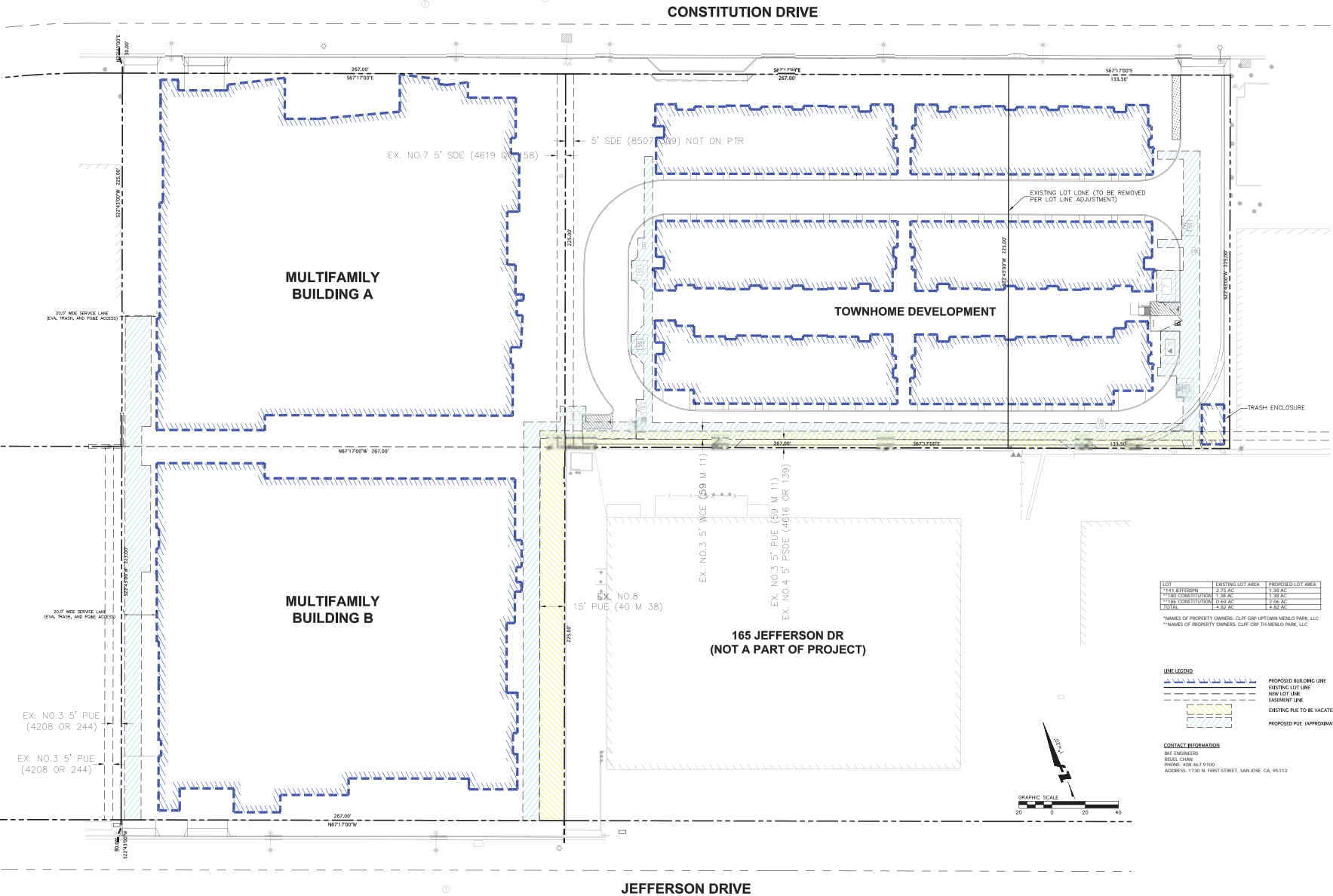


30280A20D0DE404...
Judi A. Herren, City Clerk

Exhibits:

- A. Abandonment of public service easements within the properties at 141 Jefferson Drive, 180 Constitution Drive and 186 Constitution Drive

EXHIBIT A





STAFF REPORT

Planning Commission

Meeting Date:

7/25/2022

Staff Report Number:

22-041-PC

Public Hearing:

Planning Commission review for consistency with the General Plan related to the proposed vacation of 10-foot-wide Public Utility Easement at 248 Oakhurst Place

Recommendation

Staff recommends that the Planning Commission adopt a resolution determining that the vacation of a 10-foot-wide Public Utility Easement conforms to the General Plan (Attachment A).

Policy Issues

Summary vacations comprise a two-step process, which requires a determination by the Planning Commission that the proposed vacation conforms to the General Plan. The City Council will consider the Commission's determination prior to taking final action on the request. The Planning Commission should consider whether the summary vacation is consistent with the General Plan.

Background

On April 20, 2021, the owner of 248 Oakhurst requested a use permit to construct a second-floor addition and perform interior and exterior modifications to an existing nonconforming, single-story, single-family residence in the R-1-U (Single Family Urban Residential) zoning district. The project plans showed a 10-foot-wide Public Utility Easement (PUE) running through a portion of the existing structure. A location map is included as Attachment B and a plan sheet showing the location of the easement is included as Exhibit B to Attachment A.

The 10-foot-wide easement was dedicated as part of the Tract No. 560 Suburban Park Subdivision (Attachment C) and was never used by any utility companies. Utility companies have no objection to vacate this easement. The City requested that the applicant initiate the vacation of the 10-foot-wide PUE. The limits of vacation are precisely defined in Exhibit A to Attachment A and are subject to the summary vacation process as described below.

Applicability of Summary Vacation

Subsection (a) of Section 8333 of the California Streets and Highways Code allows a summary vacation of an easement that has not been used for the purpose for which it was dedicated or acquired for five consecutive years immediately preceding the proposed vacation.

Abandonment procedure

Summary vacations require that the Planning Commission review the project for conformance with the General Plan and forward its determination to City Council for final action. The Public Works Department has tentatively scheduled September 13, 2022 for the City Council's action subsequent to the outcome of

this meeting.

Analysis

The owner of the property at 248 Oakhurst has applied per the request of the City to initiate vacation of the 10-foot PUE running through a portion of the existing structure. The 10-foot PUE has no utilities and has never been used. Therefore, this PUE is no longer necessary for any future public purpose. The applicant has obtained approval (no-objection letters) from various utility companies including PG&E, AT&T and Menlo Park Municipal Water.

General Plan consistency

The Land Use and Circulation Elements of the General Plan do not contain specific goals or policies that directly address the proposed vacation. The proposed vacation would not appear to conflict with General Plan philosophy, which generally promotes orderly development, the maintenance of the City's economic vitality and fiscal health, the protection of people and property from exposure to health and safety hazards, and the minimization of adverse impacts of the development to the City's public facilities and services. Staff believes the proposal is consistent with the General Plan.

Conclusion

The proposed vacation would not conflict with the General Plan land use and circulation goals and policies. It would not negatively impact other properties and it would benefit the subject site by allowing greater flexibility for potential redevelopment of the site. Staff recommends that the Planning Commission find that the proposed Public Utility Easement vacation is consistent with the General Plan.

Impact on City Resources

There is no direct impact on City resources associated with the actions in this staff report. The fee for staff time to review and process the abandonment has been paid by the applicant.

Environmental Review

The summary vacation is Categorically Exempt under Class 5, Section 15305 (Minor Alterations in Land Use Limitations) of the current California Environmental Quality Act (CEQA) guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Draft Planning Commission Resolution
 - Exhibits to Attachment A
 - A. Legal Description and Plat Map
 - B. Plan Sheet
- B. Location Map
- C. Tract No. 560 Suburban Park Subdivision

Report prepared by:
Edress Rangeen, Associate Engineer

Report reviewed by:
Ebby Sohrabi, Senior Civil Engineer
Corinna Sandmeier, Acting Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2022-XX**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK DETERMINING THAT THE ABANDONMENT OF A PUBLIC UTILITY EASEMENT RUNNING OVER A PORTION OF THE EXISTING STRUCTURE AT 248 OAKHURST PLACE IS CONSISTENT WITH THE GENERAL PLAN AND RECOMMENDING THAT THE CITY COUNCIL APPROVE THE REQUESTED ABANDONMENT**

WHEREAS, the City of Menlo Park (“City”) received an application for the vacation of a 10-foot-wide Public Utility Easement (PUE) running through a portion of an existing residence (“the Project”) in connection with an application to construct a second-floor addition and perform interior and exterior modifications to the existing nonconforming, single-story, single-family residence in the R-1-U (Single Family Urban Residential) zoning district; and

WHEREAS, the plans show a 10-foot-wide Public Utility Easement (PUE) running through a portion of the existing structure that has no utilities and has never been used; and

WHEREAS, Subsection (a) of Section 8333 of the California Streets and Highways Code allows a summary vacation of an easement that has not been used for the purpose for which it was dedicated or acquired for five consecutive years immediately preceding the proposed vacation; and

WHEREAS, the Planning Commission of the City of Menlo Park has considered the requested abandonment of a public utility easement within the property at 248 Oakhurst Place shown on Exhibit A, which is attached and made apart hereto; and

WHEREAS, the Planning Commission reviewed the proposed public utility easement abandonment request and determined that the request complies with the General Plan goals, policies, and programs in that the easement to be vacated is not necessary for public use and there have been no objections provided to the proposed abandonment by utility companies; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA”) Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15305 et seq. (Minor Alternation in Land Use Limitations); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on July 25, 2022, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15305 et seq. (Minor Alternation in Land Use Limitations).
2. The Planning Commission hereby finds that the public utility easement abandonment would be compatible with orderly development, because the easement to be vacated has never been used, is not necessary for public use, and there have been no objections to the abandonment proposal.
3. The Planning Commission hereby finds that the proposed public utility easement vacation within 248 Oakhurst Lane shown in Exhibit A is consistent with the General Plan and recommends that the City Council approved the requested abandonment as proposed.

I, Corinna Sandmeier, Acting Principal Planner and Planning Commission Liaison of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on July 25, 2022, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 25th day of July, 2022.

Corinna Sandmeier
Acting Principal Planner and Planning Commission Liaison
City of Menlo Park

Exhibits

- A. Legal Description and Plat Map
- B. Plan Sheet

EXHIBIT "A"
LEGAL DESCRIPTION FOR
PUBLIC UTILITY EASEMENT VACATION
 248 OAKHURST PLACE, MENLO PARK, CALIFORNIA

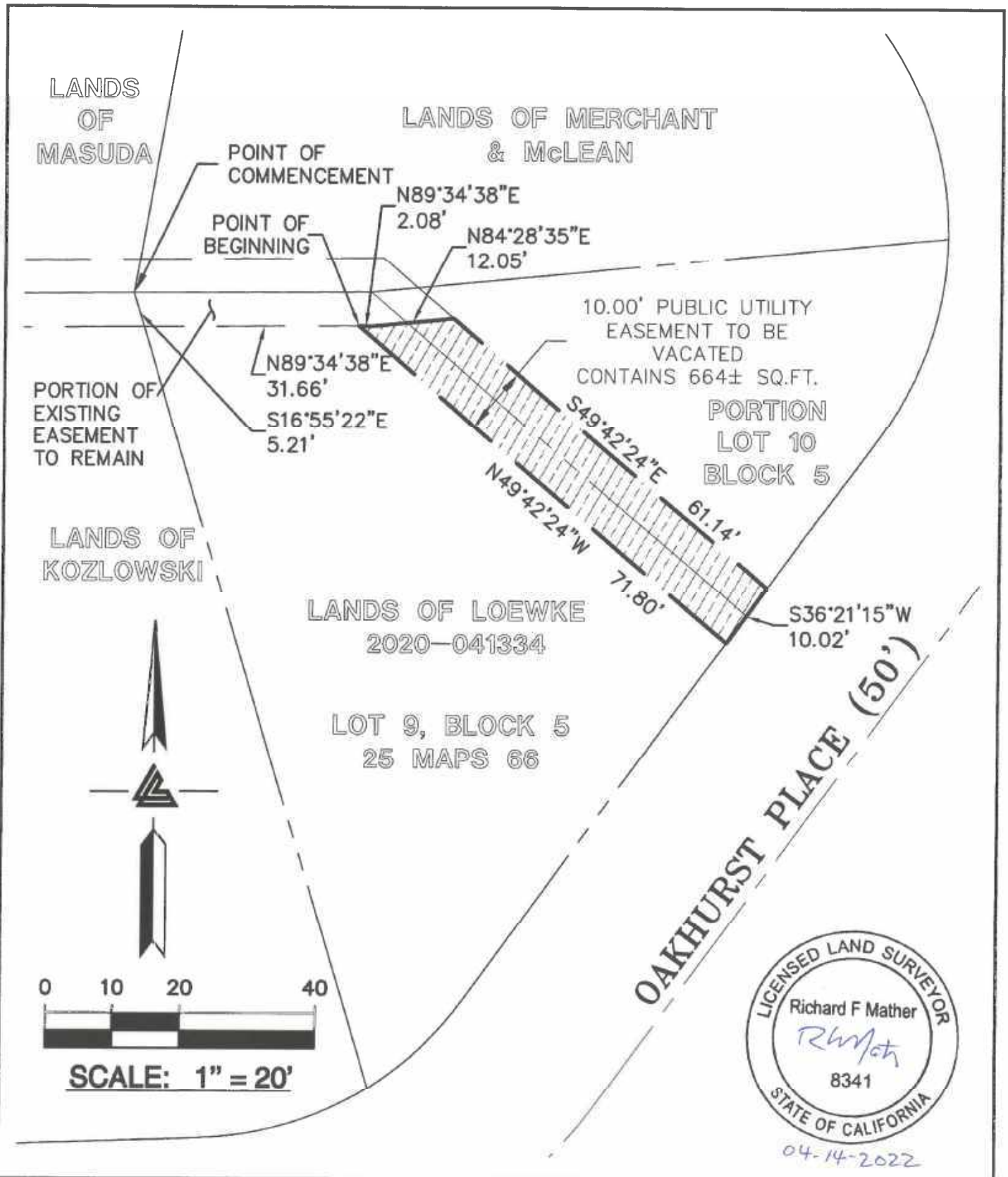
All that certain real property, situate in the City of Menlo Park, County of San Mateo, State of California, being part of the land of Loewke as described in that certain Grant Deed recorded May 8, 2020 as Instrument No. 2020-041334, Official Records of San Mateo County, and being a portion of Lots 9 and 10, Block 5 as shown on "Tract No. 560 Suburban Park", filed for record on July 17, 1946 in Book 25 of Maps at Pages 66 through 70, Records of San Mateo County, as shown on Exhibit "B" made a part hereof, more particularly described as follows:

Commencing at the most Westerly corner of said Lands, said point being the West corner of said Lot 9; thence along the westerly line of said Lands South 16°55'22" East, 5.21 feet; thence leaving said line North 89°34'38" East, 31.66 feet to the **Point of Beginning**; thence North 89°34'38" East, 2.08 feet and North 84°28'35" East, 12.05 feet; thence South 49°42'24" East, 61.14 feet to a point on the northwesterly right of way of Oakhurst Place, 50 feet wide, as shown on said Map; thence along said right of way South 36°21'15" West, 10.02 feet; thence leaving said line North 49°42'24" West, 71.80 feet to the **Point of Beginning**.

Containing 664 square feet, more or less.

END OF DESCRIPTION





LEA & BRAZE ENGINEERING, INC.

CIVIL ENGINEERS • LAND SURVEYORS

BAY AREA REGION
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086
(F) (510) 887-3019

SACRAMENTO REGION
3017 DOUGLAS BLVD, # 300
ROSEVILLE, CA 95661
(P) (916) 966-1338
(F) (916) 797-7363

WWW.LEABRAZE.COM

EXHIBIT 'B'
PLAT TO ACCOMPANY LEGAL
DESCRIPTION FOR PUBLIC UTILITY
EASEMENT VACATION
248 OAKHURST PLACE MENLO
PARK, CA

JOB NO 2200508

SCALE: 1" = 20'

A5

DRAWN BY: RM

PAGE 2 OF 2

APRIL 2022

North: 5377.3324' East: 4353.3404'

Segment #1 : Line

Course: N89° 34' 38"E Length: 2.08'

North: 5377.3478' East: 4355.4204'

Segment #2 : Line

Course: N84° 28' 35"E Length: 12.05'

North: 5378.5077' East: 4367.4144'

Segment #3 : Line

Course: S49° 42' 24"E Length: 61.14'

North: 5338.9684' East: 4414.0486'

Segment #4 : Line

Course: S36° 21' 15"W Length: 10.02'

North: 5330.8986' East: 4408.1090'

Segment #5 : Line

Course: N49° 42' 24"W Length: 71.80'

North: 5377.3317' East: 4353.3440'

Perimeter: 157.10' Area: 663.61 Sq. Ft.

Error Closure: 0.0036 Course: S78° 25' 48"E

Error North: -0.00072 East: 0.00354

Precision 1: 43636.11

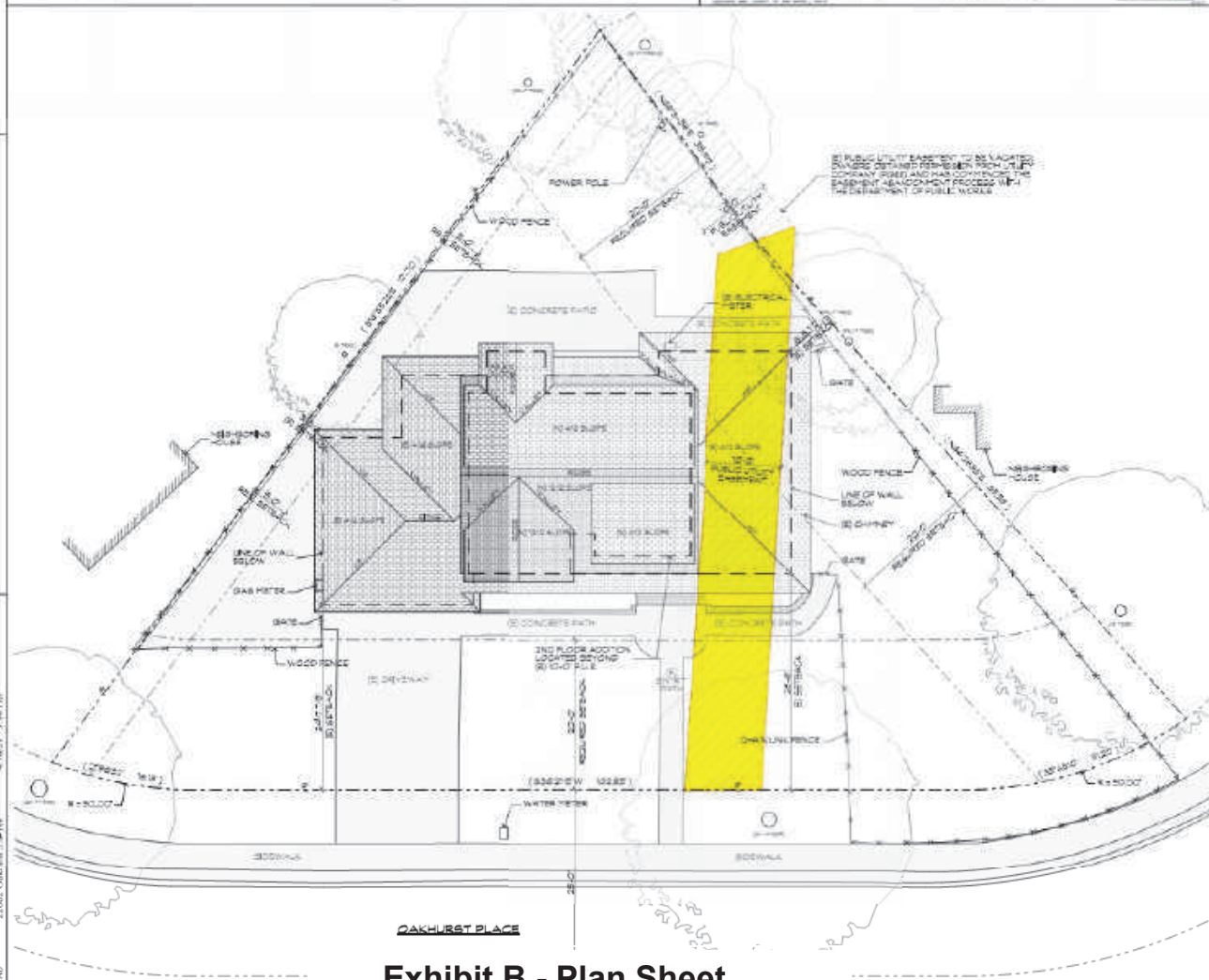
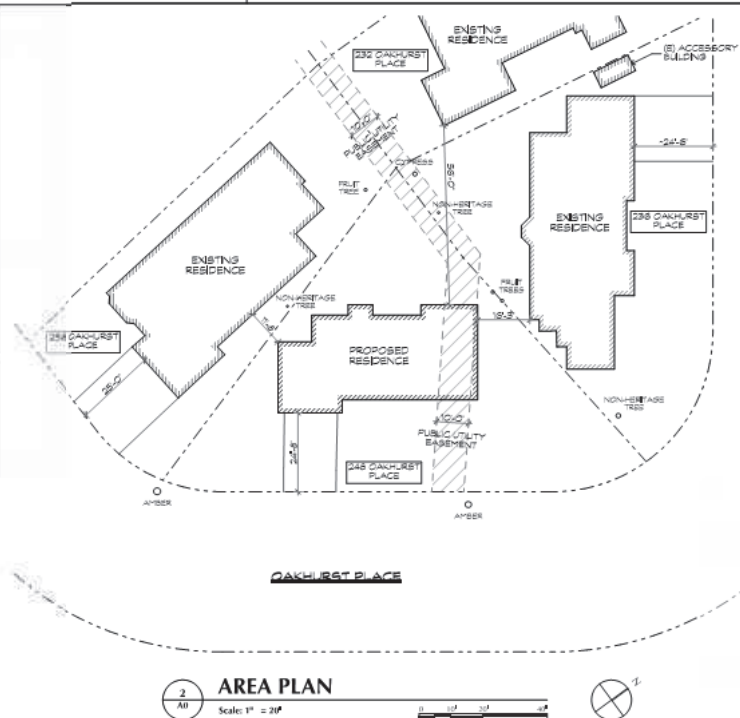


Exhibit B - Plan Sheet

SITE PLAN SHEET NOTES

- 41 EXISTING (CRACKED OR DAMAGED) FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY [STANDARD DETAILS].
(<https://www.montpelier.org/2115/standard-Details>)
- 42 FRONTAGE IMPROVEMENTS THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPAIRED.
- 43 AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
- 44 NONCONFORMING WALLS LOCATED IN THE REQUIRED SETBACKS CANNOT BE DEMOLISHED. IF THE NONCONFORMING FEATURES ARE DEMOLISHED AS PART OF THE PROJECT, THE PROPERTY OWNER MUST RE-TERMINATE THE SETBACKS TO MEET THE CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE REQUIREMENTS.

SITE PLAN LEGEND

- | | |
|---|---------------|
|  | PROPERTY LINE |
|  | SETBACKS |
|  | LINE OF WALK |
|  | FENCE |

DRAWING INDEX

THE TOPIC	ID	USE PERMITS
Table & Chair Set	A0	*
Set for Welcome Booth	A2.0	*
Exhibit Booth	A2.1	*
Exhibit Filtration	A2.2	*
Exhibition Floor	A2.3	*
Proposed 1st Floor Plan	A3.0	*
Proposed 2nd Floor Plan	A3.1	*
Proposed Roof Plan	A3.2	*
Proposed Elev. Reservations	A4.0	*
Daylight Plan	A4.1	*
Building Sections	A5.0	*
Floor Area Diagram	A6.0	*
Floor Area, Impression Calc., Streamgraph	A6.1	*
Area Survey	A6.2	*

PROJECT INFO

This project consists of a second story addition to an existing single-family residence. The project removes some walls to improve the entry hall, and adds new bedrooms and bathroom upstairs. This will improve overall access and circulation and create a more floor area for a growing family.

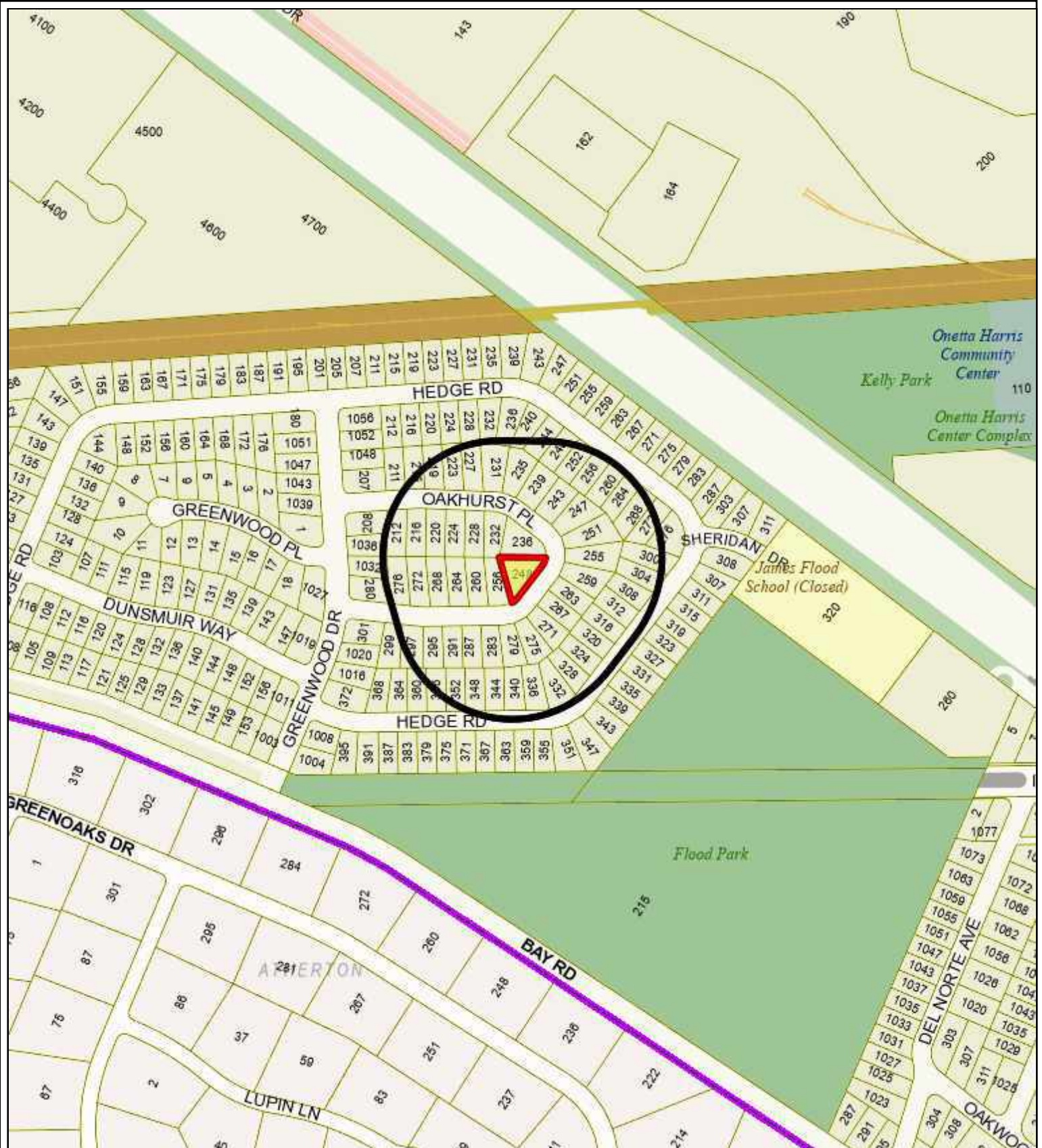
- The main changes are:
1. New 2nd floor with bedrooms & bathroom
 2. New powder room to replace existing bathroom
 3. Removing closets at entry hall

PROJECT ADDRESS:

PROJECT ADDRESS:	248 OAKHURST PLACE
APN:	055-301-050
OCCUPANCY GROUP:	Residential (R-3)
TYPE OF CONSTRUCTION:	Type V-B
ZONING DISTRICT:	R-1-1 Single Family Urban Residential
FIRE SPRINKLERS:	No

NUMBER OF STORIES:	Existing: Proposed:	1 Story 2 Stories	
LOT SIZE:	Existing:	7,887 sf	(Unchanged)
SETBACKS:	Front: Left Side: Right Side: Rear:	24.63' n/a n/a 6.43'	(Unchanged) (Unchanged) (Unchanged) (Unchanged)
PARKING:		2 Covered Spaces	(Unchanged)
FLOOR AREA:	Existing: Proposed: Max. Allowed:	1,657.31 sf 2,383.21 sf 2,321.75 sf	
BUILDING COVERAGE:	Existing: Proposed: Max. Allowed:	2,094.02 sf (27%) 1,776.63 sf (23%) 2,760.45 sf (35%)	
LANDSCAPING:	Total:	4,431.96 sf (56%)	
PAVED SURFACES:	Total:	1,678.41 sf (21%)	
MAX. HEIGHT:	Existing: Proposed: Max. Allowed:	14'-2 1/2" 22'-2 1/2" 28'-0"	
BUILDING CODES:		2019 CRC, 2019 CBC 2019 CEC, CMC, CPC, CFC 2019 California Energy Code 2019 CalComm	

The work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Menlo Park Municipal Code Chapter 8.06 Noise.



City of Menlo Park
Location Map
248 Oakhurst Lane



Scale: 1:4,000

Drawn By: MAP

Checked By: CDS

Date: 7/25/2022

Sheet: 1

OWNERS CERTIFICATE.

We hereby certify that we are the owners of, or have some right, title or interest in and to the real property included within the subdivision shown upon this map, and that we are the only persons whose consent is necessary to pass a clear title to said property, and we consent to the making of said map and subdivision as shown within the colored border lines and hereby dedicate to public use all the roads, ways, drives and places shown upon said map within said subdivision.

We also hereby dedicate for public use easements for public utilities under, on or over those certain strips of land lying between the rear lines and/or side lines of lots and the lines designated as "public utilities easements line" as shown on said map, within said subdivisions; such strips of land to be kept open and free from buildings and structures of any kind.

H. J. Dunlap and Jessie Earle Dunlap
M. J. Dunlap and Jessie Earle Dunlap
(as Owners)
THE HIBERNIA SAVINGS AND LOAN SOCIETY
a Banking Corporation, as Mortgagee,
by Joseph P. O'Leary E. L. O'Leary
Vice President Secretary Pro Tem

CERTIFICATE OF CLERK OF BOARD OF SUPERVISORS.

I, W. H. Augustus Clerk of the Board of Supervisors of San Mateo County, State of California, hereby certify that said Board approved the within map on the 28th day of June, 1946, and accepted on behalf of the public, all parcels of land offered for dedication for public use, in conformity with the terms of the offer of dedication.

By W. H. Augustus
County Clerk and Ex-Officio Clerk of
the Board of Supervisors of the County
of San Mateo, State of California.
by A. M. Bullivant
Deputy

CERTIFICATE OF COUNTY RECORDER.

File No. 152216
Filed for record at the request of
PSOUNFULA TITLE GUARANTY COMPANY
this 17th day of JULY, 1946
at 25 minutes past 2 P.M. in
Volume 25 of Maps at page 66-58-69-70
Records of San Mateo County, California.
By C. R. Rine County Recorder
Deputy
Fee \$ ---

STATE OF CALIFORNIA
COUNTY OF SAN MATEO

On this 22nd day of June, 1946, before me Barry M. Arthur
a Notary Public in and for said County of San Mateo,
State of California, residing therein, duly commissioned
and sworn, personally appeared H. J. Dunlap and
Jessie Earle Dunlap, his wife, known to me to be
the persons whose names are subscribed to the
within instrument and acknowledged to me that they
executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand
and affixed my official seal the day and year in this
certificate first, above written.

Barry M. Arthur
Notary Public in and for the
County of San Mateo, State of California.

My Commission expires APRIL 19, 1950.

STATE OF CALIFORNIA
CITY AND COUNTY
OF SAN FRANCISCO

On this 5th day of June, 1946, before me May H. Farrell
a Notary Public in and for the City and County of San Francisco
State of California, residing therein, duly commissioned
and sworn, personally appeared Joseph P. O'Leary
known to me to be the Vice President

C. R. O'Leary known to me to be the
Secretary Pro Tem of the HIBERNIA SAVINGS AND
LOAN SOCIETY, the banking corporation that executed
the within instrument and known to me to be the per-
sons who executed the same upon behalf of the corpora-
tion named therein, and acknowledged to me that such
corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my
hand and affixed my official seal the day and year
in this certificate first above written.

May H. Farrell
Notary Public in and for the City and County
of San Francisco, State of California.
My Commission expires May 11, 1950

BASIS OF BEARING NOTE

The bearing of Bayshore Highway as shown on
map Dist IV - S.M.-68-D (sheet 2c of 10 sheets) filed
June 8, 1931, Division of Highways, Sacramento, Calif.
All distances and dimensions are shown in Feet and
decimals thereof.
The blue border indicates the boundaries of the land
subdivided by this map.

SURVEYORS CERTIFICATE.

I, Paul H. Hardy, hereby certify that I am a
Licensed Land Surveyor, that this map consisting
of five sheets correctly represents a survey made under
my supervision during April and May, 1946; that the
survey is true and complete as shown; that
all monuments, of the kinds shown hereon, actually
exist and that their positions are correctly shown, and
that said monuments are sufficient to enable the
survey to be retraced.

Paul H. Hardy
Licensed Land Surveyor of
State of California
License No. 2296
Date June 4, 1946

CERTIFICATE OF APPROVAL BY COUNTY ENGINEER.

I, Melville A. Grant, County Engineer of San Mateo
County, hereby certify that I have examined this
Map; that the subdivision as shown hereon is sub-
stantially the same as it appeared on the tentative
Map; and any approved alterations thereof as approved
by the San Mateo County Planning Commission on
1/28th 16/1946; that all the provisions of the Califor-
nia Subdivision Map Act; as amended and of San
Mateo County Ordinance No. 595, applicable at the time
of the approval of said tentative map, have been com-
plied with, and this map is technically correct.

Melville A. Grant June 3rd 1946
County Engineer, San Mateo County, California.

TRACT No. 560

SUBURBAN PARK

SUBDIVISION OF A PORTION OF THE
PROPERTY CONVEYED FROM K. GINESTE
& MARCELLA GINESTE - HIS WIFE &
LAWRENCE H. WALKER & RUTH V. WALKER
HIS WIFE TO H-J-DUNLAP & JESSIE EARLE
DUNLAP-HIS WIFE AS JOINT TENANTS
BY DEED DATED MARCH 28, 1946
RECORDED APRIL 1, 1946 - FILE No. 96090F

IN UNINCORPORATED TERRITORY IN
THE COUNTY OF SAN MATEO, CALIFORNIA

JAMES & WATERS - CIVIL ENGINEERS
PALO ALTO - BURLINGAME - SAN JOSE - CALIFORNIA
SCALE: 1" = 50' FT. 1946



TRACT No. 560
SUBURBAN PARK

SCALE: 1" = 30 FT.
JAMES & WATERS - CIVIL ENGINEERS
LEGEND

Boundary Monuments shown thus
Street Monuments shown thus
Iron Pipe Monuments shown thus
Boundary of Subdivision shown thus

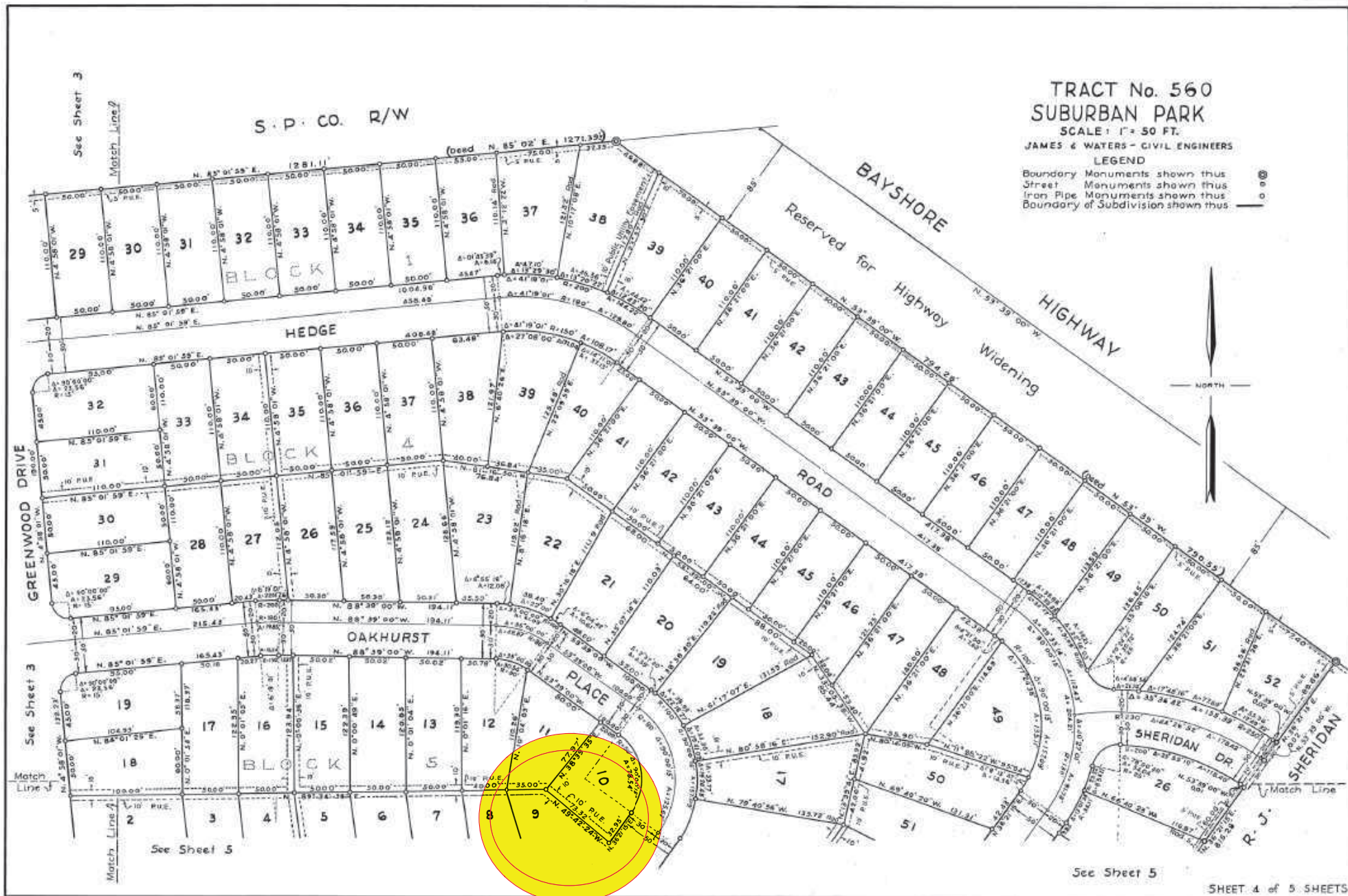
S - P - CO. R/W

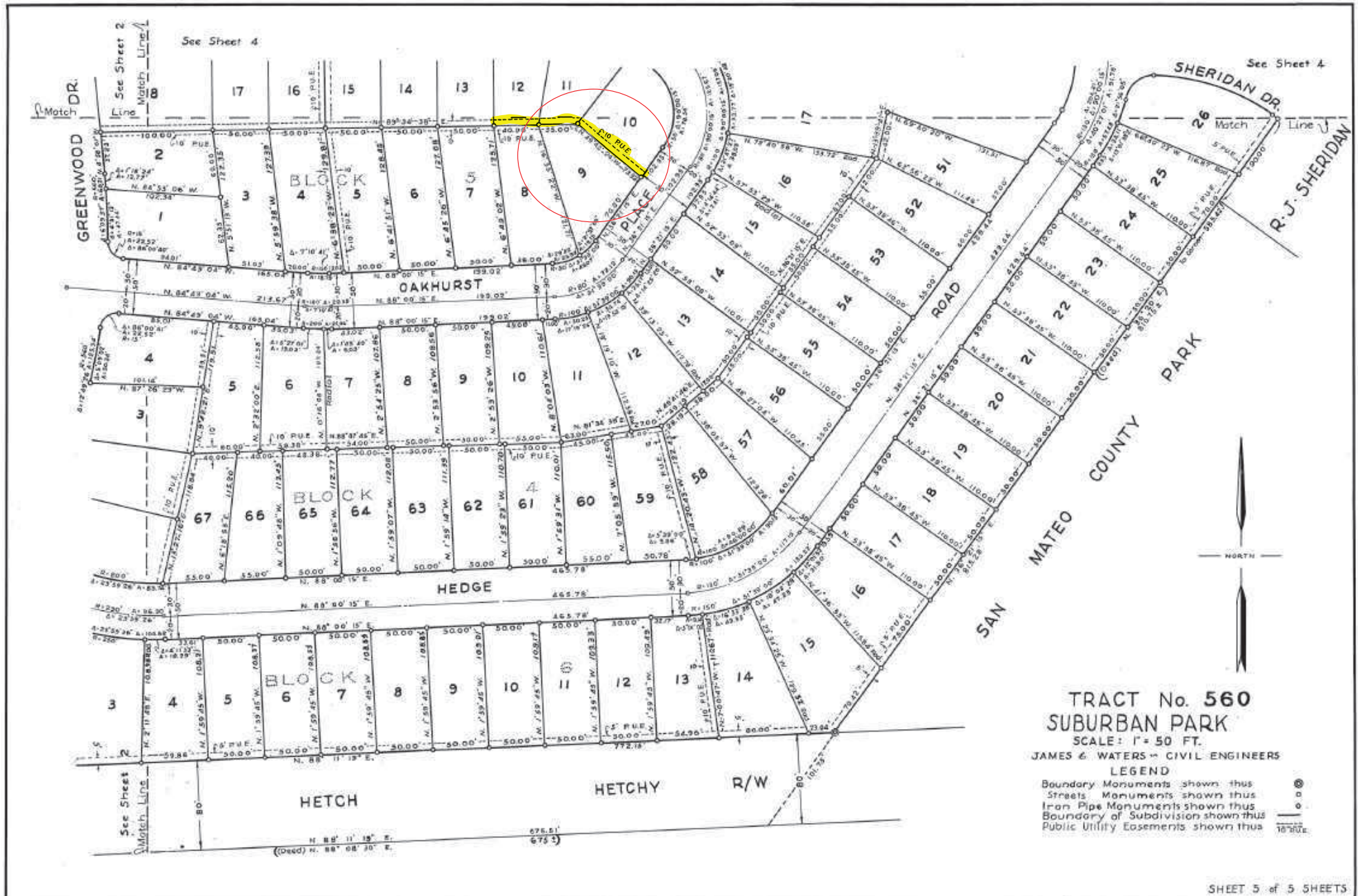


See Sheet 2

See Sheet 2

SHEET 3 of 5 SHEETS







STAFF REPORT

Planning Commission

Meeting Date:

7/25/2022

Staff Report Number:

22-042-PC

Study Session:

Provide Feedback on Objective Standards Relating to Senate Bill 9 – Two-Unit Housing Developments and Urban Lot Splits

Recommendation

Staff recommends that the Planning Commission review and provide feedback on potential Municipal Code amendments to Title 15 (Subdivisions) and Title 16 (Zoning) of the Menlo Park Municipal Code that would make City regulations consistent with applicable California law regarding urban lot splits and two-unit developments on single-family-zoned parcels.

Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback, with comments used to inform future review and consideration of Municipal Code amendments. The future Zoning Ordinance (Title 16) and Subdivision Ordinance (Title 15) amendments would ensure that the Municipal Code would be in compliance with relevant State regulations, specifically Senate Bill 9 (The California H.O.M.E Act). If the City does not have an ordinance in place relating to urban lot splits and two-unit developments when it receives a permit to subdivide a single-family-zoned parcel or develop a two-unit project, the local agency must accept the application and approve or disapprove the application ministerially without discretionary review pursuant to Government Code § 66411.7(a) and § 65852.21(a).

Background

Senate Bill 9 (SB9) was signed by the Governor in 2021 and became effective on January 1, 2022. The law adds sections § 65852.21, and § 66411.7 to the Government Code to allow for housing developments containing no more than two residential units within a single-family residential zone and urban lot splits, with some exceptions. Any existing municipal codes that do not meet the requirements of SB 9 are considered null and void. In the absence of local standards that are consistent with SB 9, local jurisdictions may only utilize the standards established in state law for the approval of SB 9 urban lot splits and two-unit developments.

In December 2021 the City Council voted affirmatively to adopt a resolution directing the City Manager and City Attorney to draft interim guidelines for the implementation of SB 9. In January 2022, staff published a set of guidelines providing interim development standards while staff developed an SB 9 ordinance. The guidelines established objective standards based on the minimum requirements enumerated in the text of SB9. In particular, the interim guidelines established a floor area limit (FAL) of 1,600 square feet on lots less than 5,000 square feet in area since the current Zoning Ordinance required the Planning Commission to use discretion to establish the FAL through a use permit. Other standards included a minimum parking requirement of one space per unit, minimum four-foot side and rear setbacks, and a maximum of four units, inclusive of ADUs, with a qualifying lot split, allowed on a single-family property.

In addition to the interim standards, the City Council directed staff to evaluate a requirement for one unit to be deed restricted to low or moderate income households to help achieve City Regional Housing Needs Allocation (RHNA) targets, and to publish the guidelines in Spanish. The City changed website platforms in early 2022, which allows users to select their preferred language, including Spanish, achieving this City Council directive.

In general, SB 9 is intended to increase the housing stock in urbanized areas where single-family zoning districts may have otherwise precluded higher density developments. SB 9 provides another strategy to address the housing affordability crisis. The urban lot split and two-unit development regulations would apply to all single-family zoning districts within the city, and would allow up to four primary dwelling units where one primary dwelling unit was previously allowed. This would be an allowed increase of one total dwelling unit over existing zoning regulations relating to accessory dwelling units (ADUs), where up to three dwelling units are allowed on a single-family-zoned property (one primary dwelling unit and up to two ADUs). The SB 9 regulations are intended to work in concert with existing ADU laws to allow flexibility in the size and type of housing units available in the city. However, per the allowances in the text of SB 9, the City may include a provision in the implementing ordinance that limits housing developments to four units on an existing single-family lot. Finally, similar to the City's regulations for ADUs, new units developed under the SB 9 regulations would not be permitted to be used as short term rentals (e.g. AirBnB), and any rental of a unit developed under SB 9 would be for a term longer than 30 days.

Analysis

The intent of the Planning Commission study session is to provide the Planning Commission the opportunity to receive community input, review the proposed development standards, and provide direction to staff on the standards relating to two-unit developments and urban lot splits. A draft ordinance will be brought back to the Planning Commission at a later date for review and recommendation to City Council.

Senate Bill 9 minimum requirements

Effective January 1, 2022, SB 9 added California Government Code § 66411.7 and California Government Code § 65852.21 to require local jurisdictions to allow subdivision of single-family zoned properties, otherwise known as urban lot splits, and to allow two-unit developments on each of the two new lots. The statute requires that these developments be reviewed ministerially, without any discretionary review, provided the proposed development and/or lot split complies with objective standards. SB 9 standards and requirements are summarize below.

Urban Lot Splits. State law imposes the following standards on the subdivision of a single-family-zoned property under SB 9:

1. The parcel map subdivides an existing parcel to create no more than two new parcels of approximately equal lot area, provided that one parcel shall not be smaller than 40 percent of the lot area of the original parcel proposed for subdivision;
2. Both newly created parcels are no smaller than 1,200 square feet, unless a smaller minimum lot size is established by the local jurisdiction;
3. The parcel being subdivided meets all the following requirements:
 - a. The parcel is located within a single-family residential zone;
 - b. The parcel subject to the proposed urban lot split is located within a city, the boundaries of which include some portion of either an urbanized area or urban cluster, as designated by the United States Census Bureau, or, for unincorporated areas, a legal parcel wholly within the boundaries of an urbanized area or urban cluster, as designated by the United States

Census Bureau;

- c. The parcel satisfies the requirements specified in subparagraphs (B) to (K), inclusive, of paragraph (6) of subdivision (a) of Section 65913.4, generally meaning that the parcel is **not** located within the following:
 - i. Either prime farmland or farmland of statewide importance;
 - ii. Wetlands;
 - iii. A very high fire hazard severity zone;
 - iv. A hazardous waste site;
 - v. A delineated earthquake fault zone;
 - vi. A special flood hazard area;
 - vii. A regulatory floodway;
 - viii. Lands identified for conservation in an adopted natural community conservation plan;
 - ix. Habitat for protected species identified as candidate, sensitive, or species of special status by state or federal agencies, fully protected species, or species protected by the federal Endangered Species Act of 1973; or
 - x. Lands under conservation easement.
- d. The proposed urban lot split would not require demolition or alteration of any of the following types of housing:
 - i. Housing that is subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of moderate, low, or very low income;
 - ii. Housing that is subject to any form of rent or price control through a public entity's valid exercise of its police power;
 - iii. A parcel or parcels on which an owner of residential real property has exercised the owner's rights under Chapter 12.75 (commencing with Section 7060) of Division 7 of Title 1 to withdraw accommodations from rent or lease within 15 years before the date that the development proponent submits an application; or
 - iv. Housing that has been occupied by a tenant in the last three years.
- e. The parcel is not located within a historic district or property included on the State Historic Resources Inventory, as defined in Section 5020.1 of the Public Resources Code, or within a site that is designated or listed as a city or county landmark or historic property or district pursuant to a city or county ordinance;
- f. The parcel has not been established through prior exercise of an urban lot split; and
- g. Neither the owner of the parcel being subdivided nor any person acting in concert with the owner has previously subdivided an adjacent parcel using an urban lot split.
- h. The City may not impose objective zoning standards, objective subdivision standards, and objective design standards that would have the effect of physically precluding the construction of up to two units or that would physically preclude either of the two units from being at least 800 square feet in floor area.

Finally, urban lot splits are intended to be initiated by individual property owners, not real estate developers, and SB 9 includes a requirement for the applicant to sign an affidavit stating that they intend to occupy one of the units as their primary residence for a minimum of three years.

Two-Unit Developments (also known as “urban duplexes.”). SB 9 also establishes the following minimum development standards for two-unit developments:

1. Floor area limit of at least 1,600 square feet (two 800-square-foot units);
2. Four-foot side and rear setbacks; and
3. No more than one required parking space per unit unless the parcel is located within one-half mile

walking distance of either a high-quality transit corridor, as defined in subdivision (b) of Section 21155 of the Public Resources Code, or a major transit stop, as defined in Section 21064.3 of the Public Resources Code, or there is a car share vehicle located within one block of the parcel.

4. The City may not impose objective zoning standards, objective subdivision standards, and objective design standards that would have the effect of physically precluding the construction of up to two units or that would physically preclude either of the two units from being at least 800 square feet in floor area.

Proposed Menlo Park standards for two-unit developments

Government Code § 65852.21 allows for local jurisdictions to impose objective design standards provided that in no case shall the standards physically preclude an applicant from constructing two dwelling units of at least 800 square feet, or in the case of an urban lot split, two 800-square-foot units on each of the two new lots. Staff has developed recommended standards intended to comply with the provisions of Government Code § 65852.21 while maintaining community character and incentivizing smaller, potentially more affordable units. Characteristics of the proposed standards are described in the following sections. Example development projects are included as Attachment A to demonstrate potential designs that comply with the proposed standards. The examples are intended to be illustrative, and do not include every possible site layout.

Lot dimensions

As mentioned above, SB 9 only establishes a minimum lot area, both in terms of overall lot area and a minimum proportion of the original lot size. Cities may impose additional standards on lot dimensions. Staff proposes the following additional standards:

1. Minimum lot width – 25 feet
2. Minimum 40 percent of original lot width
3. For panhandle lots - minimum panhandle width of 20 feet

This would allow properties to be split in a side-by-side manner without creating lots that are too narrow to feasibly construct new residences based on the minimum setbacks incorporated into SB 9. The proposed standards do not include a minimum lot depth, providing the flexibility to create new panhandle lots.

Examples 1A, 1B, 3A, and 3B illustrate lots that have been split down the middle, creating two properties with equal widths, while example 2A illustrates a panhandle lot. The Planning Division is coordinating with the Menlo Park Fire Protection District, Engineering Division, and Transportation Division to ensure that the panhandle width and driveway/access design meets the Subdivision Ordinance, parking stalls and driveway design guidelines, and the Fire District's access requirements. Changes to the recommended width and further design standards for the panhandle access may be incorporated into the future draft ordinance.

Setbacks and stepbacks

Under SB 9, local jurisdictions are required to allow new residences to be constructed with a four-foot rear and side setback. The recommended standards would allow for the first floor to be constructed at a four-foot side and rear setback, but would require a second-story "stepback" equal to the side and rear setback of the underlying zoning district. The minimum four-foot ground floor setback is required by state law; however, the Planning Commission may wish to provide feedback on whether utilizing the required side and rear setbacks of the underlying zoning district for the second floor is appropriate. The front setback in the underlying zoning district would be applicable to the developments, unless the front lot line of a new panhandle lot is the rear lot line of the front lot, in which case the recommended four-foot setbacks would be applicable. Table 1 details the proposed setback requirements in each single-family zoning district.

Table 1: Proposed Setback and Stepback Requirements

Zoning District	Front: First Floor (feet)	Front: Second Floor (feet)	Rear: First Floor (feet)	Rear: Second Floor (feet)	Side: First Floor (feet)	Side: Second Floor (feet)
R-1-U	20	20	4	20	4	10 percent of lot width (minimum five feet)
R-1-U (LM)	20	20	4	20	4	5 (or 3 feet with neighbor approval)
R-1-S	20	20	4	20	4	10
R-1-S (FG)	20	20	4	20	4	10
R-E-S	20	20	4	20	4	25 feet total with minimum 10 feet
R-E	20	20	4	20	4	30 feet total with minimum 10 feet

In order to provide flexibility in design, staff proposes to allow no setback or stepback requirements for “connected” structures at new interior property lines (zero lot line development), provided the structures meet applicable building and fire codes. Example developments 1A and 1B demonstrate potential zero lot line developments.

Floor area limit and maximum building coverage

Under current zoning regulations, single family lots with lot areas less than 5,000 square feet require a use permit in order for the Planning Commission to establish a floor area limit (FAL). Under SB 9, the City is not allowed to require discretionary review for new developments that comply with objective design standards and must establish those objective design standards, including a FAL. Additionally, the objective standards must not preclude the development of two dwelling units of at least 800 square feet, i.e. a minimum of 1,600 square feet per lot. It is anticipated that projects proposed under the new urban lot split regulations would result in lots less than 5,000 square feet in area, particularly in the R-1-U zoning district. Therefore, the recommended standards would establish a new FAL for lots less than 5,000 square feet.

When use permits have been required to establish the floor area limit on small lots, staff has historically provided applicants with the guidance that the maximum floor area limit staff generally supports would be 56 percent of the lot area, or a floor area ratio (FAR) of .56. This figure comes from the minimum base FAL for single-family zoning districts, where lots between 5,000 and 7,000 square feet are allowed a maximum FAL of 2,800 square feet (2,800 square feet/5,000 square feet = .56). The recommended standards would codify this .56 FAR to establish the maximum FAL for lots less than 5,000 square feet, provided that the maximum FAL would at no point be less than 1,600 square feet. New lots created by an urban lot split that are 5,000 square feet or greater in area would be subject to the maximum FAL applicable to the underlying zoning district. Additionally, in order to comply with state law, if an applicant proposes to maintain the existing residence, the maximum FAL would be the area of the existing house plus 800 square feet.

Similar to existing regulations in single-family zoning districts, maximum building coverage would be tiered depending on whether the development is one or two stories. The recommended building coverage limits are as follows:

1. One-story developments - equal to the maximum building coverage of the underlying zoning district or the calculated FAL plus 200 square feet, whichever is greater.
2. Two-story developments - 30 percent of the lot area or 1,000 square feet, whichever is greater.

Although these recommended building coverage limits could result in greater building coverage square footage than is currently allowed on single-family properties, they are designed to ensure that at a minimum, two 800-square foot units could be developed in either a one- or two-story design, compliant with state law, and to provide flexibility for non-floor-area structures such as covered porches and trellises. Table 2 illustrates sample FAL and maximum building coverage limits for potential lot sizes after lot splits. The Planning Commission should provide feedback on the recommended maximum floor area limit on lots smaller than 5,000 square feet in area.

Table 2: Example Lot Sizes, Floor Area Limits, and Building Coverage

Lot Area	Floor Area Limit (FAL)	Maximum Building Coverage (one-story development)	Maximum Building Coverage (two-story development)
2,500 sf	1,600 sf	1,800 sf	1,000 sf
3,500 sf	1,960 sf	2,160 sf	1,050 sf
5,000 sf	2,800 sf	3,000 sf	1,500 sf

Unit size

At a state level, the intent of SB 9 is to provide additional homeownership opportunities and provide more tools for cities to use to address the state-wide housing shortage and lack of affordable units. SB 9 allows up to two primary dwelling units per single-family lot, but does not limit the size of an individual unit. SB 9 does not prohibit cities from establishing a maximum unit size, as long as the size limit is not smaller than 800 square feet. In order to promote development of smaller, potentially more affordable units, the recommended standards would impose the following maximum unit sizes for new primary dwelling units:

1. For properties with a FAL of 2,000 square feet or less: The maximum unit size would be FAL minus 800 square feet. This ensures that two units of at least 800 square feet could be constructed.
2. For properties with a FAL of greater than 2,000 square feet: The maximum unit size would be 60 percent of the maximum FAL. This promotes two similarly-sized units.

A single primary unit would be allowed to utilize all of the allowable floor area on a lot if a use permit is granted by the Planning Commission to modify the objective standards.

Table 3 shows potential unit sizes on lots with varying floor area limits. Example developments 2A and 3A illustrate potential developments at the maximum unit sizes (60/40 unit size split), while examples 1A, 1B, and 3B illustrate potential developments with 50/50 split for unit sizes. The Planning Commission should consider whether a maximum unit size should be created, and if so, whether a two-unit development should have equally-sized units or if variation in the unit sizes should be allowed.

Table 3: Example Unit Sizes

Lot Size	FAL (sf)	50/50 Floor Area Split		Maximum Floor Area Split	
		Unit 1 (sf)	Unit 2 (sf)	Unit 1 (sf)	Unit 2 (sf)
2,500 sf	1,600	800	800	800*	800
3,500 sf	1,960	980	980	1,160*	800
5,000 sf	2,800	1,400	1,400	1,680**	1,120**

*Unit size split based on maximum size of FAL minus 800 square feet

**Unit sizes split based on maximum unit size of 60 percent FAL (60/40 floor area split)

Parking

Under current zoning regulations, a new primary dwelling unit requires two parking spaces, one of which must be covered in a garage or carport, and uncovered spaces may not be located in front or side setbacks, and may not be in tandem with required covered parking spaces. SB 9 states that local jurisdictions may only require up to one parking space per unit, but is silent on whether or not cities can require the parking spaces to be covered. Additionally, SB 9 states that cities cannot require parking when the parcel is located within one-half mile walking distance of either a high-quality transit corridor, as defined in subdivision (b) of Section 21155 of the Public Resources Code, or a major transit stop, as defined in Section 21064.3 of the Public Resources Code, or there is a car share vehicle located within one block of the parcel.

The recommended standards would establish a minimum parking rate of one space per unit, unless exempted by state law, and allow the parking space to be uncovered and located in the front and side setbacks. However, Planning Staff recommends that required parking spaces not be in tandem with other required parking spaces, consistent with the general parking access requirements of the Zoning Ordinance and adopted parking stalls and driveway design guidelines. If applicants wish to provide covered parking spaces, the covered parking space would be required to meet the parking stalls and driveway design guidelines minimum interior clear dimension requirement of 20 feet in depth by 10 feet in width, and the area would be counted towards the maximum FAL on the lot, consistent with the definition of floor area (Section 16.04.313).

Building massing

The maximum height for a project developed under the recommended regulations would be 28 feet, consistent with existing zoning regulations in single-family districts. However, staff proposes that the daylight plane requirements would not be dependent on whether the development is one or two stories. Rather, staff recommends that the daylight plane be taken from 12 feet, six inches above the required four-foot side setback line, and in at a 45-degree angle for both one- and two-story developments. Table 4 illustrates existing daylight plane regulations for different types of developments.

Table 4: Existing Daylight Plane Regulations (height above side setback line)

Type of development	One-story development	Two-story development
Single-family residence	12 feet, 6 inches	19 feet, 6 inches
Accessory buildings and structures	9 feet, 6 inches (3-foot setback)	N/A
ADUs	None	None

Additionally, staff recommends that a new rear daylight plane be established at 12 feet, six inches above the rear setback line, and in at a 45-degree angle, to help protect daylight access for neighbors to the rear. No daylight planes would be required for attached structures at newly-created interior lot lines. In most cases, the proposed daylight plane would require applicants to either step proposed second floors back

further than what is required, reduce the height of the proposed structures, and/or develop lots with single-story dwelling units. The Planning Commission may wish to provide feedback to City staff on the recommended daylight plane requirements.

Example developments 1A and 1B illustrate how the lowered daylight planes on small lots could result in zero lot line developments with the second-story massing centered at the middle of the property. Examples 2A, 3A, and 3B illustrate how the proposed daylight planes would likely result in greater second floor setbacks than the proposed setback requirements. Staff believes the recommended height and daylight plane regulations, in addition to the recommended required second-story setbacks, explained above, would provide an adequate building envelope for two 800-square-foot units, while reducing potential impacts to neighboring properties due to the reduced side and rear setbacks established in SB 9.

Privacy and architectural design

With the exception of a few regulations in the R-1-U (LM) (Single Family Urban Residential (Lorelei Manor)) zoning district, current zoning regulations in single-family districts do not include standards related to architectural characteristics of the residence or privacy not related to balconies. Architectural review and consideration of privacy impacts of new two-story, single-family homes has historically been reserved for the Planning Commission when a use permit is required. However, since new projects proposed under SB 9 that comply with the proposed objective development standards, including new two-story developments, would not be subject to Planning Commission review, the recommended standards would include regulations to address potential privacy concerns and design quality. The standards are based on comments that historically have been commonly made by the Planning Commission during public hearings and include the following:

1. Window material shall be wood, metal, or metal or fiberglass clad wood;
2. Windows with grids shall be simulated true divided lite with interior and exterior muntions with spacer bars between panes;
3. If stucco is proposed as siding material, the stucco shall be trowel smooth stucco texture or steel trowel smooth Santa Barbara texture;
4. Second floor window sills facing interior side or rear property lines shall be a minimum of 3 feet from the finished floor level;
5. Windows at stair landings facing interior lot lines shall have obscure glazing or sills at 5 feet or greater above the finished floor level of the landing. Permanent architectural screens may substitute for obscure glazing; and
6. Balconies shall comply with the existing balcony setback regulations in Chapter 16.60.

As mentioned above, The City may not impose objective zoning standards, objective subdivision standards, and objective design standards that would have the effect of physically precluding the construction of up to two units or that would physically preclude either of the two units from being at least 800 square feet in floor area. Thus where any of the above described standards would preclude two units from being at least 800 square feet in floor area each, the City will not apply such standard.

Affordability requirements

In order to require one or more unit/s created by the SB 9 regulations to be deed restricted to a below market rate (BMR) income level, an amendment to the BMR Housing Program is recommended. The BMR program currently requires either on-site BMR housing units and/or in-lieu payments for developments of five or more units, so a four-unit SB 9 development would not be subject to BMR requirements.

Currently, 10 percent of the onsite units are required to be offered at below market rate for developments

between five and 19 units, and 15 percent is required for developments of 20 or more units. Requiring one unit in an SB 9 development to be offered at below market rate would increase the BMR requirement to 50 percent for a two-unit development, 33 percent for three units, and 25 percent for four units. The City would need to study the effects of this increased BMR requirement on housing development.

Due to the complexities of a study on the effects of increased BMR requirements on housing production, and level of analysis required to make a recommendation on amendments to the BMR Housing Program, staff has not evaluated updating the BMR ordinance for this study session, which may be explored at a later time.

Conclusion

Staff believes the recommended standards would bring local regulations into consistency with the recent State law changes, incorporate local regulations to implement SB 9, and support the City's existing policies to continue to provide a mix of housing types to address local housing needs. The Planning Commission should consider the following when providing direction to staff:

- Are there any additional standards staff should consider including in the future ordinance?
- Are there changes to the recommended standards that should be evaluated?
- Do the recommended standards achieve the intent of SB 9 while imposing objective standards that are suitable to Menlo Park?

Staff is still evaluating the following items, and the Planning Commission should provide feedback for consideration:

- Minimum width for panhandles when panhandle lots are created;
- Affordability requirements

Impact on City Resources

This consistency update is being accommodated within the existing budgets of the Planning Division and City Attorney, and is not expected to otherwise affect City resources.

Environmental Review

A study session is not a project within the meaning of the California Environmental Quality Act (CEQA).

Public Notice

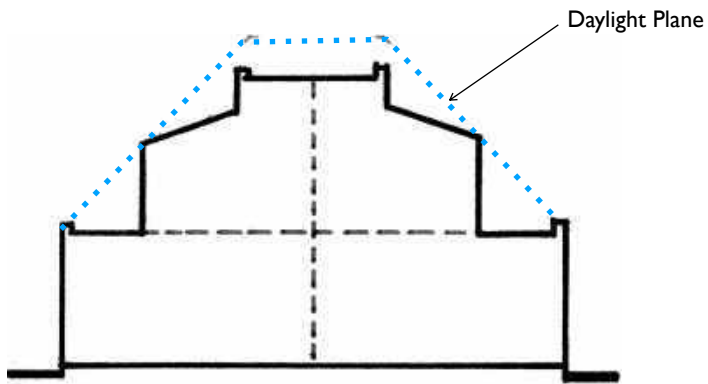
Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper.

Attachments

A. Example Development Projects (1A – 3B)

Report prepared by:
Chris Turner, Assistant Planner

Report reviewed by:
Corinna Sandmeier, Acting Principal Planner
Kyle Perata, Acting Planning Manager
Nira Doherty, City Attorney



DATA

Initial Lot: 5,000 SF
FAL: 2,800 SF
Underlying Zone: R-I-U

Lot A: 2,500 SF
FAL: 1,600 SF

Unit 1: 800 SF
Unit 2: 800 SF

Building Coverage: 956 SF
(1,000 SF Maximum)

Parking: 2 Uncovered

Lot B: 2,500 SF
FAL: 1,600 SF

Unit 3: 800 SF
Unit 4: 800 SF

Building Coverage: 956 SF
(1,000 SF Maximum)

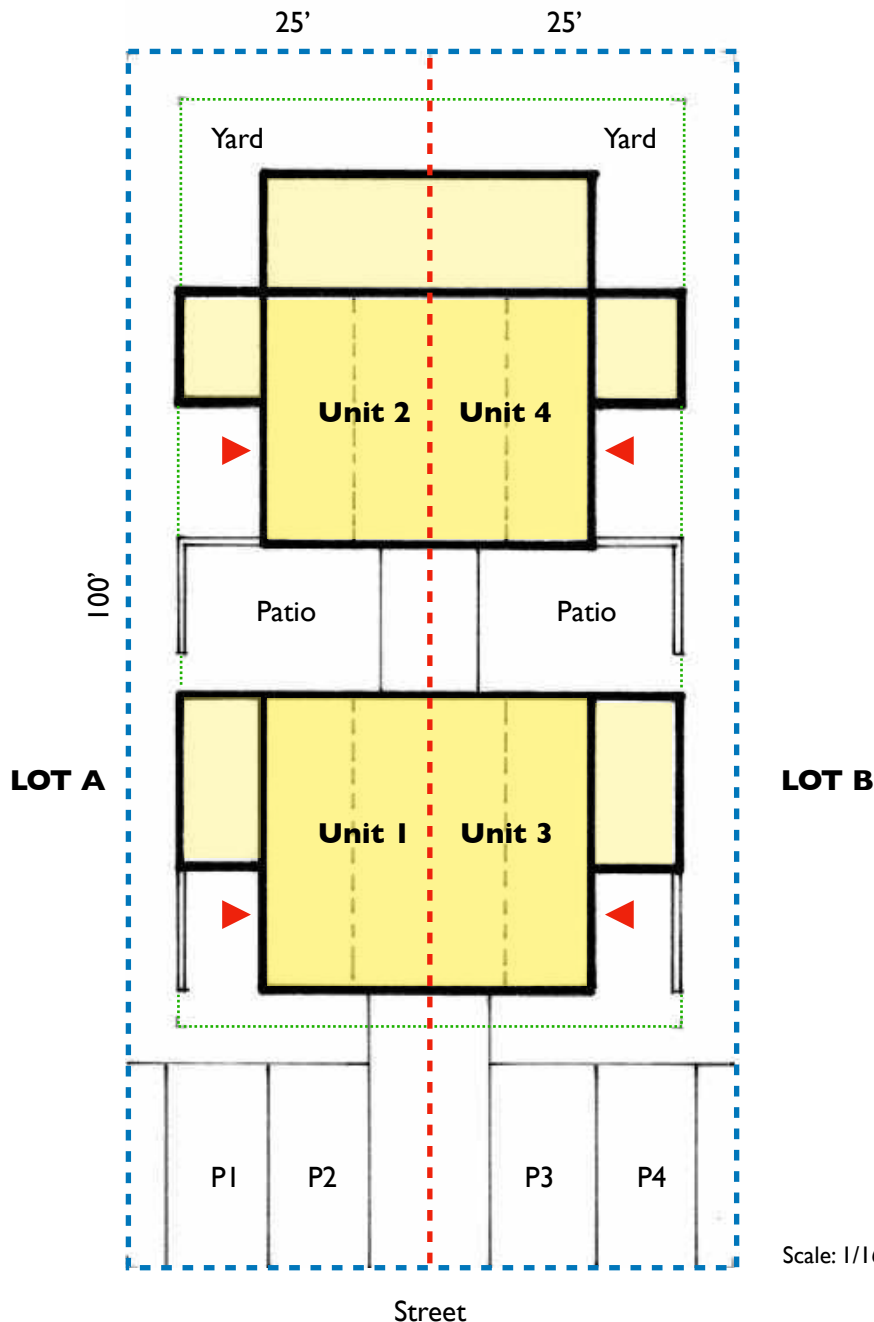
Parking: 2 Uncovered

DESIGN NOTES:

1. Side daylight plane constrains upper floor location.
2. Rear second-floor setback/step-back constrains upper floor location.
3. Narrow lot not practical for detached structures nor panhandle lot subdivision.

GRAPHIC NOTES:

1. Existing lot lines blue, SB9 new lot line red.
2. Setback lines green (4' side, rear, 20' front); Second floor setback/step-back lines not shown.
3. Two-story forms shown with darker yellow color.
4. Dashed lines at upper story suggests possible roof form.

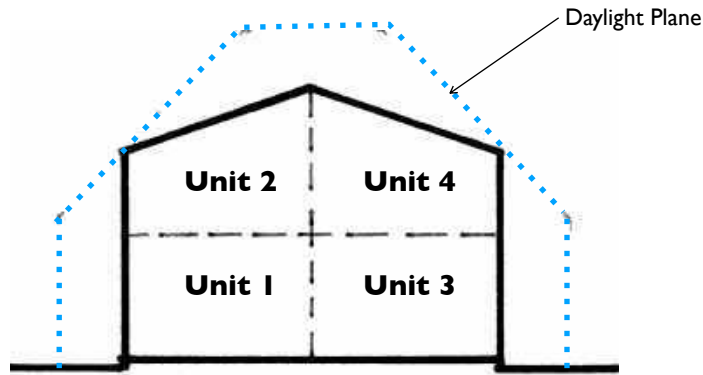


Scale: 1/16 inch = 1 foot

EXAMPLE 1A — 50 x 100 Lot

Side-by-Side Lot Split with Connected Structures (2-Story Units)

Menlo Park SB-9 — Site Development Examples



DATA

Initial Lot: 5,000 SF
FAL: 2,800 SF
Underlying Zone: R-I-U

Lot A: 2,500 SF
FAL: 1,600 SF

Unit 1: 800 SF
Unit 2: 800 SF

Building Coverage: 1,000 SF
(1,000 SF Maximum)

Parking: 2 Uncovered

Lot B: 2,500 SF
FAL: 1,600 SF

Unit 3: 800 SF
Unit 4: 800 SF

Building Coverage: 1,000 SF
(1,000 SF Maximum)

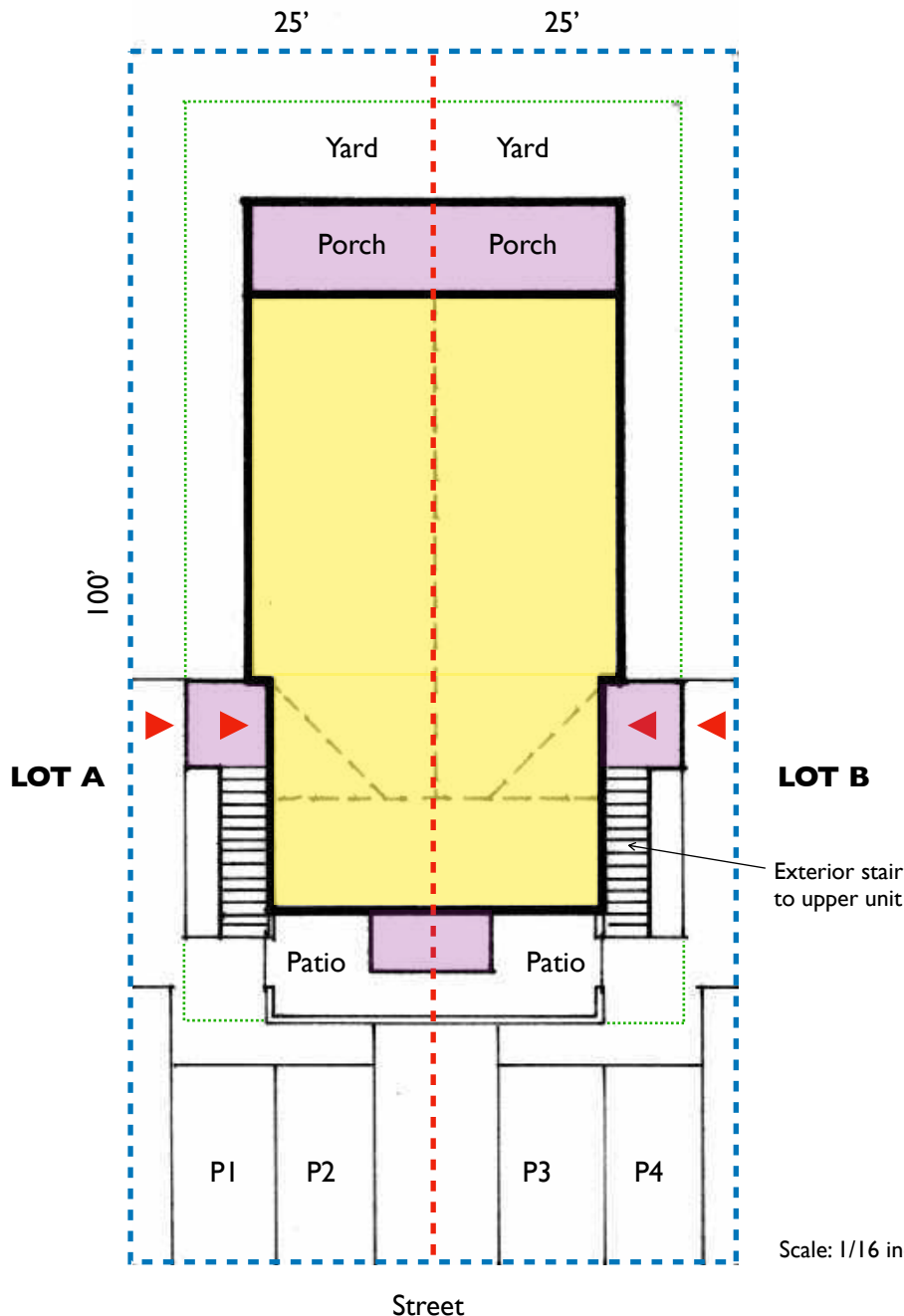
Parking: 2 Uncovered

DESIGN NOTES:

1. Side daylight plane constrains upper floor location.
2. Rear second-floor setback/step-back constrains upper floor location.
3. Narrow lot not practical for detached structures nor panhandle lot subdivision.

GRAPHIC NOTES:

1. Existing lot lines blue, SB9 new lot line red.
2. Setback lines green (4' side, rear, 20' front); Second floor setback/step-back lines not shown.
3. Two-story forms shown with darker yellow color.
4. Porches, entry forms, or balconies shown plum color.
5. Dashed lines at upper story suggests possible roof form.



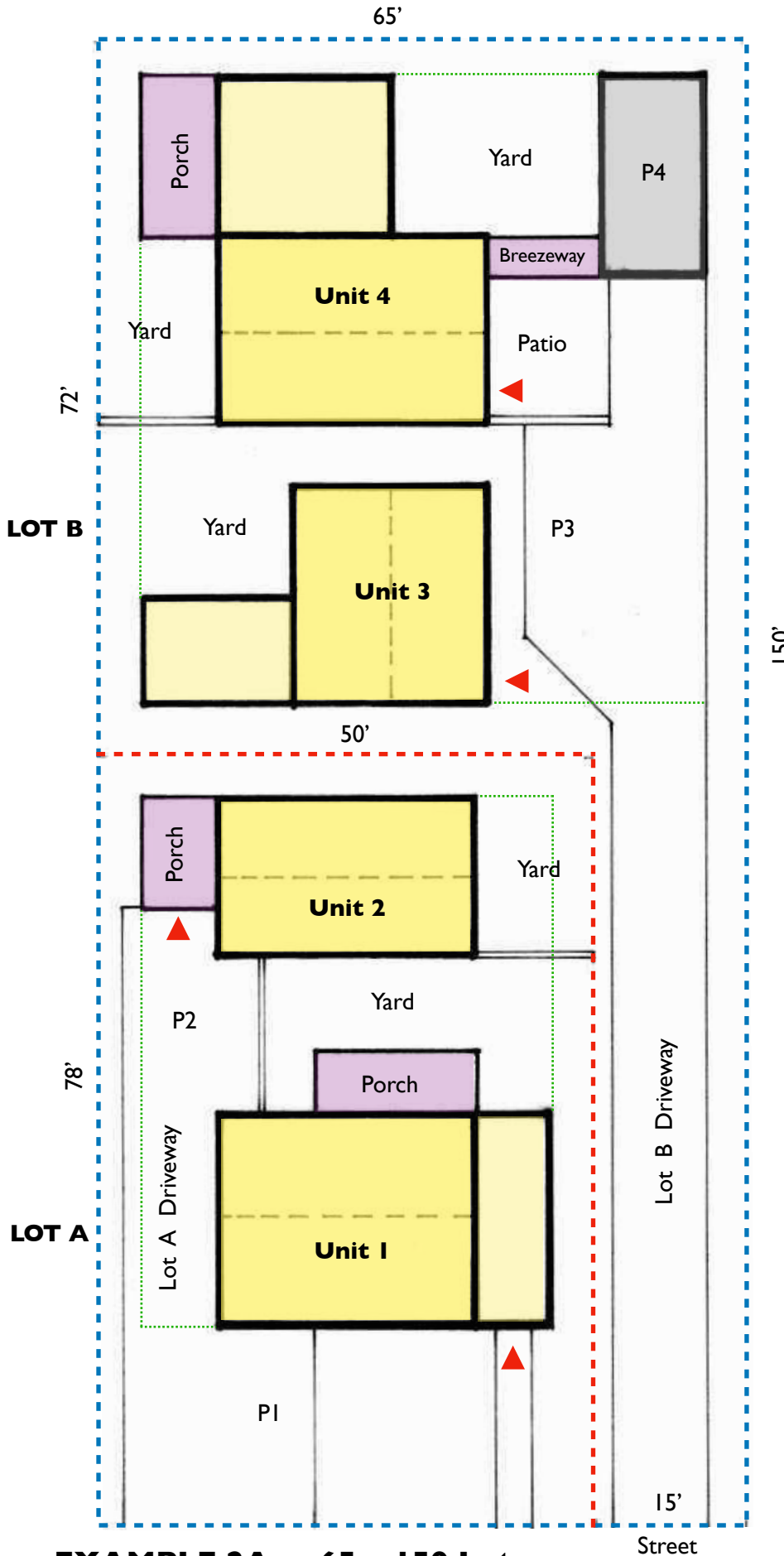
Scale: 1/16 inch = 1 foot

EXAMPLE 1B — 50 x 100 Lot

Side-by-Side Lot Split with Connected Structures (Upper/Lower Flats)

A2

Menlo Park SB-9 — Site Development Examples



DATA

Initial Lot: 9,750 SF
FAL: 3,487 SF
Underlying Zone: R-I-U

Lot A: 3,900 SF (40%)
FAL: 2,184 SF

Unit 1: 1,310 SF (60%)
Unit 2: 874 SF (40%)

Building Coverage: 1,365 SF
(1,365 SF Maximum)

Parking: 2 Uncovered
(or 1 Garage at Unit 3)

Lot B: 5,850 SF (4,680 Net)
FAL: 2,621 SF

Unit 3: 1,049 SF (40%)
Unit 4: 1,572 SF (60%)

Building Coverage: 1,822 SF
(2,048 SF Maximum)

Parking: 1 Uncovered,
1 Garage (Unit 4)

NOTES:

1. Side daylight plane constrains upper floor location.
2. Rear second-floor setback/step-back constrains upper floor location.
3. 60/40 lot split used to maximize efficiency.
4. FAL on each split lot 60% maximum allowed for primary house.

GRAPHIC NOTES:

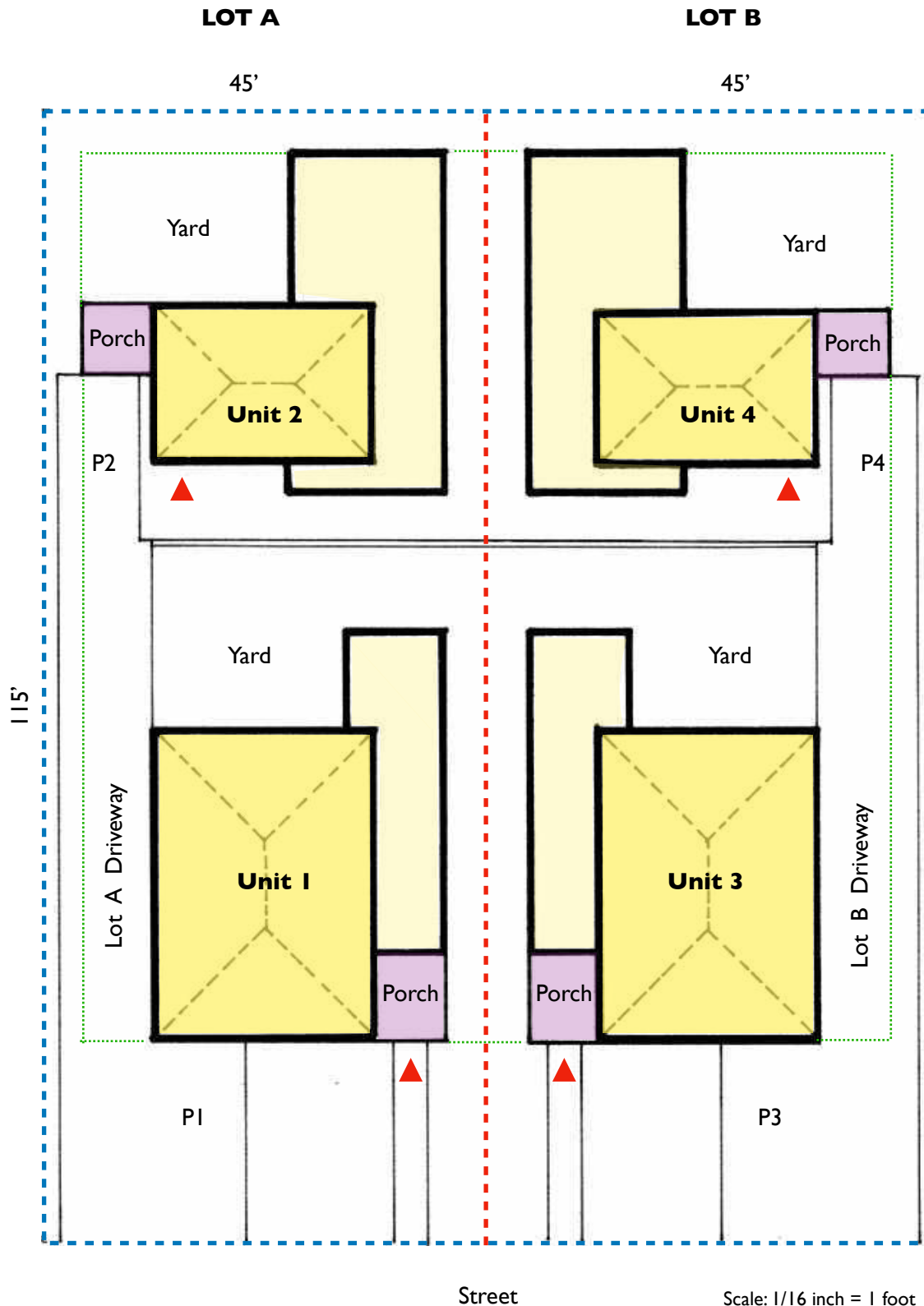
1. Existing lot lines blue, SB9 new lot lines red.
2. Setback lines green (4' side, rear, 20' front); Second floor setback/step-back lines not shown.
3. Two-story forms shown with darker yellow color.
4. Porches and breezeway shown plum color.
5. Garage shown grey color.
6. Dashed line at upper story suggests possible roof form.

Scale: 1/16 inch = 1 foot

EXAMPLE 2A — 65 x 150 Lot

Parhandle Lot Split with Detached 2-Story Units

Menlo Park SB-9 — Site Development Examples



DATA

Initial Lot: 10,350 SF
 FAL: 3,637 SF
 Underlying Zone: R-1-S

Lot A: 5,175 SF
FAL: 2,800 SF

Unit 1: 1,680 SF (60%)
Unit 2: 1,120 SF (40%)

Building Coverage: 1,869 SF
(2,021 SF Maximum)

Parking: 2 Uncovered

Lot B: 5,175 SF
FAL: 2,800 SF

Unit 3: 1,680 SF (60%)
Unit 4: 1,120 SF (40%)

Building Coverage: 1,869 SF
(2,021 SF Maximum)

Parking: 2 Uncovered

NOTES:

1. Side daylight plane constrains upper floor location.
2. Rear second-floor setback/step-back constrains upper floor location.
3. FAL on each split slot 60% maximum allowed for primary house.

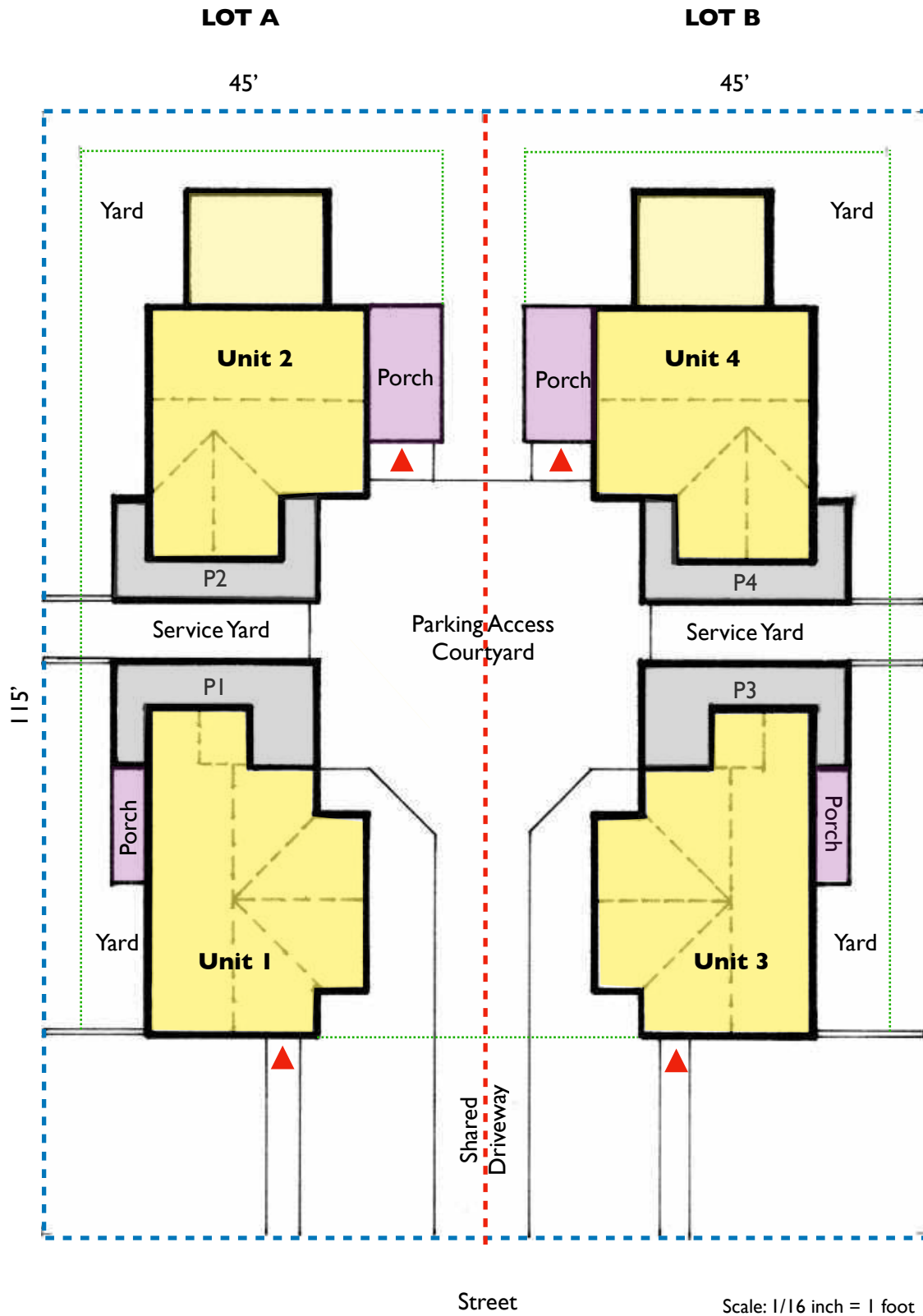
GRAPHIC NOTES:

1. Existing lot lines blue, SB9 new lot line red.
2. Setback lines green (4' side, rear, 20' front); Second floor setback/step-back lines not shown.
3. Two-story forms shown with darker yellow color.
4. Porches/entry forms shown plum color.
5. Dashed lines at upper story suggests possible roof form.

EXAMPLE 3A — 90 x 115 Lot

Side-by-Side Lot Split with Detached 2-Story Units

Menlo Park SB-9 — Site Development Examples



DATA

Initial Lot: 10,350 SF
FAL: 3,637 SF
Underlying Zone: R-I-S

Lot A: 5,175 SF
FAL: 2,800 SF

Unit 1: 1,400 SF
Unit 2: 1,400 SF

Building Coverage: 1,924 SF
(2,021 SF Maximum)

Parking: 2 Garage

Lot B: 5,175 SF
FAL: 2,800 SF

Unit 3: 1,400 SF (60%)
Unit 4: 1,400 SF (40%)

Building Coverage: 1,924 SF
(2,021 SF Maximum)

Parking: 2 Garage

NOTES:

1. Side daylight plane constrains upper floor location.
2. Rear second-floor setback/step-back constrains upper floor location.
3. Shared access easement at driveway and parking access courtyard.
4. Units 1 and 3 have porch at first level facing street with second floor above.

GRAPHIC NOTES:

1. Existing lot lines blue, SB9 new lot line red.
2. Setback lines green (4' side, rear, 20' front); Second floor setback/step-back lines not shown.
3. Two-story forms shown with darker yellow color.
4. Porches/entry forms shown plum color.
5. Dashed lines at upper story suggests possible roof form.

EXAMPLE 3B — 90 x 115 Lot

Side-by-Side Lot Split Detached 'Bungalow Court' 2-Story Units

Additional Comments Received after Staff Report Publication

Turner, Christopher R

From: Sandmeier, Corinna D
Sent: Monday, July 25, 2022 5:10 PM
To: Turner, Christopher R
Subject: FW: [Sent to Planning]Daylight Plane Reduction Supports the CAP



Corinna D. Sandmeier
Acting Principal Planner
City Hall - 1st Floor
701 Laurel St.
tel 650-330-6726
menlopark.org

From: gabrielle johnck [mailto:gabriellejohnck@gmail.com]
Sent: Monday, July 25, 2022 4:39 PM
To: PlanningDept <PlanningDept@menlopark.org>
Subject: [Sent to Planning]Daylight Plane Reduction Supports the CAP

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

For tonight's discussion re SB9 please consider a lowering of the daylight plane from 45 degrees to 30 degrees on all dwellings permitted in lot-split scenarios. The configuration of dwellings on a parcel allowed by SB9 could negatively impact the adjacent neighbors.

The new setbacks and bunching of units will create a loss of solar access. The City's Climate Action Plan encourages property owners to install solar panels to power heat pumps and electric appliances.

A 30 degree daylight plane would support the goals of the Climate Action Plan plus create additional benefits for privacy and massing.

Brielle Johnck
Steve Schmidt

Turner, Christopher R

From: Sandmeier, Corinna D
Sent: Monday, July 25, 2022 11:15 AM
To: Turner, Christopher R
Subject: FW: [Sent to Planning]Comment #1 on Study Session for SB 9 / 25 July 2022



Corinna D. Sandmeier
Acting Principal Planner
City Hall - 1st Floor
701 Laurel St.
tel 650-330-6726
menlopark.org

From: eduardo pelegri-llopart [mailto:epelegrillopart@gmail.com]
Sent: Monday, July 25, 2022 10:54 AM
To: PlanningDept <PlanningDept@menlopark.org>
Subject: [Sent to Planning]Comment #1 on Study Session for SB 9 / 25 July 2022

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Thanks for the study session. I will try to attend this afternoon but I'm sending a few comments ahead of it.

Comment #1

What is the impact, if any, of SB9 and our new regulations on Heritage Trees? Hopefully none; we want to keep trees for multiple reasons.

Thanks

- Eduardo Pelegri-Llopart, Gilbert Avenue, The Willows.

Turner, Christopher R

From: Sandmeier, Corinna D
Sent: Monday, July 25, 2022 11:16 AM
To: Turner, Christopher R
Subject: FW: [Sent to Planning]Comment #2 on Study Session for SB 9 / 25 July 2022



Corinna D. Sandmeier
Acting Principal Planner
City Hall - 1st Floor
701 Laurel St.
tel 650-330-6726
menlopark.org

From: eduardo pelegri-llopart [mailto:epelegrillopart@gmail.com]
Sent: Monday, July 25, 2022 10:54 AM
To: PlanningDept <PlanningDept@menlopark.org>
Subject: [Sent to Planning]Comment #2 on Study Session for SB 9 / 25 July 2022

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Thanks for the study session. I will try to attend this afternoon but I'm sending a few comments ahead of it.

Comment #2

In page #4 of the reports 22-042-PC, under "Proposed MP Standards for two-unit developments", and under "Lot Dimensions", bullet #2 says:

"2. Minimum 40 percent of original lot width"

The sentence can be made more clear with a few extra words. Something like:

"2. None of the resulting lots can have width less than 40% of the original lot width"

Thanks,

- Eduardo Pelegri-Llopart, Gilbert Avenue, The Willows.

Turner, Christopher R

From: Sandmeier, Corinna D
Sent: Monday, July 25, 2022 11:16 AM
To: Turner, Christopher R
Subject: FW: [Sent to Planning]Comment #3 on Study Session for SB 9 / 25 July 2022



Corinna D. Sandmeier
Acting Principal Planner
City Hall - 1st Floor
701 Laurel St.
tel 650-330-6726
menlopark.org

From: eduardo pelegri-llopart [mailto:epelegrillopart@gmail.com]
Sent: Monday, July 25, 2022 10:54 AM
To: PlanningDept <PlanningDept@menlopark.org>
Subject: [Sent to Planning]Comment #3 on Study Session for SB 9 / 25 July 2022

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Thanks for the study session. I will try to attend this afternoon but I'm sending a few comments ahead of it.

Comment #3

In page #7 of the reports 22-042-PC, I have a comment roughly under "Building Massing". I've noticed at least one ADU in The Willows that is one story but uses a Loft-arrangement to place a sleeping area within the ADU taking advantage of the allowed height of the 1-story ADU. This sleeping area essentially works as a second story and has windows which raise privacy concerns. I've not looked at the setback regulations but I'd like the new regulations to clarify this case.

Thanks,

- Eduardo Pelegri-Llopart, Gilbert Avenue, The Willows.

Turner, Christopher R

From: Sandmeier, Corinna D
Sent: Monday, July 25, 2022 11:17 AM
To: Turner, Christopher R
Subject: FW: [Sent to Planning]Comment #4 on Study Session for SB 9 / 25 July 2022



Corinna D. Sandmeier
Acting Principal Planner
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701 Laurel St.
tel 650-330-6726
menlopark.org

From: eduardo pelegri-llopart [mailto:epelegrillopart@gmail.com]
Sent: Monday, July 25, 2022 10:54 AM
To: PlanningDept <PlanningDept@menlopark.org>
Subject: [Sent to Planning]Comment #4 on Study Session for SB 9 / 25 July 2022

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Thanks for the study session. I will try to attend this afternoon but I'm sending a few comments ahead of it.

Comment #4

Attachement A (Examples 1A, 1B, 2A,, 3A and 3B) of the report 22-042-PC, are very useful. I'd encourage expanding a bit on it.

* Add a cross section along the "long dimension" of the units. E.g. in 1A, add one showing how the Daylight Plane works for the stepback/setback of the back of the lot.

* Perhaps add additional measured distances? Or perhaps just ticks (e.g. in a 25' mark in the line at 5', 10', 15', 20' so it is easier to see the 20' and 4' and other setback.

Thanks

- Eduardo Pelegri-Llopart, Gilbert Avenue, The Willows.

Turner, Christopher R

From: Sandmeier, Corinna D
Sent: Monday, July 25, 2022 5:08 PM
To: Turner, Christopher R
Subject: FW: [Sent to Planning]Study Session regarding SB9 - some questions

Corinna D. Sandmeier
Acting Principal Planner
City Hall - 1st Floor
701 Laurel St.
tel 650-330-6726
menlopark.org

-----Original Message-----

From: pattilfry@gmail.com [mailto:pattilfry@gmail.com]
Sent: Monday, July 25, 2022 4:53 PM
To: PlanningDept <PlanningDept@menlopark.org>
Subject: [Sent to Planning]Study Session regarding SB9 - some questions

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Planning Commissioners -

With apologies for this late submission (I only recently heard about this agenda item), I encourage you to explicitly discuss the following questions:

CRITERIA FOR DECIDING WHICH OBJECTIVE STANDARDS TO ADOPT — Does it increase the number of, and affordability of, new units (the state's goal)?

Does it exemplify leading climate change practices?

Does it minimize negative impacts on current residents?

Does it perpetuate Menlo Park's standing as a Tree City?

DAYLIGHT PLANE

Why not adopt a daylight plane that supports active solar devices (not just existing ones)? Needs to be an angle of 30 degrees, not 45 degrees and apply to side and rear setbacks. The current daylight plane applies to side and rear setbacks. Why not modify that as suggested, rather than have one that applies only to the rear?

FAL

Why increase the total allowed FAL on properties with a current FAL of 3,200 SF or more?

Increasing FAL in such cases makes the resulting units more expensive and brings more impacts.

SETBACKS

Why not adopt incentives for proposed units - even 1 story units - to be built farther away than 4' from the current side and rear property lines?

Examples of incentives:

- 2nd story allowed only if the unit is built within current setbacks [might need to be sliding scale depending on lot size]

- unit may be larger than the minimum 800 SF if built within current setbacks
- basement allowed only if project is within current setbacks

ENCROACHMENTS

Why allow any within the minimum 4' setback?

PUBLIC PROCESS

How will the City Council weigh in on the momentous change to Menlo Park's residential zoning? What opportunities will the public have to engage?

Thanks for your consideration.

Patti Fry
Former Planning Commissioner