



REGULAR MEETING AGENDA

Date: 8/10/2026
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

How to participate in the meeting

- Access the live meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:
zoom.us/join – Meeting ID# 846 9472 6242
- Access the meeting real-time via telephone (listen only mode) at:
(669) 900-6833
Regular Meeting ID # 846 9472 6242
Press *9 to raise hand to speak
- Submit a written comment online up to 1-hour before the meeting start time:
planning.commission@menlopark.gov*
Please include the agenda item number related to your comment.

*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

Subject to change: The format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the city website menlopark.gov. The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information (menlopark.gov/agendas).

Regular Meeting

- A. Call To Order**
- B. Roll Call**
- C. Reports and Announcements**
- D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The

Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the July 27, 2026 Planning Commission meeting ([Attachment](#))

F. Public Hearing Item

- F1. Use Permit Revision/Eva Sabala/470 Santa Rita Ave.:
Consider and adopt a resolution approving a use permit revision for an addition to an existing nonconforming single-story, single-family residence in the R-1-S (Single Family Suburban Residential) zoning district. The original use permit was approved in 2010, a use permit revision was approved in 2013, and in 2014 the Planning Commission approved a second use permit revision and variance. Determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. ([Staff report #26-034-PC](#))
- F2. Use Permit and Variance/Roi Omer/949 Lee Dr.:
Consider and adopt a resolution approving a use permit to demolish an existing one-story, single-family residence and construct a new two-story residence and detached garage on a substandard lot with regard to minimum lot depth and area in the R-1-U (Single Family Urban Residential) zoning district. The applicant is requesting a variance from the Zoning Ordinance to reduce the rear setback to 10 feet where 20 feet is required. The applicant is also requesting a variance from the Subdivision Ordinance to reduce the Subdivision Ordinance (Municipal Code Title 15) front setback from approximately 25 feet, three inches to approximately 23 feet, nine inches. The Subdivision Ordinance Variance will be reviewed and acted on by City Council at a later date. Determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. ([Staff report #26-035-PC](#))

G. Informational Items

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: August 24, 2026
 - Regular Meeting: September 14, 2026

H. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or before, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.gov. Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Cal. Gov. Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the city website at menlopark.gov/agendas and can receive email notifications of agenda postings by subscribing at menlopark.gov/subscribe. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 8/5/2026)



REGULAR MEETING DRAFT MINUTES

Date: 7/27/2026
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

A. Call To Order

Vice Chair Katie Behroozi called the meeting to order at 7:03 p.m.

B. Roll Call

Present: Ross Silverstein (Chair, remote), Katie Behroozi (Vice Chair), Andrew Ehrich, Katie Ferrick, Nancy Larocca Hedley, Jennifer Schindler, Misha Silin

Staff: Matthew Ball, Assistant Planner; Matthew Pruter, Associate Planner; Brian Toy, Associate Planner; Corinna Sandmeier, Principal Planner

C. Reports and Announcements

Principal Planner Sandmeier stated that she had no reports or announcements.

D. Public Comment

Under "Public Comment," the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

Vice Chair Behroozi opened public comment and closed it as no persons requested to speak.

E. Consent Calendar

E1. Approval of minutes from the July 13, 2026 Planning Commission meeting (Attachment)

Vice Chair Behroozi opened public comment and closed it as no persons requested to speak.

ACTION: Motion and second (Schindler/Hedley) to approve the item; passes 6-0, with Commissioner Silin abstaining.

F. Public Hearing Item

- F1. Use Permit Revision and Architectural Control Permit Revision/The Sobrato Organization/123 Independence Dr. (formerly 119-127 Independence Dr. and 1205 Chrysler Dr.) and 138 Constitution Dr. (formerly 130 Constitution Dr.):
Consider and adopt a resolution approving use permit and architectural control permit revisions for a previously approved bonus level development project with 432 multi-family dwelling units, comprised of 316 rental units and approximately 2,000 square feet of commercial space within one five-story apartment building and 116 for-sale townhome units across 22 buildings. The proposed revisions include changes to the development phasing of the apartment building and townhome project components, and the phasing and design of a temporary publicly accessible paseo through the townhome site to accommodate pedestrian and emergency vehicle access until the future townhome component is developed. The project site is located in the R-MU-B (Residential Mixed Use, Bonus) zoning district. Determine that these actions are consistent with the previously certified project Final Environmental Impact Report. (Staff report #26-032-PC)

Planner Pruter gave a presentation and introduced Caroline Layden from the applicant team, who provided introductory remarks and an overview of the project.

Vice Chair Behroozi opened the public hearing.

Public comment:

- Dawn Aveggio, expressed concerns about construction-related impacts, project phasing, and the vacant site conditions.

Vice Chair Behroozi closed the public hearing.

The Commission and staff discussed the proposed paseo and townhome components of the project, project phasing and timing, potential economic impacts, and how long a project site may remain vacant. The discussion also addressed the City's code enforcement process and the expectation that the developer will pursue required permits, which are subject to expiration if not completed on time.

The applicant responded to the Commission by explaining the reasons for their project modifications and clarifying how economic conditions stalled their project. The applicant said they would provide direct contact information for the public commenter in case any further construction impacts their business operations.

ACTION: Motion and second (Schindler/Ferrick) to adopt a resolution approving the item as submitted; passes 7-0.

G. Regular Business Item

- G1. Architectural Control Revision/Samantha Nowlin/1540 El Camino Real:
Consider and adopt a resolution to approve an architectural control permit revision to make exterior improvements to an existing building at 1540 El Camino Real in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The modifications would include the installation of a walk-up ATM for a proposed Mechanics Bank surrounded by new dark gray cladding, new exterior light fixtures, and the replacement of a small portion of landscaping with concrete to provide an accessible approach to the proposed ATM within the front setback area. The modifications would not affect the gross floor area. Determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. (Staff report #26-033-PC)

Planner Toy said no comments had been received after publication of the staff report.

Project designer, Allison Louret, provided a brief project summary.

Vice Chair Behroozi opened the public hearing and closed it as no persons requested to speak.

The applicant responded to questions from Commissioner Silin regarding potential pedestrian-cyclist conflicts due to the ATM location adjacent to the sidewalk.

ACTION: Motion and second (Ehrich/Hedley) to adopt a resolution approving the item as submitted; passes 6-1, with Commissioner Silin opposed.

H. Informational Items

- H1. Future Planning Commission Meeting Schedule

- Regular Meeting: August 10, 2026

Planner Sandmeier said two items are on the agenda for August 10th, a use permit revision for a single-family home and use permit for another single family home that includes a variance.

- Regular Meeting: August 24, 2026

Planner Sandmeier said the agenda for August 24th is not yet finalized.

I. Adjournment

Vice Chair Behroozi adjourned the meeting at 8:26 p.m.

Staff Liaison: Corinna Sandmeier, Principal Planner

Recording Secretary: Matthew Ball



STAFF REPORT

Planning Commission

Meeting Date:

8/10/2026

Staff Report Number:

26-034-PC

Public Hearing:

Consider and adopt a resolution to approve a use permit revision for an addition to an existing nonconforming single-story, single-family residence in the R-1-S (Single Family Suburban Residential) zoning district, at 470 Santa Rita Ave. The original use permit was approved in 2010, a use permit revision was approved in 2013, and in 2014 the Planning Commission approved a second use permit revision and variance. Determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities.

Recommendation

Staff recommends that the Planning Commission adopt a resolution approving a use permit revision for an addition to an existing nonconforming single-story, single-family residence in the R-1-S (Single Family Suburban Residential) zoning district, at 470 Santa Rita Ave. The original use permit was approved in 2010, a use permit revision was approved in 2013, and in 2014 the Planning Commission approved a second use permit revision and variance. The draft resolution, including recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required findings can be made for the proposal.

Background

Site location

The subject site is a corner parcel located at the intersection of Middle Ave. and Santa Rita Ave. in the West Menlo neighborhood. Residences along Santa Rita Ave. are a mixture of single-story and two-story homes of varying architectural styles, with newer developments generally containing two-story designs. Other single-family residences in the R-1-S zoning district surround the parcel. A location map is included as Attachment B.

Previous Planning Commission action

On Sept. 20, 2010, the Planning Commission approved a use permit request for a proposal to remodel

and expand the existing nonconforming single-story, single-family residence that exceeded 75% of the replacement value of the existing non-conforming residence. The project was completed in 2011, and the property was subsequently sold to new owners. On Dec. 9, 2013, the Planning Commission approved a use permit revision for the addition of a formal dining room as well as to reconfigure the primary bathroom and guest bedroom. The value of the proposed scope of work at that time was below the 75% threshold; however, the proposal was a modification to the previously approved project, and therefore, a use permit revision was required. On April 21, 2014, the Planning Commission approved a variance to fill in an existing recessed area along the street-side façade of the existing structure and a use permit revision to modify the 2013 use permit approval.

Analysis

Project description

The applicant is proposing to add a 246-square-foot, single-story addition on the street side of the residence to expand the existing approximately 3,129-square-foot five-bedroom, three- and one-half bathroom house. The residence has a nonconforming street-side setback, at ten feet one inch, where a minimum of twelve feet is required. The proposed residence would be an approximately 3,375 square-foot residence containing five bedrooms and four- and one-half bathrooms. The existing attached garage is proposed to remain.

The proposal includes a first-story addition to expand the size of bedroom #1 and add a bathroom at the front on the street side of the residence. No work is proposed for the rest of the home. The proposed scope of work equals approximately 11% of the replacement value of the existing home, so a use permit is not required to exceed the 75% replacement value threshold. However, a use permit revision is required to revise the previously approve use permit.

With the exception of the existing nonconforming side setback, the proposed project would meet all Zoning Ordinance requirements for setbacks, lot coverage, floor area limit (FAL), daylight plane, and height.

Currently, the hedge along portions of the front setback and within the line of site triangle at the intersection of Middle Ave. and Santa Rita Ave. exceeds the maximum permitted four-foot height within the front setback and the maximum permitted three-foot height within the line of site triangle. Recommended condition of approval 2a has been added requiring that the hedges be trimmed and maintained not to exceed the permitted maximum heights.

The project plans and the applicant's project description letter are included as Attachment A, Exhibits A and B, respectively. A data table summarizing parcel and project attributes is included as Attachment C.

Design and materials

As described in the project description letter, the applicant is proposing to add a single-story addition of approximately 246 square feet to the existing residence. The addition is designed to be consistent with the architectural character of the existing home. The exterior materials would include a stucco finish, composition shingle roofing, as well as windows and exterior paint colors to match the existing home. The roof form would align with the existing roof slope, and new construction would be integrated into the existing building massing. Given that the addition is street-facing, staff believes that privacy impacts to

neighboring residences would be minimal. Staff believes the scale, materials, and style of the proposed addition would result in development that is appropriate for the lot and generally consistent with the broader neighborhood.

Trees and landscaping

A total of 14 trees exist on the site or near the property line on adjacent properties, with three having heritage status. One non-heritage tree, a Japanese maple, located in the vicinity of the proposed addition, would be removed. The City Arborist determined that an arborist report was not necessary. However, due to potential impacts to a heritage, pear street tree, located on the Santa Rita Ave. frontage, standard tree protection fencing would be required to be installed in compliance with City tree protection requirements per recommended condition of approval 1h.

Correspondence

The applicant states in their project description letter that they provided a letter with architectural drawings to several neighbors within the immediate area, and all were supportive of the proposed project. As of the writing of this staff report, staff has not received any correspondence on the proposal.

Conclusion

Staff believes that the design, scale, and materials of the proposed addition are generally compatible with the surrounding neighborhood. Staff recommends that the Planning Commission approve the use permit request.

Impact on City Resources

The project sponsor is required to pay Planning, Building, and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

A. Draft Planning Commission Resolution approving the Use Permit

Exhibits to Attachment A

- A. Project Plans
- B. Project Description Letter
- C. New Work Value Calculation

- D. Conditions of Approval
- B. Location Map
- C. Data Table

Report prepared by:
Matthew Ball, Assistant Planner

Report reviewed by:
Tom Smith, Principal Planner

RESOLUTION NO. XXXX

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT REQUEST FOR AN ADDITION TO AN EXISTING NONCONFORMING SINGLE-STORY, SINGLE-FAMILY RESIDENCE. THE ORIGINAL USE PERMIT WAS APPROVED IN 2010, A USE PERMIT REVISION WAS APPROVED IN 2013, AND IN 2014 THE PLANNING COMMISSION APPROVED A SECOND USE PERMIT REVISION AND VARIANCE. THE SUBJECT PARCEL IS LOCATED ON A SUBSTANDARD LOT WITH REGARD TO LOT WIDTH IN THE R-1-S ZONING DISTRICT, AT 470 SANTA RITA AVENUE.

WHEREAS, the City of Menlo Park ("City") received an application requesting a use permit for a single-story addition to a single-family residence that received a use permit in 2010, a use permit revision in 2013, and a second use permit revision and variance in 2014. The subject parcel is located on a substandard lot with regard to minimum lot width in the R-1-S zoning district (the "Project"), at 470 Santa Rita Avenue (APN 071-381-110 ("Property").; and

WHEREAS, the Property is located in the Single Family Suburban Residential (R-1-S) zoning district, which supports single-family residential uses; and

WHEREAS, the Property is existing development is non-conforming with regard to the corner side setback; and

WHEREAS, the proposed Project otherwise complies with all objective standards of the R-1-S zoning district; and

WHEREAS, the property received a use permit in 2010, a use permit revision in 2013, and a second use permit revision and variance in 2014 to encroach two feet into the required street-side setback area, and therefore requires a use permit revision to allow modifications to the previously-approved plans; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act ("CEQA," Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project's environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on August 10, 2026, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit revision for a single-story addition on a one-story, single-family residence on a substandard lot is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-S zoning district and the General Plan because additions are allowed to be constructed on homes that received a prior use permit subject to issuance of a use permit revision, provided that the proposed additions conform to applicable zoning standards, including, but not limited to, minimum setbacks, maximum floor area limit, and maximum building coverage.
 - b. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed residence would be located in a single-family neighborhood and has been designed in a way to complement the existing scale and style of surrounding homes.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2026-00012, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and

incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 4. Environmental Review. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review under Class 1 (Section 15303, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Section 5. Severability. If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Principal Planner of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on August 10, 2026, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this ___ day of August, 2026.

PC Liaison Signature

Corinna Sandmeier
Principal Planner
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. New work value calculation
- D. Conditions of approval

BEDROOM EXPANSION

APN # 071-381-110

470 SANTA RITA AVE, MENLO PARK, CA 94025

EVA ARCHITECTS

1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

ROOM IDENTIFICATION ROOM Room Name Room Number Room Area Located DEMOLITION KEY NOTE NUMBER KEY NOTE NUMBER PARTITION TYPE CASEWORK IDENTIFICATION CEILING HEIGHT WINDOW TYPE DOOR IDENTIFICATION CONTROL POINT 1 GRID IDENTIFICATION BUILDING SECTION DETAIL CUT REVISION NORTH ARROW ABBREVIATIONS A.C. ACCESSIBLE A.F.F. ABOVE FINISH FLOOR ARCH. ARCHITECTURAL ASSEMB. ASSEMBLY B.D. BOARD B.L.D.G. BUILDING B.L.K. BLOCK B.L.O.C.K. BLOCKING C.B. CABINET C.B. CATCH BASIN C.C. CEMENT CER. CERAMIC C.I. CAST IRON CONTR. JOINT C.L. CENTER LINE CLR. CLEAR CL.K.G. CALKING COL. COLUMN CONC. CONCRETE CONF. CONFERENCE CONN. CONNECTION CONT. CONTINUOUS CORR. CORRIDOR C.P.F. CEMENT PLASTER FINISH SYSTEM COUNTERSINK CTR. CENTER C.W. COLD WATER DBL. DOUBLE D.F. DRINKING FOUNTAIN DET. DETAIL DIA. DIAMETER DM. DIMENSION DN. DOWN DR. DOOR DS. DOWNSPOUT DWG. DRAWING EA. EACH E.J. EXPANSION JOINT ELEV. ELEVATION ELEC. ELECTRICAL EQ. EQUAL (E) EXISTING EXT. EXTERIOR EXP. EXPANSION F.A. FIRE ALARM F.D. FLOOR DRAIN FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.H. FIRE HYDRANT F.H.W.S. FLAT HEAD WOOD SCREW FIN. FINISH F.F. FINISH FLOOR F.P. FIRE PROTECTION FT. FOOT GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR G.W.B. GALVANIZED IRON G.W.B. GYPSUM WALL BOARD GYP. GYPSUM H.B. HOSE BIB ID. INSIDE DIAMETER IN. INCH INFO. INFORMATION INSUL. INSULATION LAV. LAVATORY MAX. MAXIMUM MTL. METAL MFR. MAN HOLE M.H. MIN. MINIMUM MISC. MISCELLANEOUS (N) NEW NIA NOT APPLICABLE N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFICI OWNER FURNISHED CONTRACTOR INSTALLED OPPOSITE PAV. PAVING P.D.F. POWDER DRIVEN FASTENER PL. PLATE P.T.D. PAPER TOWEL DISPENSER RAD. RADIUS REF. REFRIGERATOR RM. ROOM R.D. ROOF DRAIN REQ. REQUIRED R.F. REFLECTED CEILING PLAN RVL. REVEAL R.W.L. RAIN WATER LEADER S.A.D. SEE ARCHITECTURAL DWG. S.C. SOLID CORE S.D. SOAP DISPENSER SEC. SECTION SHT. SQUARE FOOT SIM. SHEET SIMILAR S.M.S. SHEET METAL SCREW SPEC. SPECIFICATION STD. STANDARD STL. STEEL STRUCT. STRUCTURAL T.C. TOP OF CURB TEL. TELEPHONE T.O.P. TOP OF PARAPET T.P. TOP OF PAVEMENT T.P.D. TOILET PAPER DISPENSER T.W. TOP OF WALL TYP. TYPICAL UNLESS OTHERWISE NOTED V.I.F. VERIFY IN FIELD W. WITH W.C. WATER CLOSET WO. WOOD W/O. WITHOUT W.P. WATERPROOF W.R. WATER RESISTANT W.S. WEATHER STRIPPING	
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GENERAL NOTES

1. "CONTRACTOR" MEANS THE GENERAL CONTRACTOR, SUBCONTRACTORS, AND ANYONE EMPLOYED BY THEM.

2. "CONSTRUCTION DOCUMENTS" INCLUDE ALL DRAWINGS, SCHEDULES, SPECIFICATIONS, AND OTHER INSTRUCTIONS ISSUED BY THE ARCHITECT, ENGINEERS, OR OTHER DESIGN PROFESSIONALS.

3. EXISTING CONSTRUCTION DATA SHOWN IS BASED ON AVAILABLE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS PRIOR TO STARTING WORK OR ORDERING MATERIALS. ERRORS OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.

5. SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS AND ELEVATIONS UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.

6. ALL DISCREPANCIES BETWEEN DRAWINGS OR BETWEEN DRAWINGS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

7. WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE CURRENT CALIFORNIA BUILDING CODE (C.B.C.), LOCAL ORDINANCES, OSHA REQUIREMENTS, AND ALL APPLICABLE STATE AND FEDERAL CODES AND REGULATIONS.

8. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH CHAPTER 33 OF THE CALIFORNIA FIRE CODE.

9. PER C.B.C. 118.104.1, ALL DIMENSIONS ARE SUBJECT TO INDUSTRY TOLERANCES UNLESS SPECIFIC MINIMUM AND MAXIMUM VALUES ARE STATED.

10. ANY FEATURE NOT FULLY SHOWN OR DETAILED SHALL BE CONSTRUCTED TO MATCH THE CHARACTER OF SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.

11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. ELEVATION DIMENSIONS ARE TO SUBFLOORS AND PLATES (U.O.N.). LARGER-SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER-SCALE DRAWINGS.

12. ITEMS TO BE DEMOLISHED, REMOVED, OR RELOCATED SHALL BE COMPLETELY REMOVED INCLUDING CONCEALED ELEMENTS (PIPES, CURBS, FRAMING, BEAMS, FASTENERS, ETC.). ALL DISRUPTED AREAS SHALL BE RESTORED TO A FINISHED CONDITION AT NO ADDITIONAL COST TO THE OWNER.

13. CASEWORK SHALL BE SECURELY ATTACHED TO WALLS AND FLOORS AS SHOWN. WHERE DETAILS ARE NOT PROVIDED, MATCH SIMILAR CASEWORK CONDITIONS.

14. THE CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND STORED MATERIALS FROM WEATHER, DAMAGE, VANDALISM, OR THEFT. DAMAGED OR STOLEN WORK SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

15. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, INCLUDING THE SAFETY OF PERSONS, PROPERTY, AND ALL WORK ON SITE.

16. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AGAINST GRAVITY AND SEISMIC LOADS UNTIL ALL STRUCTURAL ELEMENTS ARE FULLY INSTALLED.

17. ALL SUBSTITUTIONS FOR SPECIFIED MATERIALS OR PRODUCTS REQUIRE PRIOR WRITTEN APPROVAL FROM THE OWNER.

18. THE CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTABLE TO THE OWNER PRIOR TO COMMENCEMENT OF WORK.

19. THE CONTRACTOR WARRANTS THAT ALL MATERIALS AND EQUIPMENT ARE NEW (UNLESS NOTED OTHERWISE) AND THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM DEFECTS.

20. THE CONTRACTOR SHALL GUARANTEE ALL WORK, INCLUDING SUBCONTRACTORS WORK, FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THIS DOES NOT LIMIT ANY MANUFACTURER OR LEGALLY REQUIRED WARRANTIES.

21. ALL DRAWINGS AND DOCUMENTS FURNISHED ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER PROJECTS.

SCOPE OF WORK

THE PROPOSED PROJECT INCLUDES A 246-SQUARE-FOOT SINGLE-STORY ADDITION TO THE EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 470 SANTA RITA AVENUE. THE ADDITION WILL EXTEND THE NORTHWEST SIDE OF THE HOME TO ENLARGE THE EXISTING BEDROOM AND ADD A NEW BATHROOM AND WALK-IN CLOSET ALIGNED WITH THE EXISTING BUILDING WALL.

• THE NEW EXTERIOR WALL WILL BE LOCATED 10 FEET FROM THE PROPERTY LINE, IN COMPLIANCE WITH THE CURRENT 1-1.5 SIDE YARD SETBACK REQUIREMENT.

• THE ADDITION WILL BE INTEGRATED WITH THE EXISTING ROOFLINE AND MATERIALS TO MATCH THE CHARACTER OF THE HOME. THE NEW STUCCO FINISH AND EXTERIOR PAINT COLORS WILL MATCH THE EXISTING HOUSE FOR A CONSISTENT APPEARANCE.

• NEW EXTERIOR WINDOWS ARE PROPOSED IN THE ADDITION AREA TO PROVIDE NATURAL LIGHT AND VENTILATION.

• A NEW CRAWL SPACE WILL BE CONSTRUCTED UNDER THE ADDITION TO MATCH THE EXISTING FOUNDATION TYPE AND HEIGHT. NEW FOUNDATION VENTS WILL BE PROVIDED AS REQUIRED BY CODE, AND A CRAWL SPACE ACCESS OPENING WILL BE PROVIDED FROM THE EXISTING CRAWL SPACE TO THE NEW ADDITION AREA FOR CONTINUOUS ACCESS AND VENTILATION.

• THE NEW FLOOR, WALL, AND ROOF ASSEMBLIES WILL INCLUDE INSULATION IN COMPLIANCE WITH CURRENT TITLE 24 ENERGY STANDARDS.

• NEW PLUMBING WILL BE INSTALLED TO SERVE THE NEW BATHROOM, WITH CONNECTIONS MADE TO THE EXISTING HOUSE PLUMBING SYSTEM.

• THE ADDITION WILL BE CONNECTED TO THE EXISTING HVAC SYSTEM FOR HEATING AND COOLING.

• NEW ELECTRICAL WIRING WILL BE PROVIDED FROM THE EXISTING MAIN ELECTRICAL PANEL TO SERVE LIGHTING, RECEPTACLES, AND EQUIPMENT IN THE ADDITION AREA.

• NO TREE ABOVE 6" DIA. REMOVALS ARE PROPOSED.

• NO CHANGE IN OVERALL BUILDING HEIGHT (SINGLE-STORY ADDITION).

• SITE IMPROVEMENTS INCLUDE UPDATED DRAINAGE AS NEEDED.

PROJECT DIRECTORY

CLIENT

NERELLA PRASHANTH
470 SANTA RITA AVENUE
MENLO PARK CA 94025

ARCHITECT

EVA ARCHITECTS
1120 BIRD AVE STE F #208
SAN JOSE CA 95125
EVA@EVA-ARCHITECTS.COM

STRUCTURAL ENGINEERING

HALTERMAN ENGINEERING
P.O. BOX 370084
MONTARA, CA 94037

CONTRACTOR

K K BUILDERS
3059 CHRONICLE AVE
HAYWARD, CA 94542
KHALID KHOKHAR
(510) 501-3305
kkbuilders@gmail.com

PROJECT DATA

SITE DATA:

PROJECT NAME: BEDROOM ADDITION

PROJECT TYPE: SINGLE FAMILY RESIDENCE

PROJECT ADDRESS: 470 SANTA RITA AVE, MENLO PARK, CA 94025

ZONING DATA:

ASSESSOR'S PARCEL NUMBER: 071-381-110

ASSESSOR'S BLOCK / LOT: 1 / 11

ZONING DISTRICT: R15

LOT AREA: 10,716 SF

MAX HEIGHT: 28'

SETBACKS:

FRONT: 20'

SIDE: 10' (INTERIOR); 12' (STREET SIDE)

REAR: 20'

PARCEL AREA CALCULATIONS:

AREA: 10,716 SF

FAL: 2,800+0.25*(10,716-7,000)+2,800+0.25*(3,716+2,800+929)+3,729 SF (MAXIMUM ALLOWED FLOOR AREA)

PROJECT IS WELL BELOW FAL LIMIT

MAX BUILDING COVERAGE: 35% OF THE LOT AREA = 10,716*0.35= 3,750 SF MAXIMUM FOOTPRINT

PROJECT IS WELL BELOW MAX BLDG COVERAGE LIMIT

BUILDING DATA:

YEAR BUILT: 1957

TYPE OF CONSTRUCTION: V-B

OCCUPANCY TYPE / USE: R-3

FIRE SPRINKLER: NO

NO. OF STORIES: 1

(E) BUILDING HEIGHT: 16'-0"

PROPOSED ADDITION HEIGHT: 11'-0"

(E) MAIN HOUSE AREA: 2,833 SF

(E) COVERED PORCH: 41 SF

(E) GRAGE: 423 SF

(E) POOL EQUIP. SHED: 32 SF

(E) TOTAL BUILDING COVERAGE: 3,326 SF

(E) TOTAL BUILDING AREA: 3,388 SF

PROPOSED ADDITION AREA: 246 SF

TOTAL BUILDING COVERAGE: 3,375 SF

TOTAL BUILDING AREA: 3,382 SF

SHEET INDEX

ARCHITECTURAL

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T24-1 TITLE 24 ENERGY COMPLIANCE REPORT

M&1 TITLE 24 MANDATORY MEASURES

T-1 TOPOGRAPHIC SITE PLAN

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A-102 AREA PLAN

A-103 FLOOR AREA CALCULATIONS

A-201 1ST FLOOR & ROOF PLAN - EXISTING & PROPOSED

A-301 CRAWL SPACE, 1ST FLOOR & ROOF PLAN - PROPOSED

A-501 EXTERIOR ELEVATIONS - WEST EXISTING & PROPOSED

A-502 EXTERIOR ELEVATIONS - NORTH EXISTING & PROPOSED

A-601 BUILDING SECTIONS

A-701 EXTERIOR DETAILS & WALL TYPES

A-702 ROOF DETAILS

A-801 WINDOW TYPES, DOOR SCHEDULE & DETAILS

A-901 REFLECTED CEILING & LIGHTING PLAN & POWER PLAN

STRUCTURAL

S0.1 GENERAL NOTES, SYMBOLS, & ABBREVIATIONS

S1.1A TYPICAL CONCRETE DETAILS

S1.1B TYPICAL CONCRETE DETAILS

S1.2A TYPICAL WOOD DETAILS

S1.2B TYPICAL WOOD DETAILS

S1.2C TYPICAL WOOD DETAILS

S1.2D TYPICAL WOOD DETAILS

S2.0 PLANS

GOVERNING CODES

2025 California Residential Code

2025 California Building Code

2025 California Electrical Code

2025 California Mechanical Code

2025 California Plumbing Code

2025 California Energy Code

2025 California Green Building Standards Code

National Fire Protection Association (Booklet 101)

California Fire Commission Title 24

All other applicable Local Laws and Ordinances

FLOOD ZONE NOTES

FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 0603210308E

FIRM DATE: APRIL 5, 2019

FLOOD ZONE DESIGNATION: ZONE X (AREA OF MINIMAL FLOOD HAZARD)

BASE FLOOD ELEVATION (BFE) NOT APPLICABLE

LOMA: NONE

PROJECT SITE IS LOCATED OUTSIDE THE SPECIAL FLOOD HAZARD AREA (SFHA).

FLOOD-RESISTANT CONSTRUCTION AND ELEVATION REQUIREMENTS DO NOT APPLY TO THIS PROJECT.

PARCEL MAP

PROJECT ADDRESS: 470 SANTA RITA AVE, MENLO PARK, CA 94025

APN#: 071-381-110

VICINITY MAP

PROJECT ADDRESS: 470 SANTA RITA AVE, MENLO PARK, CA 94025

APN#: 071-381-110

AGENCY APPROVAL STAMPS

TITLE SHEET

ARCHITECTY STAMP

APPLICATION NUMBER

BLD2025-03360, PLN2025-00012

DRAWING NUMBER

A-001

DATE

05/29/2026

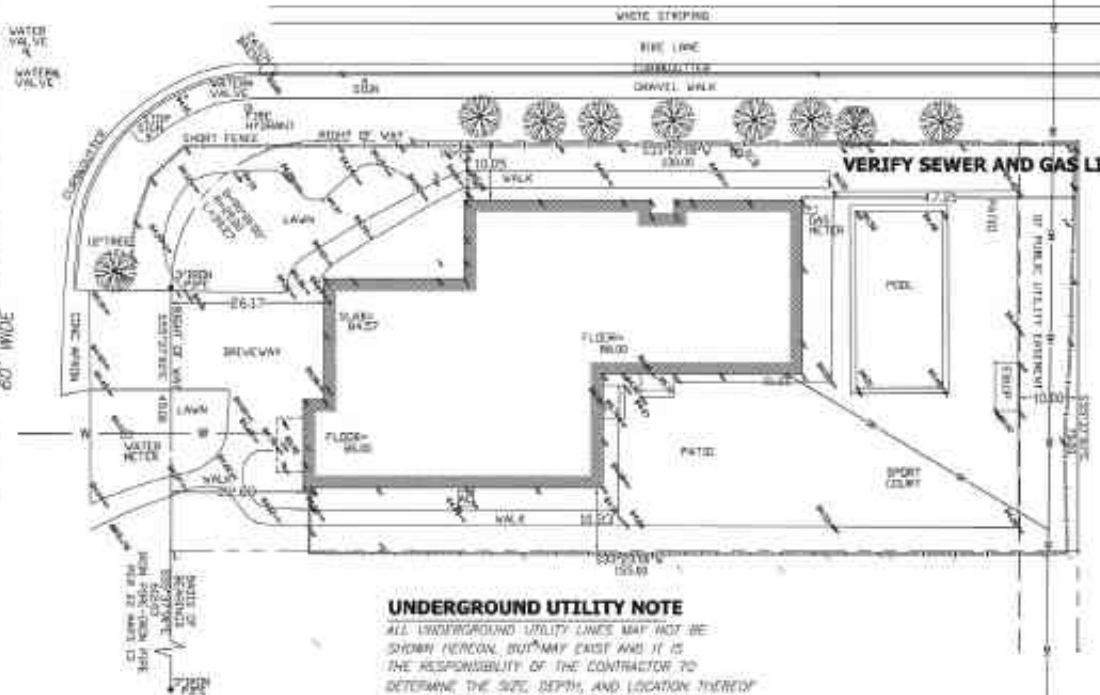
PROJECT NUMBER

25017



SANTA RITA AVE
60' WIDE

MIDDLE AVE
66' WIDE



LEGEND

- | | |
|-----|------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING |
| --- | BUILDING |
| --- | FENCE LINE |
| --- | WATER LINE |
| --- | OVERHEAD WIRE |
| --- | GAS LINE |
| --- | SANITARY SEWER LINE |
| --- | IRRIGATION CONTROL BOX |

UNDERGROUND UTILITY NOTE

ALL UNDERGROUND UTILITY LINES MAY NOT BE SHOWN HEREON, BUT MAY EXIST AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE SIZE, DEPTH, AND LOCATION THEREOF.
CALL 811 BEFORE YOU DIG
EXPOSE AND VERIFY ALL UTILITY LINES BEFORE DIGGING

BOUNDARY CERTIFICATION

I CERTIFY THAT THE BOUNDARY SHOWN HEREON WAS REESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MEASUREMENTS ARE OF THE OWNERS AND I DECLINE THE FIDUCIARY OBLIGATION AND AM SUPPLYING TO ENABLE THE SURVEY TO BE REVERSED.

NAVD'88 ELEVATIONS

NAVD'88 DATUM VIA LEICA SMARTNET RTK MEASUREMENT



BAY LAND CONSULTING LAND SURVEYING/ENGINEERING 111 40th Ave Santa Clara, CA 95050 Tel: (408) 246-0044 Mapping The Bay Area		BAYLAND CONSULTING www.baylandconsulting.com	TOPOGRAPHIC SITE PLAN PARTIAL TOPOGRAPHIC SITE PLAN 470 SANTA RITA AVE, MENLO PARK, CA 94025 PLOT 22, TRACT 80, 918, BOOK 2 OF MAPS, PAGE 13 SAN MATEO COUNTY, CA	PROJECT: 2018-08-01 DATE: 8-1-18 SCALE: 1"=70' DRAWN BY: [Signature] CHECKED BY: [Signature] PROJECT: 2018-08-01 DATE: 8-1-18
--	--	---	--	---



LEGEND

---	PROPERTY LINE
---	EASEMENT
---	BUILDING
---	FENCE LINE
W	WATER LINE
SH	UNDERHEAD WIRE
G	GAS LINE
SS	SEWAGE TREATMENT LINE
EN	EROSION CONTROL BARRIERS

BOUNDARY CERTIFICATION

I CERTIFY THAT THE BOUNDARY SHOWN HEREON WAS RECONSTRUCTED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYING ACT. ALL MEASUREMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE REPRODUCED.

NAVD'88 ELEVATIONS

NAVD'88 DATUM VIA LEICA SMARTNET RTK MEASUREMENT



BAY LAND CONSULTING
LAND ENGINEERING & SURVEYING
P.O. BOX 239
SANTA CLARA, CA 95053
PH: (408) 285-0000
WWW.BAYLANDCONSULTING.COM



TOPOGRAPHIC SITE PLAN
PARTIAL TOPOGRAPHIC SITE PLAN
470 SANTA RITA AVE, MENLO PARK, CA 94025
RTN LOT 22 TRACT NO. 518, BOOK 2 OF MAPS PAGE 13
APN: 077-009-010
SAN MATEO COUNTY, CA

PROJECT: 2020-09-24-01	DATE: 04-12	PROJECT: 2020-09-24-01	DATE: 04-12
SCALE: 1"=10'	SCALE: 1"=10'	SCALE: 1"=10'	SCALE: 1"=10'
PROJECT: 2020-09-24-01	DATE: 04-12	PROJECT: 2020-09-24-01	DATE: 04-12

Santa Rita Ave

Middle Ave

SUBJECT PROPERTY:
470 SANTA RITA AVE,
MENLO PARK, CA 94025
APN: 071381110

SITE PLAN - EXISTING

1" = 10'-0" 1

FRONTAGE IMPROVEMENTS - [SEE NOTE 7]

NOTE 1: ANY FRONTAGE IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH CITY STANDARD DETAILS.
NOTE 2: AN ENCROACHMENT PERMIT IS REQUIRED PRIOR TO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
NOTE 3: ALL CRACKED/DAMAGED FRONTAGE IMPROVEMENTS SHALL BE REPAIRED IN KIND.
NOTE 4: NO OBSTRUCTION EXCEEDING CITY VISIBILITY REQUIREMENTS WITHIN LINE-OF-SIGHT TRIANGLE.
NOTE 5: GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES AND A 2% SLOPE ON IMPERVIOUS SURFACES PER CDS (1804.3).
NOTE 6: UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT DIRECTLY SHEETFLOW ACROSS ADJOINING PROPERTIES. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.
NOTE 7: THE PROPERTY FRONTAGE ALONG MIDDLE AVE SHOWS DAMAGES TO THE SIDEWALK AND THE APPLICANT SHALL FURNISH THREE INCHES OF ASPHALT ALONG THE PROPERTY LIMITS ALONG MIDDLE AVE AND CONFORM TO EXISTING CONCRETE DRIVEWAY ON SANTA RITA AVE.

Middle Ave

Approx. 60' Public R.O.W. Curb-to-curb=40' WIDE (Verify in Field)

SUBJECT PROPERTY:
470 SANTA RITA AVE,
MENLO PARK, CA 94025
APN: 071381110

SITE PLAN - PROPOSED

1" = 10'-0" 2

GENERAL NOTES

GENERAL

1. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS INCLUDING LOCAL DEMOLITION REQUIREMENTS AND GUIDELINES.
2. CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK. EXISTING SITE FEATURES SHOWN ARE FOR REFERENCE ONLY.
3. PROTECT ALL EXISTING ELEMENTS TO REMAIN, INCLUDING STRUCTURES, UTILITIES, TREES, LANDSCAPING, AND SITE IMPROVEMENTS.

DEMOLITION / HAZMAT

1. LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO DEMOLITION; COORDINATE REQUIRED DISCONNECTIONS WITH PROVIDERS.
2. INSTALL TREE PROTECTION FENCING AND EROSION-CONTROL MEASURES PRIOR TO DEMOLITION.
3. PROPERLY REMOVE AND DISPOSE OF DEMOLISHED MATERIALS OFF-SITE IN ACCORDANCE WITH LOCAL REGULATIONS. RECYCLING OF MATERIALS IS ENCOURAGED.
4. IF HAZARDOUS MATERIALS (ASBESTOS, LEAD PAINT) ARE SUSPECTED, CONDUCT REQUIRED TESTING AND ABATEMENT PER STATE/LOCAL REQUIREMENTS PRIOR TO DEMOLITION.
5. DEMOLITION MATERIALS SHALL BE DISPOSED OF AT APPROVED DISPOSAL SITES. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF ALL DISPOSAL AND RECYCLING TO OWNER.
6. DOORS, WINDOWS, AND PLUMBING FIXTURES TO BE SALVAGED BY APPROVED VENDOR AS DIRECTED BY OWNER.
7. CONTRACTOR SHALL CONTROL DUST DURING DEMOLITION AND EXCAVATION OPERATIONS IN COMPLIANCE WITH CITY REGULATIONS.
8. REPAIR ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, UTILITIES, OR NEIGHBORING PROPERTIES CAUSED BY DEMOLITION.

CALGREEN / CONSTRUCTION LOGISTICS

1. CONSTRUCTION STAGING TO BE KEPT OFF ROAD; TEMPORARY TOILET AND MATERIALS WITHIN EXISTING DRIVEWAY AREA.
2. NO CONSTRUCTION PARKING ALLOWED ON ROAD; LIMIT TO SITE.
3. CONTROL DUST DURING DEMOLITION/EXCAVATION; KEEP DEBRIS OFF ROAD.
4. CONTRACTOR SHALL MAINTAIN SAFE AND CLEAR ACCESS FOR EMERGENCY VEHICLES AND NEIGHBORING PROPERTIES AT ALL TIMES.
5. FIRE DEPARTMENT ACCESS AND CLEARANCES SHALL BE MAINTAINED PER FIRE CODE.

GENERAL NOTES

GENERAL / ZONING

1. COMPLY WITH ALL CURRENT LOCAL CODES, ZONING, AND MUNICIPAL REQUIREMENTS. MAX BUILDING HEIGHT, SETBACKS, LOT COVERAGE, AND FLOOR AREA PER LOCAL ZONING.
2. MAXIMUM BUILDING HEIGHT, SETBACKS, LOT COVERAGE, AND FLOOR AREA SHALL BE IN ACCORDANCE WITH LOCAL ZONING REQUIREMENTS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.
4. ALL NEW UTILITIES UNDERGROUND UNLESS OTHERWISE APPROVED; COORDINATE CONNECTIONS AND SERVICE INSTALLATIONS WITH UTILITY COMPANIES.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER.

CIVIL / DRAINAGE

1. PROVIDE POSITIVE DRAINAGE (MIN 5% SLOPE FOR 10 FT WHERE APPLICABLE).
2. ROOF DRAINAGE TO APPROVED LOCATIONS PER LOCAL REQUIREMENTS; PROVIDE CROWN/SLOPE/ESTABLISHED INSULATION AS NEEDED FOR DRAINAGE.
3. ROOF DRAINAGE SHALL BE DIRECTED TO APPROVED STORM DRAIN SYSTEM OR INFILTRATION AREA.
4. ALL GRADING SHALL MAINTAIN PROPER DRAINAGE AWAY FROM STRUCTURES AND ADJACENT PROPERTIES.
5. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR CONNECTIONS AND SERVICE INSTALLATIONS; ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, UNLESS OTHERWISE APPROVED.
6. ALL PAVING, DRIVEWAYS, WALKWAYS, AND LANDSCAPE AREAS SHALL COMPLY WITH CITY STANDARDS.
7. PROPERTY LINES, EASEMENTS, AND RIGHT-OF-WAYS SHALL BE RESPECTED AND MAINTAINED.

SITE SAFETY / TEMPORARY CONDITIONS

1. PROVIDE CONSTRUCTION FENCING/BARRICADES AS REQUIRED TO SECURE THE SITE.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER.
3. PROTECT EXISTING STRUCTURES, TREES, UTILITIES, AND SITE FEATURES TO REMAIN.
4. CONTRACTOR SHALL COMPLY WITH CITY NOISE, DUST, AND CONSTRUCTION HOURS REGULATIONS.
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GRAPHIC KEY

- (E) WALL TO REMAIN
- (E) ITEMS TO REMAIN
- NEW ELEMENTS
- DEMO WALLS
- (E) ITEMS TO BE REMOVED/DEMOLISHED
- PROPERTY LINE
- SCOPE OF WORK

EVA ARCHITECTS

1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

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CONSULTANT'S STAMP

GENERAL NOTES

GENERAL / ZONING

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GRAPHIC KEY

- (E) WALL TO REMAIN
- (E) ITEMS TO REMAIN
- NEW ELEMENTS
- DEMO WALLS
- (E) ITEMS TO BE REMOVED/DEMOLISHED
- PROPERTY LINE
- SCOPE OF WORK

PROJECT TITLE

BEDROOM EXPANSION

APN # 071-381-110

470 SANTA RITA AVE, MENLO PARK, CA 94025

No.	Description	Date
	BUILDING SUBMITTAL	11/18/25
	USE PERMIT	03/26/26
1	USE PERMIT RESUBMITTAL	05/29/26
2	USE PERMIT RESUBMITTAL 2	07/16/26

TITLE

SITE PLAN - EXISTING & PROPOSED

ARCHITECT STAMP



APPLICATION NUMBER

BLD2025-03360, PLN2026-00012

DATE

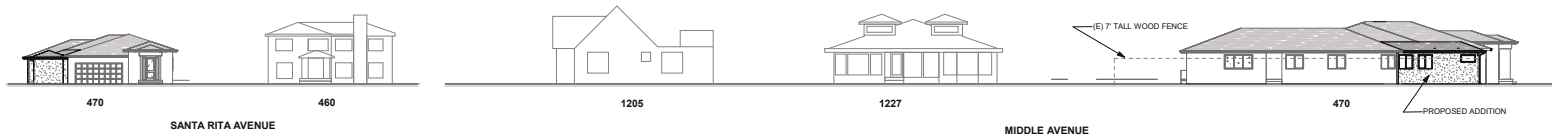
05/29/2026

PROJECT NUMBER

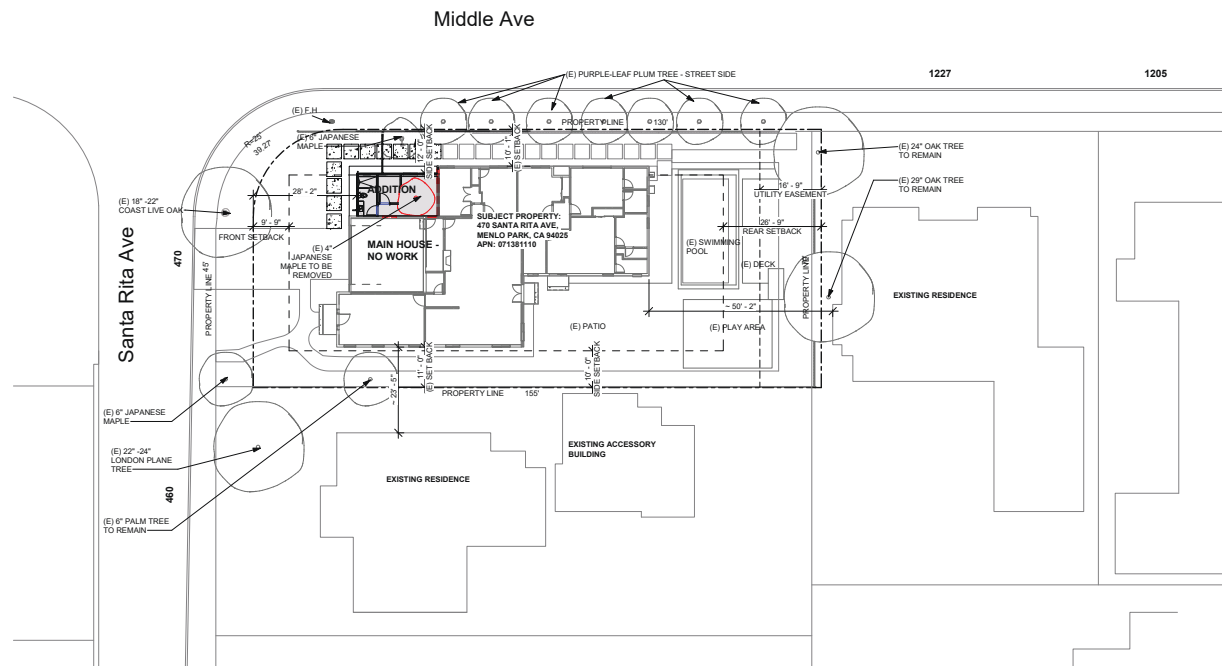
25017

DRAWING NUMBER

A-101



STREETSCAPE 1/16" = 1'-0" 2



AREA PLAN 1/16" = 1'-0" 1

EVA ARCHITECTS
1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

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CONSULTANT'S STAMP

PROJECT TITLE
BEDROOM EXPANSION

APN # 071-381-110
470 SANTA RITA AVE, MENLO PARK, CA 94025

No.	Description	Date
1	BUILDING SUBMITTAL	11/18/25
2	USE PERMIT	03/26/26

TITLE
AREA PLAN

ARCHITECT STAMP



APPLICATION NUMBER
BLD2025-03360, PLN2026-00012
DATE
05/29/2026
PROJECT NUMBER
25017

DRAWING NUMBER
A-102

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SAN JOSE, CA 92125
408-874-5304
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CONSULTANT'S STAMP

PROJECT TITLE

BEDROOM EXPANSION

APN # 071-381-110
470 SANTA RITA AVE, MENLO PARK, CA 94025

No.	Description	Date
	BUILDING SUBMITTAL	11/18/25
	USE PERMIT	03/26/26
1	USE PERMIT RESUBMITTAL	05/29/26

TITLE

FLOOR AREA
CALCULATIONS

ARCHITECT STAMP



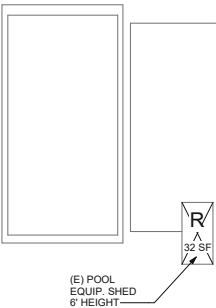
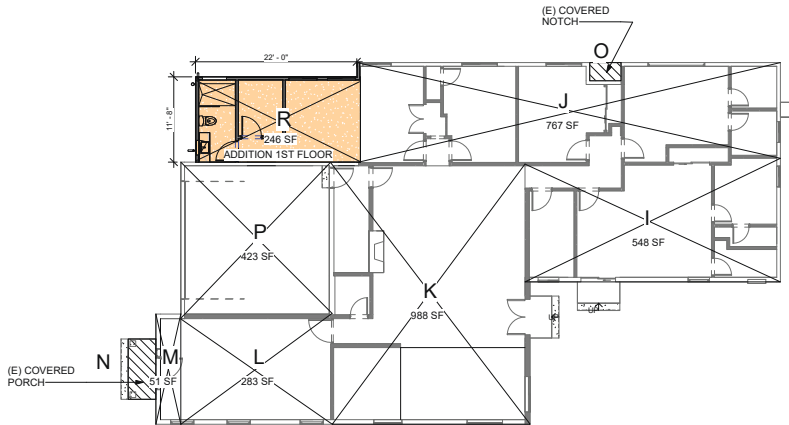
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BLD2025-03360, PLN2026-00012

DATE
05/29/2026

PROJECT NUMBER
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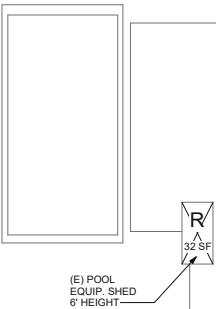
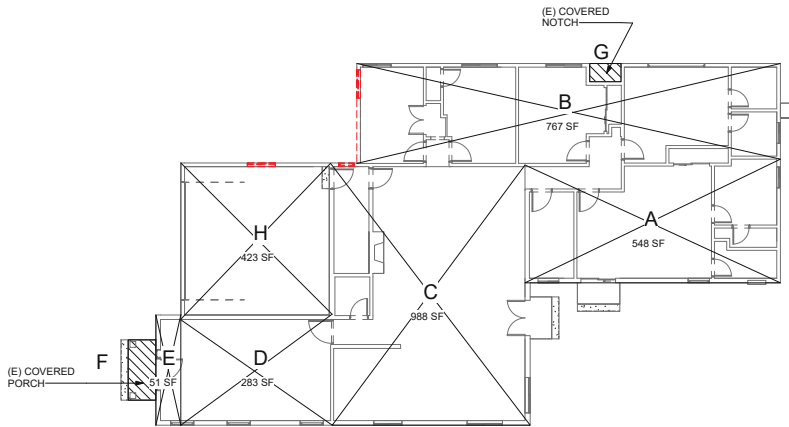
DRAWING NUMBER

A-103



FLOOR AREA COVERAGE CALCULATIONS
PROPOSED FIRST FLOOR
MAIN HOUSE
I 34'-0" x 16'-3/4" = 548 SF
J 57'-7 1/2" x 13'-5 3/4" = 767 SF
K 27'-8 1/2" x 35'-8 1/2" = 988 SF
L 19'-10 1/4" x 14'-2 3/4" = 283 SF
M 3'-5 1/4" x 14'-10 1/4" = 51 SF
R 11'-2" x 22'-0" = 246 SF
SUBTOTAL (Main House) 2,879 SF
COVERED PORCH
N 3'-8 1/4" x 8'-2" = 31 SF
O 4'-2 3/4" x 2'-4" = 10 SF
SUBTOTAL (Porch) 41 SF
POOL EQUIP. SHED
R 4'x8' = 32SF
ATTACHED GARAGE
P 19'-10 1/4" x 21'-3 3/4" = 423 SF
SUBTOTAL (Garage) 423 SF
TOTALS
TOTAL BUILDING COVERAGE: 3,375 SF
TOTAL FLOOR AREA: 3,302 SF

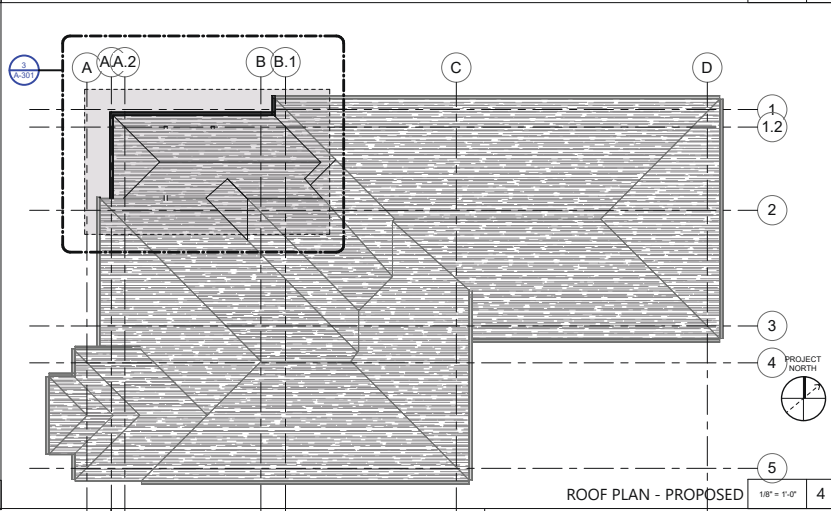
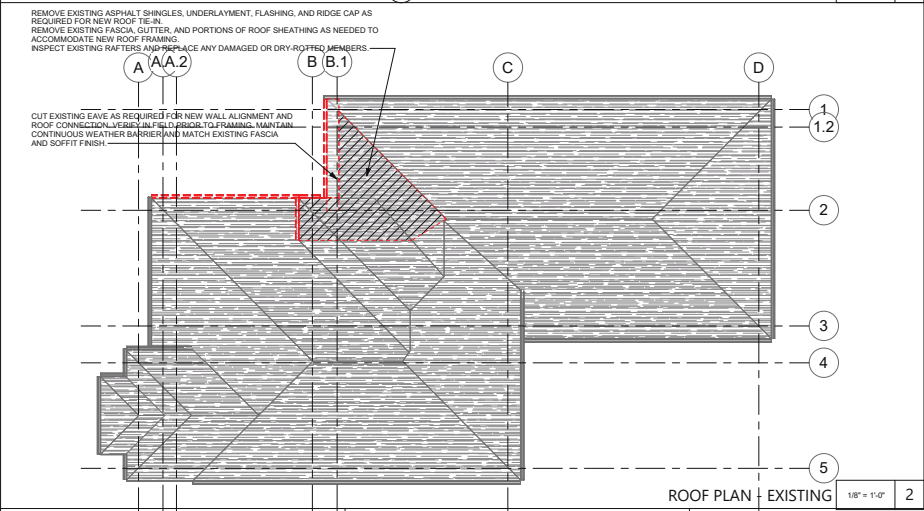
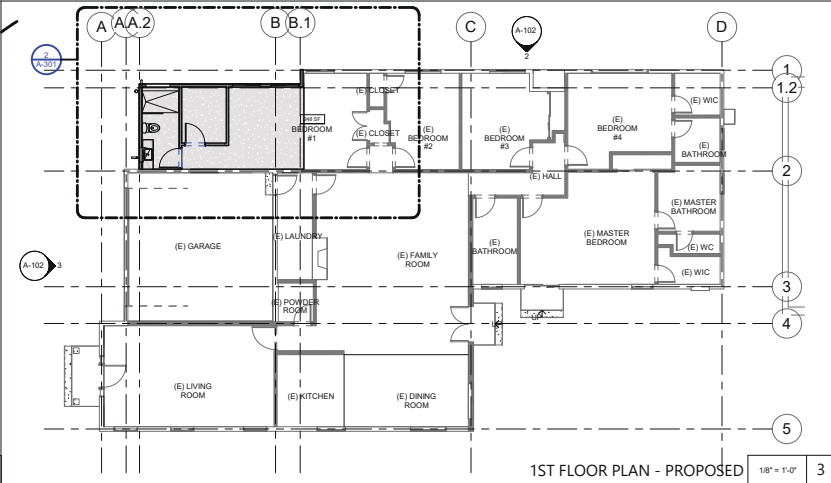
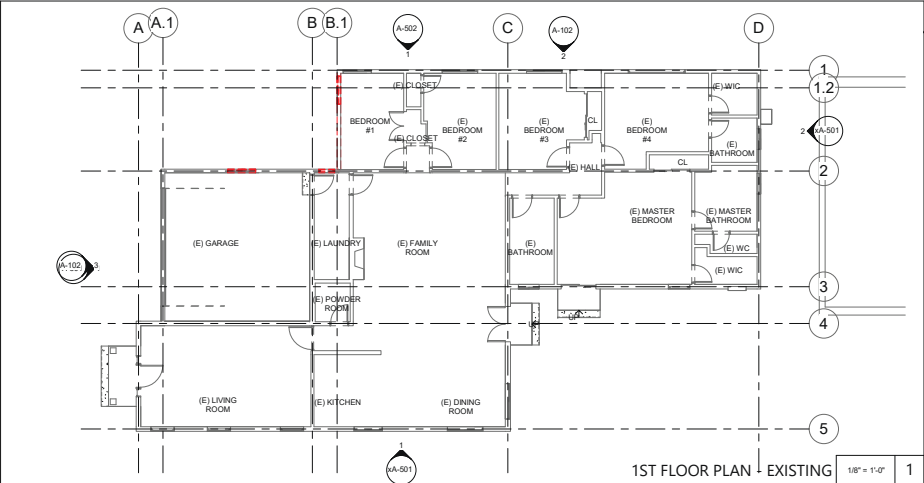
1ST FLOOR PLAN - PROPOSED 1/8" = 1'-0" 2



FLOOR AREA COVERAGE CALCULATIONS
EXISTING FIRST FLOOR
MAIN HOUSE
A 34'-0" x 16'-3/4" = 548 SF
B 57'-7 1/2" x 13'-5 3/4" = 767 SF
C 27'-8 1/2" x 35'-8 1/2" = 988 SF
D 19'-10 1/4" x 14'-2 3/4" = 283 SF
E 3'-5 1/4" x 14'-10 1/4" = 51 SF
SUBTOTAL (Main House) 2,633 SF
COVERED PORCH
F 3'-8 1/4" x 8'-2" = 31 SF
G 4'-2 3/4" x 2'-4" = 10 SF
SUBTOTAL (Porch) 41 SF
POOL EQUIP. SHED
R 4'x8' = 32SF
ATTACHED GARAGE
H 19'-10 1/4" x 21'-3 3/4" = 423 SF
SUBTOTAL (Garage) 423 SF
TOTALS
TOTAL BUILDING COVERAGE: 3,129 SF
TOTAL FLOOR AREA: 3,096 SF



1ST FLOOR PLAN - EXISTING 1/8" = 1'-0" 1



- GENERAL NOTES**
- GENERAL DEMOLITION NOTES**
- DEMOLITION WORK IS DIAGRAMMATIC. CONTRACTOR SHALL PERFORM ALL DEMOLITION REQUIRED TO FACILITATE NEW CONSTRUCTION, INCLUDING WORK NOT SPECIFICALLY SHOWN ON THE DEMOLITION PLANS.
 - ALL MATERIALS REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE. CONFIRM WITH OWNER ANY ITEMS OR EQUIPMENT TO BE SALVAGED OR REUSED.
 - CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE TO REMAINING ELEMENTS SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 - PARTIAL DEMOLITION SHALL INCLUDE TRIMMING, DISCONNECTION, AND CAPPING OF UTILITIES (PLUMBING, ELECTRICAL, HVAC) TO LEAVE SYSTEMS SAFE AND OPERABLE. CAPS SHALL NOT BE VISIBLE ON FINISHED SURFACES.
 - PATCH AND REPAIR ALL WALLS, FLOORS, CEILINGS, AND FINISHES AFFECTED BY DEMOLITION TO MATCH ADJACENT MATERIALS AND CONDITIONS.
 - COORDINATE DEMOLITION WITH STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DISCIPLINES.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING LOAD-BEARING WALLS AND STRUCTURAL ELEMENTS. NO REMOVAL OF STRUCTURAL MEMBERS SHALL OCCUR WITHOUT PRIOR ENGINEER/ARCHITECT REVIEW AND APPROVAL.
 - DEMOLITION DEBRIS, PACKAGING, AND WASTE SHALL BE REMOVED DAILY TO MAINTAIN A CLEAN, SAFE WORKSITE. RECYCLE OR SALVAGE MATERIALS WHERE FEASIBLE.
 - PROVIDE TEMPORARY WEATHERPROOFING AND SECURITY FOR ALL DEMOLISHED OPENINGS UNTIL NEW CONSTRUCTION IS COMPLETE.

- ROOF DEMOLITION NOTES**
- ROOF DEMOLITION IS DIAGRAMMATIC. REMOVE EXISTING SHINGLES, UNDERLAYMENT, FLASHING, INSULATION, AND RELATED COMPONENTS AS REQUIRED FOR NEW CONSTRUCTION.
 - DISPOSE OF ALL REMOVED MATERIALS LEGALLY OFF-SITE. CONFIRM WITH OWNER ANY ITEMS (ROOF ACCESSORIES, MECHANICAL UNITS, ETC.) TO BE SALVAGED OR REUSED.
 - PROTECT EXISTING ROOF STRUCTURE AND DECKING TO REMAIN. ANY DAMAGE SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 - TRIM, DISCONNECT, AND CAP PLUMBING VENTS, ELECTRICAL CONDUITS, AND HVAC LINES AS REQUIRED. ENSURE ALL SYSTEMS LEFT IN PLACE ARE SAFE AND OPERABLE.
 - PATCH AND REPAIR EXISTING DECKING AND ADJACENT SURFACES TO RECEIVE NEW ROOF CONSTRUCTION.
 - COORDINATE ROOF DEMOLITION WITH STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DISCIPLINES.
 - REMOVE DEBRIS DAILY. CONTROL DUST, AND PROVIDE TEMPORARY WEATHERPROOFING FOR ALL OPEN ROOF AREAS.
 - RECYCLING OF ROOFING MATERIALS IS REQUIRED WHERE POSSIBLE.

- NEW ROOF & EXISTING RENOVATION NOTES**
- CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING ROOF CONDITIONS AND COORDINATE ALL NEW ROOF AND INSULATION WORK ACCORDINGLY. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.
 - PROVIDE NEW ROOF INSULATION PER 2022 TITLE 24 ENERGY CODE REQUIREMENTS.
 - NEW ROOF FRAMING, SHEATHING, UNDERLAYMENT, FLASHING, AND SHINGLES SHALL MATCH EXISTING ROOF MATERIALS, COLOR, AND SLOPE FOR A SEAMLESS APPEARANCE.
 - INSTALL NEW GUTTERS, DOWNSPOUTS, AND FASCIA TO MATCH EXISTING CONDITIONS.
 - PROVIDE CONTINUOUS WEATHER BARRIER AND WATERPROOF SEAL AT ALL TRANSITIONS BETWEEN EXISTING AND NEW ROOF SURFACES.
 - ROOFING DETAILS SHOWN ARE DIAGRAMMATIC AND FOR GENERAL DESIGN INTENT ONLY. FINAL MEANS, METHODS, MATERIAL SELECTION, SHOP DRAWINGS, AND INSTALLATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND LICENSED ROOFING SUBCONTRACTOR.
 - WATERPROOFING DETAILS SHALL FOLLOW INDUSTRY BEST PRACTICES AND MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR AND WATERPROOFING SUBCONTRACTOR ARE RESPONSIBLE FOR COMPLETE, CODE-COMPLIANT, WATERTIGHT INSTALLATION.
 - PROVIDE ATTIC VENTILATION PER CODE AT EAVES AND RIDGES (FOR VENTED ATTIC SYSTEMS).

- ROOF DRAINAGE SHALL BE DIRECTED TO APPROVED LOCATIONS PER CIVIL PLANS OR LOCAL REQUIREMENTS.
- INSTALL CRICKETS, SADDLES, AND TAPERED INSULATION AS REQUIRED TO PROMOTE POSITIVE DRAINAGE.
- ROOF PENETRATIONS SHALL BE SEALED PER MANUFACTURER'S SPECIFICATIONS AND LOCAL CODE.
- PROVIDE WALK PADS AT ROOF-MOUNTED EQUIPMENT SERVICE AREAS WHERE REQUIRED.
- PAINT ALL ROOF-MOUNTED EQUIPMENT TO MATCH ADJACENT SURFACES OR AS DIRECTED BY OWNER.

GRAPHIC KEY

- (E) WALL TO REMAIN
- (E) ITEMS TO REMAIN
- NEW ELEMENTS
- DEMO WALLS
- (E) ITEMS TO BE REMOVED/DEMOLISHED
- ROOFING: ASPHALT SHINGLES
- SCOPE OF WORK

EVA ARCHITECTS
1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

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CONSULTANT'S STAMP

PROJECT TITLE
BEDROOM EXPANSION

APN # 071-381-110
470 SANTA RITA AVE, MENLO PARK, CA 94025

No.	Description	Date
1	BUILDING SUBMITTAL	11/18/25
2	USE PERMIT	03/26/26

TITLE
1ST FLOOR & ROOF PLAN - EXISTING & PROPOSED

ARCHITECT STAMP

APPLICATION NUMBER
BLD2025-03360, PLN2026-00012

DATE
05/29/2026

PROJECT NUMBER
25017

DRAWING NUMBER
A-201

EVA ARCHITECTS

1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

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2	USE PERMIT	03/26/26

TITLE

CRAWL SPACE, 1ST FLOOR & ROOF PLAN - PROPOSED

ARCHITECT STAMP



APPLICATION NUMBER

BLD2025-03360, PLN2026-00012

DATE

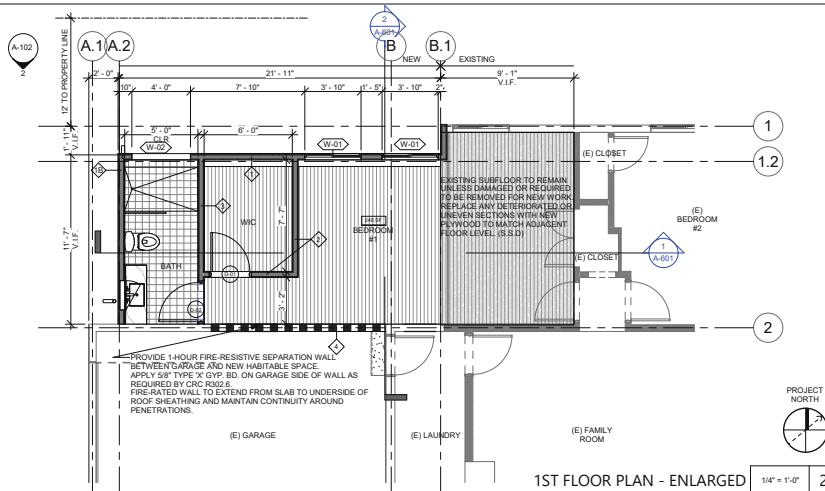
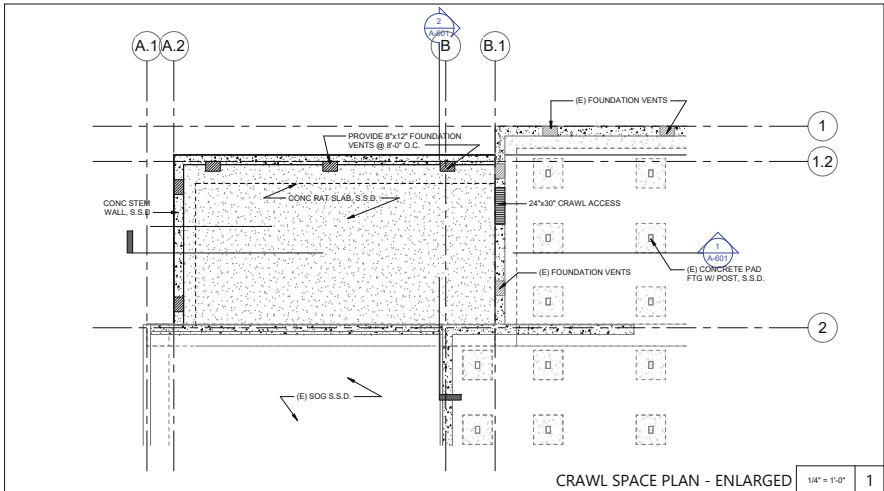
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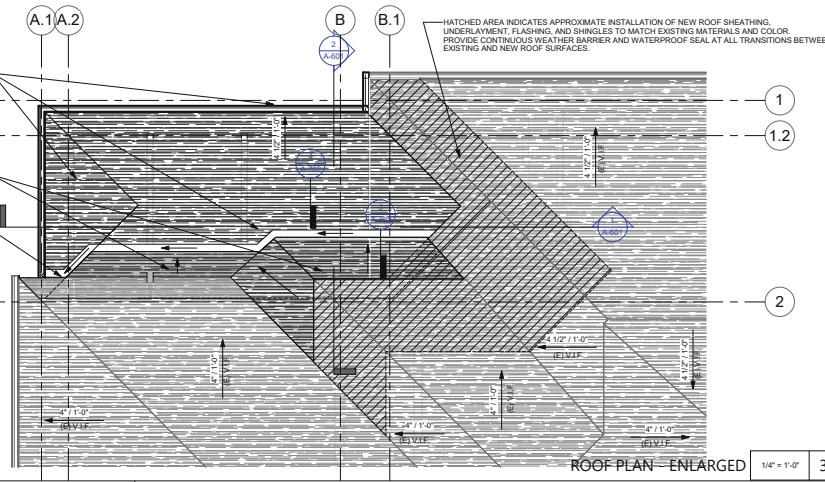
A-301



- CRAWL SPACE / FLOOR FRAMING NOTES**
1. PROVIDE NEW WOOD FLOOR FRAMING AND SUBFLOOR (3/4" T&G PLYWOOD OR AS SPECIFIED) IN NEW ADDITION AREA. MATCH EXISTING JOIST DEPTH AND SPACING UNLESS OTHERWISE NOTED.
 2. EXTEND AND TIE THE NEW FLOOR FRAMING INTO EXISTING FRAMING SYSTEM AS REQUIRED FOR STRUCTURAL CONTINUITY. VERIFY ALL CONNECTIONS IN FIELD.
 3. EXISTING SUBFLOOR TO REMAIN AND BE RETAINED UNLESS DAMAGED OR REQUIRED TO BE REMOVED FOR NEW WORK. REPLACE ANY DETEIORATED OR UNLEVEL SECTIONS WITH NEW 3/4" T&G PLYWOOD TO MATCH ADJACENT FLOOR LEVEL.
 4. PROVIDE CONTINUOUS VAPOR BARRIER (8 MIL POLY) OVER GRADE IN CRAWL SPACE. OVERLAP JOINTS MINIMUM 6 INCHES AND SEAL PER CODE.
 5. PROVIDE CRAWL SPACE VENTILATION PER CRC 9048.1: MINIMUM 1 SQUARE FOOT OF NET FREE AREA PER 150 SQUARE FEET OF CRAWL SPACE FLOOR AREA.
 6. MAINTAIN EXISTING CRAWL SPACE ACCESS OR PROVIDE NEW ACCESS OPENING (MINIMUM 18" x 24") FROM EXISTING AREA TO NEW ADDITION AREA.

- ROOF VENTILATION NOTES:**
1. PROVIDE VENTED ATTIC SPACE FOR THE NEW 180 SF ADDITION.
 2. ATTIC ACCESS SHALL BE PROVIDED THROUGH EXISTING ATTIC SPACE VIA EXISTING CEILING ACCESS HATCH. VERIFY CONTINUITY AND CLEAR OPENING IN FIELD.
 3. ATTIC VENTILATION SHALL BE BALANCED BETWEEN INTAKE (LOW - EAVE OR SOFFIT) AND EXHAUST (HIGH - RIDGE OR GABLE) LOCATIONS TO MEET CODE REQUIREMENTS.
 4. PROVIDE MINIMUM TOTAL NET FREE VENTILATING AREA (NFVA) OF APPROXIMATELY 8 SQUARE FEET (1.26 SQUARE INCHES) BASED ON TOTAL ATTIC AREA OF APPROXIMATELY 1,300 SQUARE FEET AT THE 1/150 RATIO.
 5. WHEN A CONTINUOUS RIDGE VENT AND BALANCED SOFFIT VENTS ARE INSTALLED WITH A CLASS I OR II VAPOR RETARDER AT THE CEILING, THE REDUCED 1/300 RATIO MAY BE USED (NFVA = 4.5 SF OR 648 IN²).
 6. USE LOW-PROFILE METAL OR SHINGLE-TYPE RIDGE VENTS AND CONTINUOUS SOFFIT VENTS TO MATCH EXISTING ROOF SYSTEM AND COLOR.
 7. TYPICAL NET FREE VENT AREA PER ROOF OR SOFFIT VENT IS APPROXIMATELY 60 SQUARE INCHES. INSTALL QUANTITY AS REQUIRED TO ACHIEVE MINIMUM TOTAL NFVA.
 8. DISTRIBUTE VENTS EVENLY BETWEEN INTAKE AND EXHAUST LOCATIONS TO BALANCE AIRFLOW AND AVOID HOT SPOTS.
 9. VERIFY FINAL VENT LOCATIONS TO AVOID CONFLICTS WITH RAFTERS, FRAMING MEMBERS, LIGHT FIXTURES, OR CEILING INSULATION.
 10. ROOF CONSTRUCTION SHALL BE WOOD STICK FRAMING WITH PLYWOOD SHEATHING AND ASPHALT SHINGLE FINISH AT APPROXIMATE 5:12 SLOPE.
 11. ALL NEW ROOF VENTS SHALL BE FLASHED AND WEATHERPROOFED PER MANUFACTURER'S INSTRUCTIONS AND COORDINATED WITH EXISTING ROOF MATERIALS AND COLOR.
 12. ALL WORK SHALL COMPLY WITH 2022 CALIFORNIA BUILDING CODE SECTION 1202.2.1 AND 2022 CALIFORNIA RESIDENTIAL CODE SECTION R806.2.

- PROVIDE NEW ROOF FRAMING, SHEATHING PER STRUCTURAL NEW FINISHES TO MATCH EXISTING ROOF CONSTRUCTION IN MATERIAL, PITCH, AND APPEARANCE. INSTALL NEW GUTTERS, DOWNSPOUTS, AND FASCIA TO MATCH EXISTING CONDITIONS. PROVIDE CONTINUOUS WEATHER BARRIER AND WATERPROOF SEAL AT ALL TRANSITIONS BETWEEN EXISTING AND NEW ROOF TO ENSURE POSITIVE DRAINAGE AND PROPER WATER FLOW.
- PROVIDE NEW CRICKET (SADDLE) AT ROOF TIE-IN TO ENSURE POSITIVE DRAINAGE AWAY FROM INTERSECTION OF NEW AND EXISTING ROOF. FRAME CRICKET WITH MINIMUM 1" PER FOOT SLOPE. MATCH EXISTING ROOF PITCH AND FRAMING MATERIALS. INSTALL NEW SHEATHING, UNDERLAYMENT, FLASHING, AND SHINGLES TO MATCH EXISTING ROOF. ENSURE CONTINUOUS WATERPROOFING AND PROPER OVERLAP OF UNDERLAYMENT AND FLASHING. VERIFY FINAL CRICKET SIZE AND CONFIGURATION IN FIELD FOR POSITIVE DRAINAGE.
- GALVANIZED METAL VALLEY FLASHING AT NEW CRICKET AND ROOF INTERSECTION, SEE 3 / A-702



GENERAL NOTES

- GENERAL BUILDING & CODE NOTES**
1. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED WITH BATTERY BACKUP IN ALL BEDROOMS AND ADJACENT HALLWAYS PER CRC R314 AND R315.
 2. GAS SHUT-OFF VALVES SHALL BE PROVIDED AT EACH APPLIANCE AND AT METER PER LOCAL ORDINANCE.
 3. ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), AND ALL APPLICABLE LOCAL ORDINANCES.
- PLUMBING NOTES**
1. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED EGRESS OPENING. CPC 408.
 2. SHOWER AND TUB/SHOWER WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE (E.G., CERAMIC TILE, FIBERGLASS, ETC.) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., WATER RESISTANT OYSIUM BOARD, GREEN BOARD, ETC.) TO A HEIGHT OF 6 FEET ABOVE THE FLOOR. CRC R307.2 AND R302.3.7.
 3. PRESCRIBED MAXIMUM FLOW RATES
SHOWERSHEADS: 1.8 GALLONS PER MINUTE (GPM) @ 80PSI
LAVATORY FAUCETS: 1.2 GPM @ 80PSI
WATER CLOSURES: 1.2 GPM @ 80PSI
4. PROVIDE BACKFLOW PREVENTERS OR ATMOSPHERIC VACUUM BREAKERS ON ALL EXTERIOR NOSE BIBBS.
 5. ALL FIXTURE CONNECTIONS AND TRAPS TO COMPLY WITH CPC REQUIREMENTS.
 6. PROVIDE SHUT-OFF VALVES AT ALL NEW FIXTURES AND APPLIANCES.

- HVAC & ENERGY NOTES**
1. EXISTING EXISTING HVAC SYSTEM TO SERVE NEW BEDROOM AND BATHROOM AREA. VERIFY SYSTEM CAPACITY AND BALANCE SUPPLY/RETURN REGISTERS AS REQUIRED.
 2. ALL MULTIPLE SEAMS AND JOINTS SHALL BE SEALED WITH MASTIC PER TITLE 24 REQUIREMENTS.
 3. PROVIDE ENERGY STAR-RATED BATHROOM EXHAUST FAN WITH HUMIDITY SENSOR AND BACKDRAFT DAMPER.
 4. BATH EXHAUST FAN SHALL VENT DIRECTLY TO THE EXTERIOR.
 5. INSTALL MERV 8 OR BETTER FILTERS IN EXISTING RETURN AIR SYSTEM.
 6. ALL NEW LIGHTING TO COMPLY WITH TITLE 24 HIGH-EFFICACY REQUIREMENTS.
 7. MECHANICAL VENTILATION SHALL COMPLY WITH ASHRAE 62.2 AND CALGREEN SECTION 4.506.
- ROOF GENERAL NOTES:**
1. CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS AND COORDINATE ALL ROOF WORK ACCORDINGLY. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
 2. REFER TO FLOOR PLANS, REFLECTED CEILING PLANS, SECTIONS, AND ELEVATIONS FOR ADDITIONAL DIMENSIONS, ROOF HEIGHTS, AND CONSTRUCTION INFORMATION.
 3. PROVIDE ROOF INSULATION IN ACCORDANCE WITH 2022 TITLE 24 ENERGY CODE REQUIREMENTS.
 4. ROOFING DETAILS SHOWN ARE DIAGRAMMATIC AND INTENDED TO CONVEY DESIGN INTENT ONLY. FINAL MEANS, METHODS, MATERIAL SELECTION, SHOP DRAWINGS, AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND LICENSED ROOFING SUBCONTRACTOR. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND PROVIDE A COMPLETE, CODE-COMPLIANT, WATERIGHT INSTALLATION PER MANUFACTURER REQUIREMENTS. ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINAL WATERPROOFING PERFORMANCE.

5. WATERPROOFING DETAILS ARE PROVIDED IN ACCORDANCE WITH INDUSTRY BEST PRACTICES AND MANUFACTURER RECOMMENDATIONS. CONTRACTOR SHALL VERIFY AND IMPLEMENT ALL REQUIRED MEASURES TO ENSURE A WATERIGHT INSTALLATION. ARCHITECTURAL PLANS DO NOT INCLUDE FULL WATERPROOFING SHOP DRAWINGS OR SYSTEM ENGINEERING. CONTRACTOR AND WATERPROOFING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FINAL MEANS, METHODS, AND INSTALLATION PER CODE AND MANUFACTURER REQUIREMENTS.
6. NEW ROOF FRAMING, SHEATHING, UNDERLAYMENT, FLASHING, AND SHINGLES SHALL MATCH EXISTING ROOF MATERIALS, COLOR, AND SLOPE FOR A SEAMLESS APPEARANCE.
7. INSTALL NEW GUTTERS, DOWNSPOUTS, AND FASCIA TO MATCH EXISTING CONDITIONS.
8. PROVIDE CONTINUOUS WEATHER BARRIER AND WATERPROOF SEAL AT ALL TRANSITIONS BETWEEN EXISTING AND NEW ROOF SURFACES.
9. PROVIDE ATTIC VENTILATION PER CODE AT EAVES AND RIDGES FOR VENTILATED ATTIC SYSTEMS.
10. ROOF DRAINAGE SHALL BE DIRECTED TO APPROVED LOCATIONS PER LOCAL REQUIREMENTS.
11. INSTALL CRICKETS, SADDLES, AND TAPERED INSULATION AS REQUIRED TO PROMOTE POSITIVE DRAINAGE.
12. ROOF PENETRATIONS SHALL BE PROPERLY SEALED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS AND LOCAL CODE REQUIREMENTS.
13. PAINT ALL ROOF-MOUNTED EQUIPMENT TO MATCH ADJACENT SURFACES OR AS DIRECTED BY OWNER.
14. PROVIDE WALK PADS AT EQUIPMENT SERVICE AREAS WHERE REQUIRED BY CODE OR OWNER DIRECTION.

NOTE: ALL FIXTURES, FINISHES, CASEWORK, TRIM DETAILS, EQUIPMENT, APPLIANCES, HARDWARE, AND SPECIALTIES TO BE SELECTED BY OWNER. CONTRACTOR SHALL COORDINATE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS AND CONFIRM ALL ROUGH-IN REQUIREMENTS PRIOR TO CONSTRUCTION.

GRAPHIC KEY

- | | | | |
|--|--------------------------------------|--|--|
| | (E) WALL TO REMAIN | | ROOFING: ASPHALT SHINGLES, COLOR TO BE SELECTED BY OWNER. NEW SHINGLES SHALL MATCH EXISTING IN COLOR, TEXTURE, AND APPEARANCE. SEE 5 / A-702 |
| | PARTITION WALL, REFER TO A-701 | | TILE FLOOR, SELECTED BY OWNER |
| | 1HR RATED SEPARATION, REFER TO A-701 | | FLOOR, SELECTED BY OWNER |
| | (E) CONCRETE WALL, S.S.D | | |
| | WALL TYPES, REFER TO A-701 | | |
| | DOOR TYPE, SEE DOOR SCHEDULE | | |
| | WINDOW TYPE, SEE WINDOW SCHEDULE | | |

EVA ARCHITECTS

1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
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www.eva-architects.com

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CONSULTANT'S STAMP

PROJECT TITLE

BEDROOM EXPANSION

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470 SANTA RITA AVE, MENLO PARK, CA 94025

No.	Description	Date
	BUILDING SUBMITTAL	11/18/25
	USE PERMIT	03/26/26
1	USE PERMIT RESUBMITTAL	05/29/26
2	USE PERMIT RESUBMITTAL 2	07/16/26
3	USE PERMIT RESUBMITTAL 3	7/23/26

TITLE

EXTERIOR ELEVATIONS -
WEST EXISTING &
PROPOSED

ARCHITECT STAMP



APPLICATION NUMBER

BLD2025-03360, PLN2026-00012

DATE

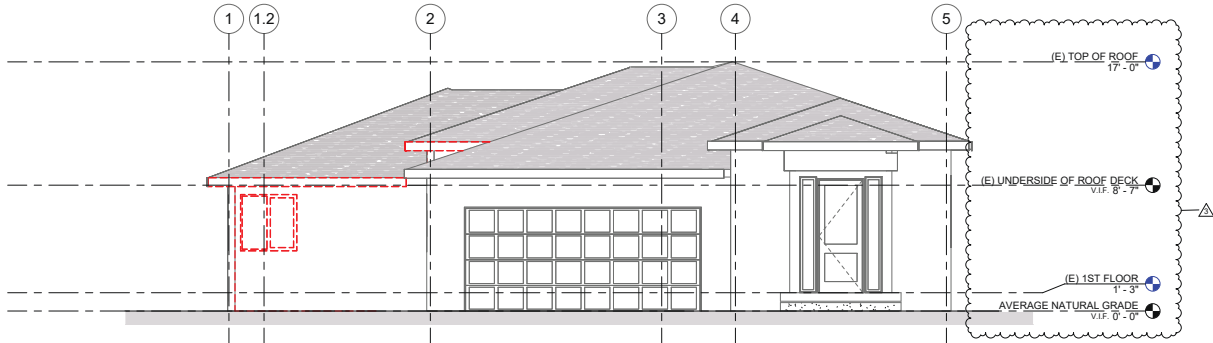
05/29/2026

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DRAWING NUMBER

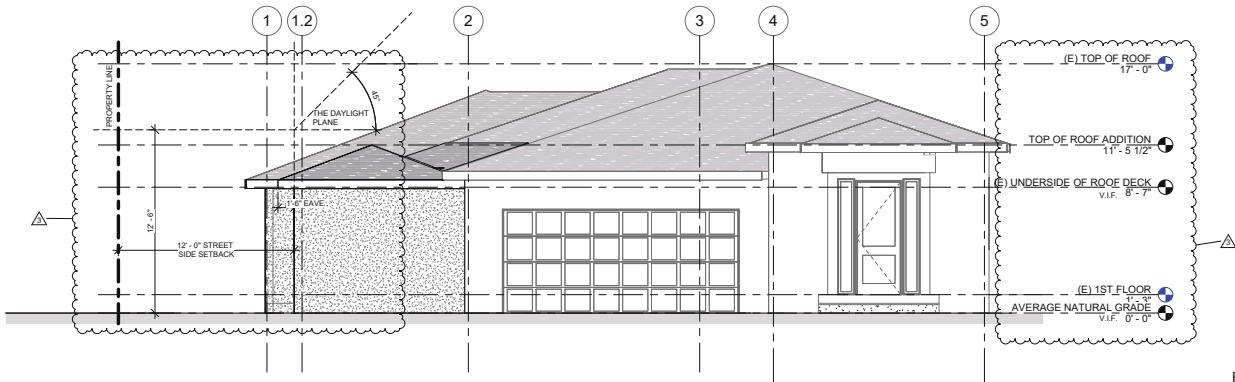
A-501



BUILDING WEST ELEVATION - EXISTING

1/4" = 1'-0"

1



BUILDING WEST ELEVATION - PROPOSED

1/4" = 1'-0"

2

GENERAL NOTES

EXISTING DEMOLITION ELEVATION NOTES

- REFER TO FLOOR PLANS, SECTIONS, AND DEMOLITION PLANS FOR THE EXTENT OF DEMOLITION AND COORDINATION OF WORK.
- ELEVATION DEMOLITION IS DIAGRAMMATIC. CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS AND IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMMODATE NEW CONSTRUCTION, EVEN IF NOT SPECIFICALLY INDICATED ON THE DRAWINGS.
- PROTECT ALL EXISTING STRUCTURE AND FINISHES TO REMAIN. PATCH AND REPAIR ALL SURFACES AFFECTED BY DEMOLITION TO MATCH EXISTING IN MATERIAL, TEXTURE, AND FINISH.
- REMOVE EXISTING ELEMENTS AS SHOWN OR REQUIRED, INCLUDING WINDOWS, DOORS, EXTERIOR LIGHT FIXTURES, CONDUITS, PIPING, AND APPURTENANCES NOT INDICATED TO REMAIN.
- REMOVE EXISTING GUTTERS, DOWNSPOUTS, AND FASCIA AS REQUIRED FOR NEW WORK. SALVAGE OR REPLACE TO MATCH EXISTING CONDITIONS AS DIRECTED BY OWNER.
- PATCH AND WEATHERPROOF ALL PENETRATIONS LEFT FROM REMOVED ITEMS. MAINTAIN CONTINUOUS WATERPROOF BUILDING ENVELOPE DURING CONSTRUCTION.
- ALL OPENINGS CREATED BY DEMOLITION SHALL BE TEMPORARILY WEATHERPROOFED AND SECURED UNTIL NEW WORK IS COMPLETED.
- COORDINATE WITH STRUCTURAL DRAWINGS PRIOR TO REMOVAL OF ANY LOAD-BEARING ELEMENTS. PROVIDE SHORING AND TEMPORARY SUPPORT AS REQUIRED.
- SALVAGE MATERIALS AS DIRECTED BY OWNER. DISPOSE OF ALL DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- DEMOLITION WORK SHALL COMPLY WITH OSHA SAFETY STANDARDS AND LOCAL JURISDICTION REQUIREMENTS.
- CONTROL DUST AND DEBRIS THROUGHOUT DEMOLITION AND MAINTAIN CLEAN SITE CONDITIONS AT ALL TIMES.

NEW ELEVATION NOTES

- REFER TO FLOOR PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL DIMENSIONS, MATERIALS, AND COORDINATION INFORMATION.
- NEW EXTERIOR WALLS TO MATCH EXISTING FINISHES IN MATERIAL, TEXTURE, AND COLOR.
- NEW STUCCO TO MATCH EXISTING TEXTURE AND COLOR. PROVIDE CONTROL JOINTS AND SEALANTS PER MANUFACTURER'S RECOMMENDATIONS.
- NEW WINDOWS AND DOORS TO MATCH EXISTING STYLE, MATERIAL, AND COLOR UNLESS OTHERWISE SPECIFIED.
- PROVIDE FLASHING AND SEALANT AT ALL NEW OPENINGS AND PENETRATIONS TO ENSURE CONTINUOUS WEATHERPROOFING.
- INSTALL NEW GUTTERS, DOWNSPOUTS, AND FASCIA TO MATCH EXISTING DIMENSIONS, PROFILE, AND COLOR.
- GUTTERS AND DOWNSPOUTS SHALL BE ALUMINUM OR GALVANIZED METAL, FACTORY-PAINTED TO MATCH EXISTING COLOR.
- EXTEND DOWNSPOUTS AND WATER LEADERS TO DIRECT ROOF DRAINAGE TO APPROVED OUTLETS OR SPLASH BLOCKS AWAY FROM FOUNDATION PER LOCAL REQUIREMENTS.
- ALL ROOF MATERIALS (SHEATHING, UNDERLAYMENT, FLASHING, AND SHINGLES) SHALL MATCH EXISTING ROOF MATERIALS, COLOR, AND SCOPE.
- ALL PENETRATIONS THROUGH EXTERIOR WALLS, ROOFS, OR FLOORS SHALL BE SEALED AND FLASHED TO MAINTAIN WEATHER-TIGHT AND INSULATED ENVELOPE.
- PATCH ALL NEW AND PATCHED SURFACES TO MATCH EXISTING ADJACENT COLORS AND FINISHES, INCLUDING TRIM, METAL ELEMENTS, AND ACCESSORIES.
- ALL EXTERIOR FIXTURES AND ACCESSORIES TO BE INSTALLED IN LOCATIONS APPROVED BY OWNER.
- VERIFY ALL EXTERIOR MATERIAL AND COLOR MATCHES IN FIELD PRIOR TO INSTALLATION.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ENSURE ALL NEW ROOF AND SITE DRAINAGE CONNECTIONS ARE DIRECTED TO APPROVED LOCATIONS.

GRAPHIC KEY

- (E) ITEMS TO BE REMOVED/DEMOLISHED
- - - (E) ITEMS TO REMAIN
- (E) STUCCO FINISH TO REMAIN, TYP
- [Pattern] NEW STUCCO TO MATCH EXISTING TEXTURE AND COLOR; PROVIDE CONTROL JOINTS AND SEALANTS PER MANUFACTURER'S RECOMMENDATIONS.
- [Pattern] (E) ROOFING: ASPHALT SHINGLES
- [Pattern] ROOFING: ASPHALT SHINGLES. COLOR TO BE SELECTED BY OWNER. NEW SHINGLES SHALL MATCH EXISTING IN COLOR, TEXTURE, AND APPEARANCE.
- NEW ELEMENTS

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1	USE PERMIT RESUBMITTAL	05/29/26
2	USE PERMIT RESUBMITTAL 2	07/16/26
3	USE PERMIT RESUBMITTAL 3	7/23/26

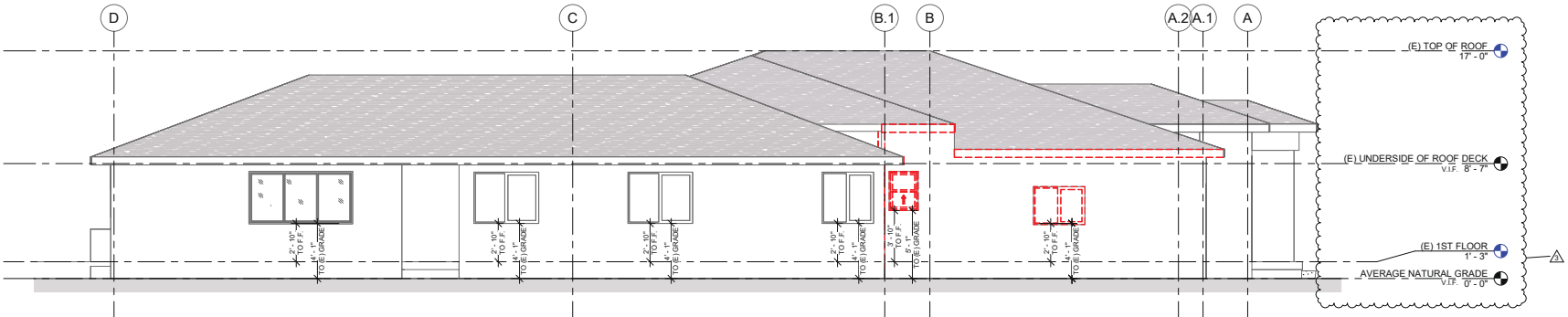
TITLE
**EXTERIOR ELEVATIONS -
NORTH EXISTING &
PROPOSED**

ARCHITECT STAMP

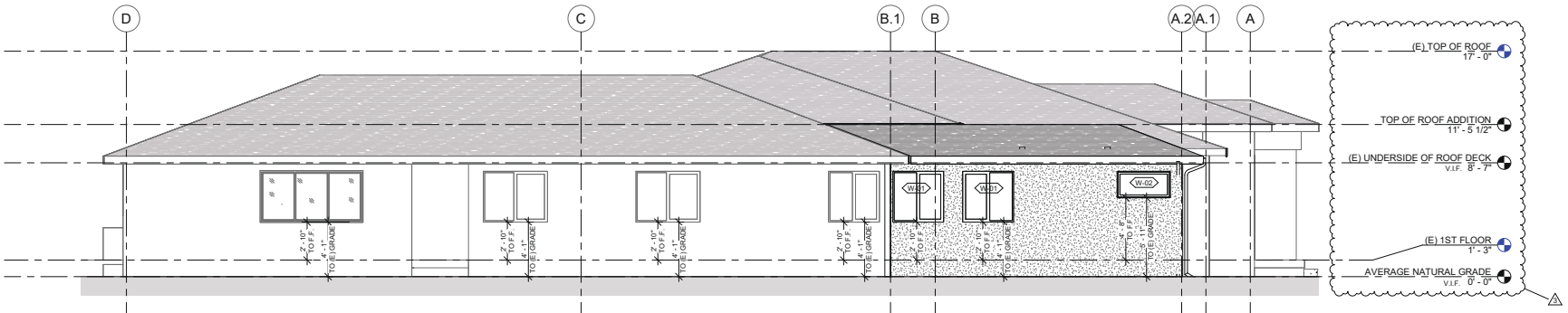


APPLICATION NUMBER
BLD2025-03360, PLN2026-00012
DATE
05/29/2026
PROJECT NUMBER
25017

DRAWING NUMBER
A-502



BUILDING NORTH ELEVATION - EXISTING 1/4" = 1'-0" 1



BUILDING NORTH ELEVATION - PROPOSED 1/4" = 1'-0" 2

GENERAL NOTES

EXISTING DEMOLITION ELEVATION NOTES

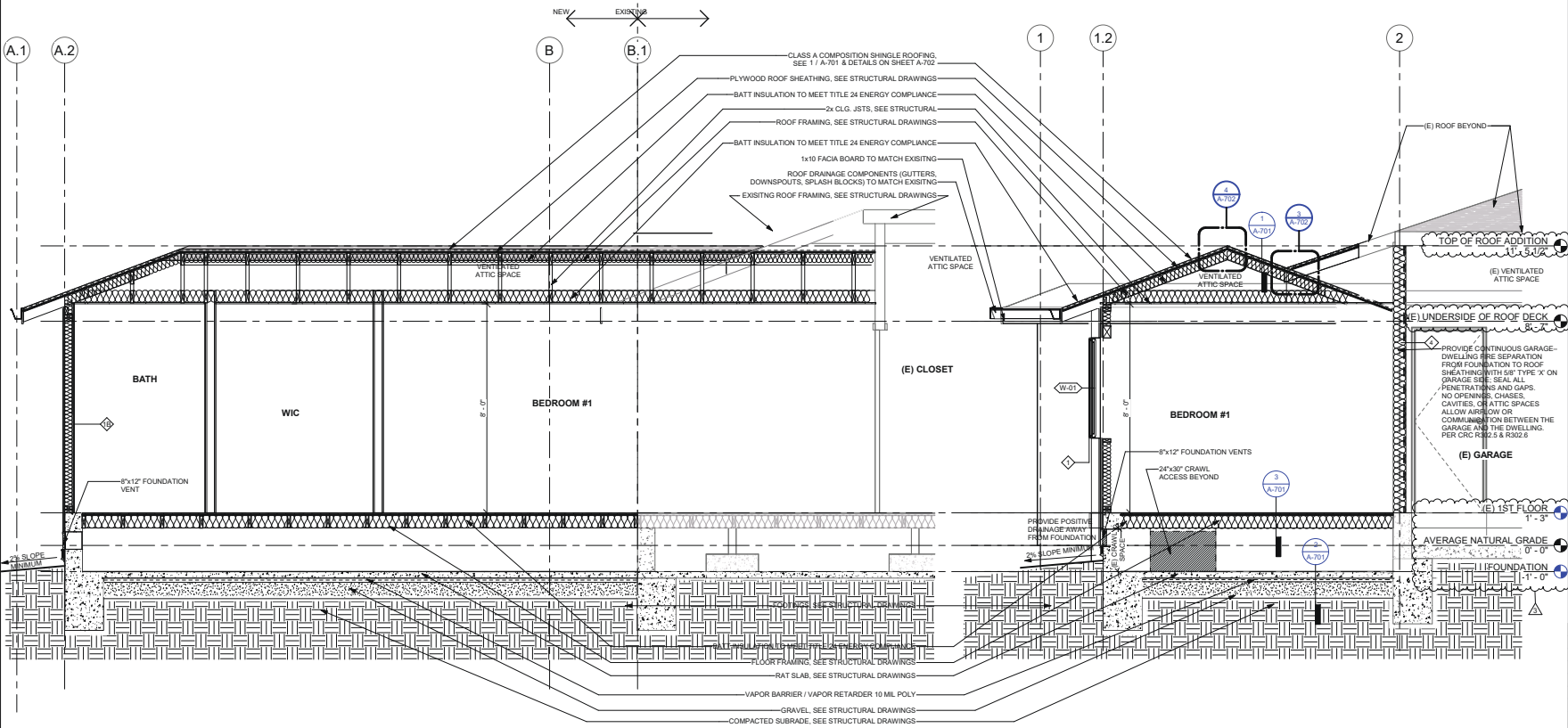
- REFER TO FLOOR PLANS, SECTIONS, AND DEMOLITION PLANS FOR THE EXTENT OF DEMOLITION AND COORDINATION OF WORK.
- ELEVATION DEMOLITION IS DIAGRAMMATIC. CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS AND IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMMODATE NEW CONSTRUCTION, EVEN IF NOT SPECIFICALLY INDICATED ON THE DRAWINGS.
- PROTECT ALL EXISTING STRUCTURE AND FINISHES TO REMAIN. PATCH AND REPAIR ALL SURFACES AFFECTED BY DEMOLITION TO MATCH EXISTING IN MATERIAL, TEXTURE, AND FINISH.
- REMOVE EXISTING ELEMENTS AS SHOWN OR REQUIRED, INCLUDING WINDOWS, DOORS, EXTERIOR LIGHT FIXTURES, CONDUITS, PIPING, AND APPURTENANCES NOT INDICATED TO REMAIN.
- REMOVE EXISTING GUTTERS, DOWNSPOUTS, AND FASCIA AS REQUIRED FOR NEW WORK. SALVAGE OR REPLACE TO MATCH EXISTING CONDITIONS AS DIRECTED BY OWNER.
- PATCH AND WEATHERPROOF ALL PENETRATIONS LEFT FROM REMOVED ITEMS. MAINTAIN CONTINUOUS WATERPROOF BUILDING ENVELOPE DURING CONSTRUCTION.
- ALL OPENINGS CREATED BY DEMOLITION SHALL BE TEMPORARILY WEATHERPROOFED AND SECURED UNTIL NEW WORK IS COMPLETED.
- COORDINATE WITH STRUCTURAL DRAWINGS PRIOR TO REMOVAL OF ANY LOAD-BEARING ELEMENTS. PROVIDE SHORING AND TEMPORARY SUPPORT AS REQUIRED.
- SALVAGE MATERIALS AS DIRECTED BY OWNER. DISPOSE OF ALL DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- DEMOLITION WORK SHALL COMPLY WITH OSHA SAFETY STANDARDS AND LOCAL JURISDICTION REQUIREMENTS.
- CONTROL DUST AND DEBRIS THROUGHOUT DEMOLITION AND MAINTAIN CLEAN SITE CONDITIONS AT ALL TIMES.

NEW ELEVATION NOTES

- REFER TO FLOOR PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL DIMENSIONS, MATERIALS, AND COORDINATION INFORMATION.
- NEW EXTERIOR WALLS TO MATCH EXISTING FINISHES IN MATERIAL, TEXTURE, AND COLOR.
- NEW STUCCO TO MATCH EXISTING TEXTURE AND COLOR. PROVIDE CONTROL JOINTS AND SEALANTS PER MANUFACTURER'S RECOMMENDATIONS.
- NEW WINDOWS AND DOORS TO MATCH EXISTING STYLE, MATERIAL, AND COLOR UNLESS OTHERWISE SPECIFIED.
- PROVIDE FLASHING AND SEALANT AT ALL NEW OPENINGS AND PENETRATIONS TO ENSURE CONTINUOUS WEATHERPROOFING.
- INSTALL NEW GUTTERS, DOWNSPOUTS, AND FASCIA TO MATCH EXISTING DIMENSIONS, PROFILE, AND COLOR.
- GUTTERS AND DOWNSPOUTS SHALL BE ALUMINUM OR GALVANIZED METAL, FACTORY-PAINTED TO MATCH EXISTING COLOR.
- EXTEND DOWNSPOUTS AND WATER LEADERS TO DIRECT ROOF DRAINAGE TO APPROVED OUTLETS OR SPLASH BLOCKS AWAY FROM FOUNDATION PER LOCAL REQUIREMENTS.
- ALL ROOF MATERIALS (SHEATHING, UNDERLAYMENT, FLASHING, AND SHINGLES) SHALL MATCH EXISTING ROOF MATERIALS, COLOR, AND SLOPE.
- ALL PENETRATIONS THROUGH EXTERIOR WALLS, ROOFS, OR FLOORS SHALL BE SEALED AND FLASHED TO MAINTAIN WEATHER-TIGHT AND INSULATED ENVELOPE.
- PATCH ALL NEW AND PATCHED SURFACES TO MATCH EXISTING ADJACENT COLORS AND FINISHES, INCLUDING TRIM, METAL ELEMENTS, AND ACCESSORIES.
- ALL EXTERIOR FIXTURES AND ACCESSORIES TO BE INSTALLED IN LOCATIONS APPROVED BY OWNER.
- VERIFY ALL EXTERIOR MATERIAL AND COLOR MATCHES IN FIELD PRIOR TO INSTALLATION.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ENSURE ALL NEW ROOF AND SITE DRAINAGE CONNECTIONS ARE DIRECTED TO APPROVED LOCATIONS.

GRAPHIC KEY

- (E) ITEMS TO BE REMOVED/DEMOLISHED
- (E) ITEMS TO REMAIN
- (E) STUCCO FINISH TO REMAIN, TYP
- [Pattern] NEW STUCCO TO MATCH EXISTING TEXTURE AND COLOR; PROVIDE CONTROL JOINTS AND SEALANTS PER MANUFACTURER'S RECOMMENDATIONS.
- [Pattern] (E) ROOFING: ASPHALT SHINGLES
- [Pattern] ROOFING: ASPHALT SHINGLES. COLOR TO BE SELECTED BY OWNER. NEW SHINGLES SHALL MATCH EXISTING IN COLOR, TEXTURE, AND APPEARANCE.
- NEW ELEMENTS



SECTION 1/2" = 1'-0" 1

SECTION 1/2" = 1'-0" 2

GENERAL NOTES

1. ITEMS ON WALLS, FLOORS, ROOFS, AND BEYOND CUT LINES ARE SHOWN FOR REFERENCE ONLY. SOME COMPONENTS MAY BE OMITTED FOR CLARITY. REFER TO INTERIOR ELEVATIONS, ENLARGED DETAILS, AND MANUFACTURER LITERATURE FOR ADDITIONAL INFORMATION.

2. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING ALL DRAWINGS AND SPECIFICATIONS FROM ALL DISCIPLINES ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, LANDSCAPE, AND TRUSS MANUFACTURER, REPORT DISCREPANCIES PRIOR TO PROCEEDING.

3. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONNECTIONS, MEMBERS, HOLD-DOWNS, SHEAR WALL REQUIREMENTS, REINFORCEMENT, FOOTINGS, AND FRAMING DETAILS.

4. STRUCTURAL ELEMENTS ARE SHOWN DIAGMATICALLY. FINAL SIZES, BRACING, CONNECTORS, AND BEARING REQUIREMENTS SHALL BE PER STRUCTURAL DRAWINGS AND APPROVED TRUSS SUBMITTALS.

5. ALL EXTERIOR WALLS, ROOF ASSEMBLIES, WINDOWS, DOORS, AND PENETRATIONS SHALL BE FULLY WEATHERTIGHT AND WATERPROOFED PER CRC/IBC, LOCAL AMENDMENTS, AND MANUFACTURER REQUIREMENTS. PROVIDE CONTINUOUS WRB, AIR BARRIER, SEALANTS, FLASHING, SILL PANS, HEAD FLASHINGS, KICK-OUT FLASHINGS, AND ROOF-TO-WALL TRANSITIONS.

6. ALL WATERPROOFING AND WEATHERPROOFING DETAILS SHOWN ARE DIAGMATIC AND INDICATE DESIGN INTENT ONLY. FINAL SYSTEMS, MEANS, METHODS, MATERIAL SELECTION, SHOP DRAWINGS, AND COMPLETE WATERTIGHT INSTALLATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND QUALIFIED WATERPROOFING SUBCONTRACTOR. ARCHITECT ASSUMES NO LIABILITY FOR WATERPROOFING PERFORMANCE OR WATER INTRUSION.

7. CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO FABRICATION OR CONSTRUCTION. REPORT CONFLICTS OR DISCREPANCIES BEFORE PROCEEDING.
8. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS WITH MINIMUM 5% SLOPE FOR FIRST 10 FEET, UNLESS SITE CONSTRAINTS REQUIRE ALTERNATIVE COMPLIANCE.

9. ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO EARTH OR WEATHER SHALL BE PRESSURE-TREATED OR NATURALLY DECAY-RESISTANT.

10. PROVIDE ATTIC AND CRAWL SPACE VENTILATION PER CRC/IBC, INCLUDING Baffles AT Eaves, ADEQUATE NET FREE VENTILATION AREA, AND BALANCED INTAKE/EXHAUST.

11. PROVIDE ATTIC ACCESS AND CRAWL SPACE ACCESS PER CODE IN LOCATIONS FREE OF OBSTRUCTIONS. MAINTAIN CLEARANCES AROUND MECHANICAL AND ELECTRICAL EQUIPMENT.

12. ALL INSULATION, AIR BARRIERS, AND VAPOR RETARDERS SHALL BE INSTALLED PER TITLE 24, ENERGY COMPLIANCE FORMS, AND MANUFACTURER REQUIREMENTS. ENSURE CONTINUITY AT ALL WALLS, CEILINGS, FLOORS, AND PENETRATIONS.

13. PROVIDE ALL REQUIRED FIREBLOCKING, DRAFTSTOPPING, AND FIRE-RESISTIVE ASSEMBLIES PER CODE, INCLUDING AT PENETRATIONS, CONCEALED SPACES, FLOOR/ATTIC SEPARATIONS, AND UTILITY CHASES.

14. GARAGE SEPARATION: PROVIDE ALL FIRE-RESISTIVE SEPARATIONS BETWEEN GARAGE AND DWELLING PER CRC, INCLUDING REQUIRED RATED WALLS AND CEILINGS, PROTECTED STRUCTURAL MEMBERS, SELF-CLOSING AND SELF-LATCHING 20-MINUTE FIRE-RATED DOOR, AND SEALED PENETRATIONS. NO DUCT OPENINGS FROM THE DWELLING INTO THE GARAGE EXCEPT AS PERMITTED BY CODE.

15. ALL ROOF SLOPES, MATERIALS, AND ASSEMBLIES SHALL BE VERIFIED PER STRUCTURAL DRAWINGS AND MANUFACTURER REQUIREMENTS. MAINTAIN UNDERLAYMENT LAPS, ICE BARRIERS (IF REQUIRED), PROPER RIDGE AND EAVE VENTILATION, AND WATERTIGHT TRANSITIONS.
16. CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE-SPRINKLER, AND LOW-VOLTAGE SYSTEMS TO AVOID CONFLICTS, MAINTAIN REQUIRED CLEARANCES, AND PROTECT STRUCTURAL ELEMENTS.

17. SEAL ALL EXTERIOR AND INTERIOR PENETRATIONS FOR AIR SEALING, FIRE RATINGS, SOUND RATINGS, AND WATERPROOFING AS APPLICABLE.

18. CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS, LOCAL BUILDING REGULATIONS, INSPECTION REQUIREMENTS, AND MANUFACTURER INSTALLATION STANDARDS.

EVA ARCHITECTS

1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

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CONSULTANT'S STAMP

PROJECT TITLE

BEDROOM EXPANSION

(V.I.F. - VARIES)

(APN # 071-381-110)

470 SANTA RITA AVE, MENLO PARK, CA 94025

No.	Description	Date
	BUILDING SUBMITTAL	11/18/25
	USE PERMIT	03/26/26
1	USE PERMIT RESUBMITTAL	05/29/26
2	USE PERMIT RESUBMITTAL 2	07/16/26
3	USE PERMIT RESUBMITTAL 3	7/23/26

TITLE

BUILDING SECTIONS

ARCHITECT STAMP



APPLICATION NUMBER
BLD2025-02360, PLN2026-00012

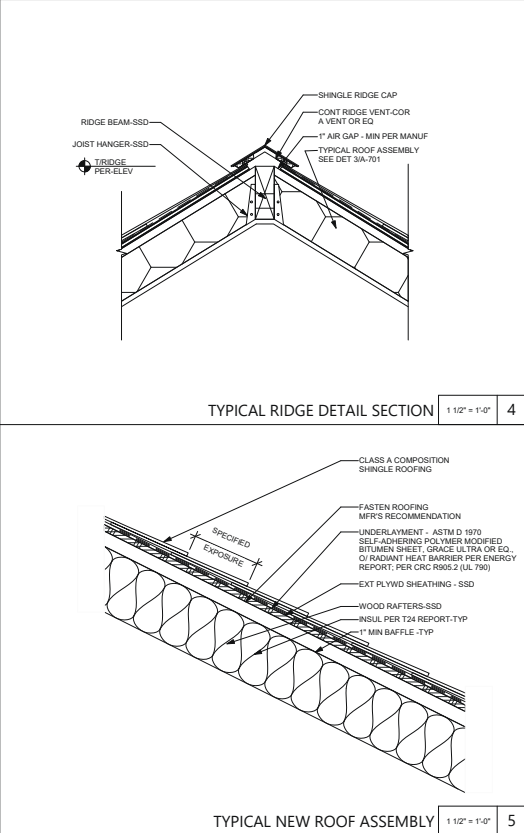
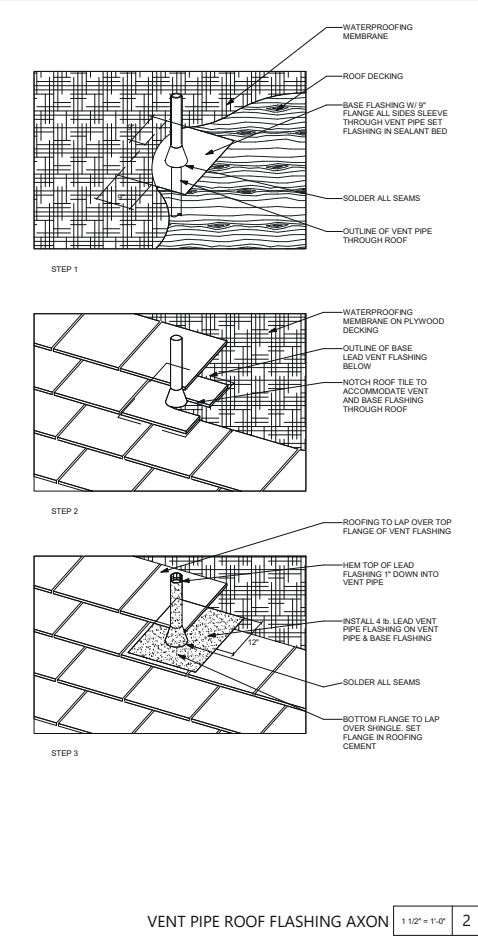
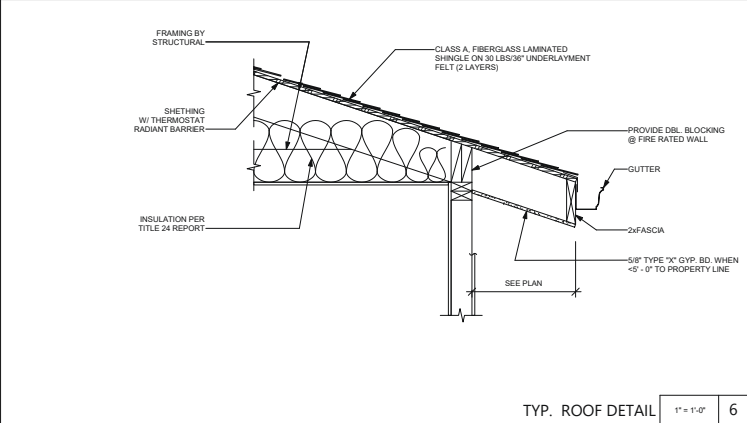
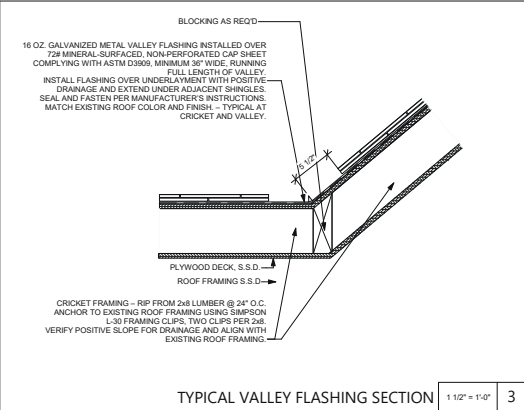
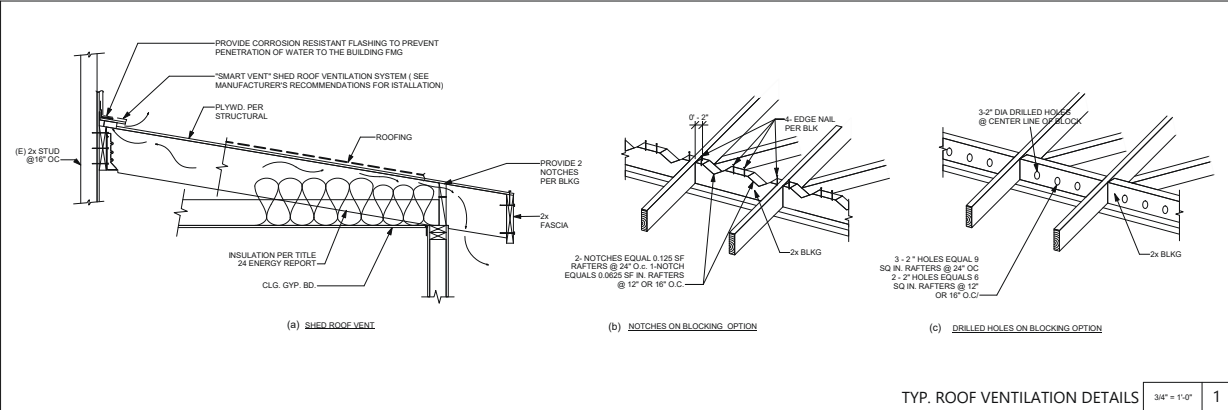
DATE
05/29/2026

PROJECT NUMBER
25017

DRAWING NUMBER

A-601

TYP. ROOF ASSEMBLY - VENTED ROOF		3\"/>	1	TYP. WD FLOOR ASSEMBLY		3\"/>	3
						3\"/>	5
1 EXTERIOR WALL - STUCCO		2 2X WD-FRAMED INTERIOR PARTITION		3 2X WD-FRAMED WALL W/ TILE 1-SIDE INTERIOR PARTITION		4 1HR - 2X WD-FRAMED INTERIOR PARTITION	
5 2X WD-FRAMED INTERIOR CHASE WALL		6 2X WD-FRAMED INTERIOR CHASE WALL		7 2X WD-FRAMED INTERIOR CHASE WALL		8 2X WD-FRAMED INTERIOR CHASE WALL	
1B EXTERIOR WALL - STUCCO W/ TILE FINISH SIM TO 3							



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1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
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CONSULTANT'S STAMP

PROJECT TITLE
BEDROOM EXPANSION

APN # 071-381-110
470 SANTA RITA AVE, MENLO PARK, CA 94025

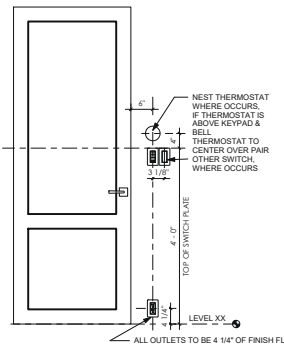
No.	Description	Date
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2	USE PERMIT	03/26/26

TITLE
ROOF DETAILS

ARCHITECT STAMP

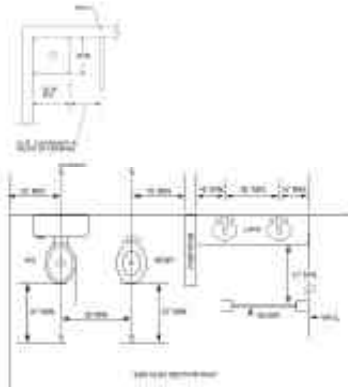
APPLICATION NUMBER	DRAWING NUMBER
BLD2025-03360, PLN2026-00012	A-702
DATE 05/29/2026	
PROJECT NUMBER 25017	

A17



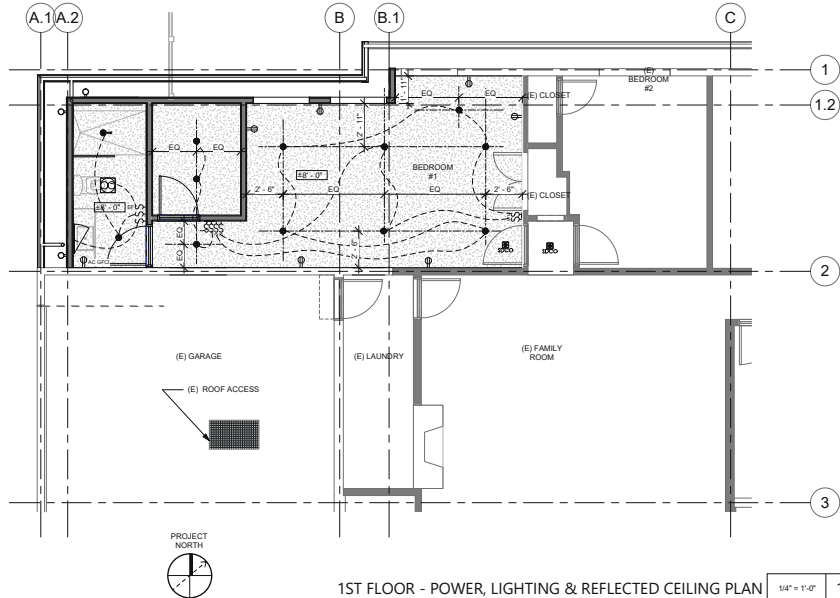
TYPICAL OUTLET & SWITCH DETAIL

3/4" = 1'-0" 3



TYPICAL PLUMBING DIMENSIONS

1" = 1'-0" 2



1ST FLOOR - POWER, LIGHTING & REFLECTED CEILING PLAN

1/4" = 1'-0" 1

MECHANICAL GENERAL NOTES

1. ALL MECHANICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (TITLE 24), 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
2. NEW DUCTWORK AND REGISTERS SHALL CONNECT TO THE EXISTING HVAC SYSTEM TO PROVIDE HEATING AND COOLING TO THE NEW BEDROOM, BATHROOM, AND WALK-IN CLOSET. MATCH EXISTING SYSTEM TYPE AND CONTROLS.
3. MECHANICAL SUPPLY AND RETURN REGISTERS TO BE LOCATED PER CLIENT DIRECTION.
4. ALL GAS-FIRED HVAC AND WATER HEATING EQUIPMENT TERMINATIONS SHALL COMPLY WITH CMC SECTION 802.64.
5. ALL COMBUSTION AIR REQUIREMENTS SHALL COMPLY WITH CMC CHAPTER 7.
6. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE A MINIMUM OF 3 FEET FROM PROPERTY LINES AND OPENINGS INTO THE BUILDING.
7. PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR OCCUPANCY.
8. ALL HVAC SYSTEMS SHALL COMPLY WITH TITLE 24 REQUIREMENTS FOR EFFICIENCY, DUCT SEALING, AND CONTROLS.
9. ALL EXHAUST FANS SHALL BE ENERGY STAR-RATED, HUMIDITY-CONTROLLED, AND DUCTED TO THE EXTERIOR IN COMPLIANCE WITH TITLE 24 AND CALGREEN SECTION 4.506.
10. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY A HUMIDITY SENSOR SWITCH AND CONNECTED TO EXTERIOR DUCT TERMINATION.
11. HUMIDITY SENSOR SWITCH FOR BATHROOM FANS SHALL BE LEVITON HUMIDITY SENSOR AND FAN CONTROL OR APPROVED EQUAL.
12. ALL FANS SHALL BE PANASONIC WHISPER FIT OR APPROVED EQUAL. FAN CFM AND LOCATIONS TO BE SPECIFIED BY MECHANICAL SUBCONTRACTOR AND APPROVED BY ARCHITECT.
13. MAXIMUM 1 SONE NOISE LEVEL FOR CONTINUOUSLY OPERATING 110 CFM EXHAUST FAN PER TITLE 24.
14. MECHANICAL VENTILATION SHALL COMPLY WITH ASHRAE 62.2 AND TITLE 24 VENTILATION REQUIREMENTS.
15. ALL HOT WATER PIPING SHALL BE INSULATED PER TITLE 24 STANDARDS.
16. BUILDING ENVELOPE, DUCTWORK, AND PENETRATIONS SHALL MEET OR EXCEED INSULATION AND AIR-SEALING REQUIREMENTS SPECIFIED BY TITLE 24.
17. CONTRACTOR SHALL PROVIDE ALL REQUIRED TITLE 24 COMPLIANCE DOCUMENTATION INCLUDING CF-1R, CF-6R, AND CF-3R FORMS PRIOR TO FINAL INSPECTION.
18. PROVIDE FINAL VENT SIZING AND EQUIPMENT SUBMITTALS FOR CLIENT AND ARCHITECT APPROVAL PRIOR TO INSTALLATION.
19. BATHROOM AND CLOSET OCCUPANCY SENSORS SHALL BE LUTRON MASTRO OR APPROVED EQUAL.
20. ALL LIGHT FIXTURES AND DECORATIVE LIGHTING TO BE SELECTED BY OWNER.
21. ALL AUDIOVISUAL WORK TO BE PROVIDED BY OTHERS. CLIENT TO CONTRACT DIRECTLY WITH AV CONSULTANT. GENERAL CONTRACTOR TO COORDINATE LOCATIONS AND POWER REQUIREMENTS.
22. SECURITY CAMERAS TO BE SPECIFIED BY OWNER. GENERAL CONTRACTOR TO COORDINATE INSTALLATION AND POWER CONNECTIONS.
23. VENTILATION TO MEET 2022 CALGREEN SECTION 4.506 "INDOOR AIR QUALITY AND EXHAUST".
24. ALL MECHANICAL WORK SHALL BE PERFORMED ON A DESIGN-BUILD BASIS.

LIGHTING GENERAL NOTES

1. ALL SWITCHES SHALL HAVE DIMMER CONTROL.
2. ALL DECORATIVE LIGHT FIXTURES TO BE PROVIDED BY OWNER. CONTRACTOR TO INSTALL JUNCTION BOXES, CONDUIT, AND WIRING AS REQUIRED.
3. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND ADJACENT HALLWAYS. SMOKE ALARMS SHALL BE HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP, AND INSTALLED PER 2022 CRC R314.
4. CARBON MONOXIDE (CO) DETECTORS SHALL BE UL 2034 LISTED, HARDWIRED WITH BATTERY BACKUP, INTERCONNECTED, AND INSTALLED PER 2022 CRC R315 AND NFPA 720.
5. LIGHT FIXTURES IN TUB/SHOWER ENCLOSURE SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS." CEC 410.10.
6. AT LEAST ONE LUMINAIRE IN EACH OF THE BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR. CA ENERGY CODE 150.0(K)(2).
7. RECESSED LUMINAIRES SHALL BE IC- AND AT-RATED, ACCESSIBLE FROM BELOW THE CEILING, AND JAB COMPLIANT. CA ENERGY CODE 150.0(K)(1)(C).
8. FIXTURES SHALL BE CENTERED AND EQUALLY SPACED UNLESS OTHERWISE NOTED.
9. MOUNT ALL SWITCHES APPROXIMATELY 50 INCHES ABOVE FINISHED FLOOR (AFF) AND MAINTAIN 1-INCH CLEARANCE FROM EDGE OF CASING.
10. ALL LIGHTING SHALL COMPLY WITH 2022 CALIFORNIA ENERGY CODE (TITLE 24).
11. ALL PERMANENT LIGHTING TO BE HIGH-EFFICACY PER TABLE 150.0.A.
12. WALK-IN CLOSET AND BATHROOM LIGHTING TO BE CONTROLLED BY VACANCY SENSORS.
13. LIGHTING AND EXHAUST FANS TO BE SWITCHED SEPARATELY.
14. ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR WITH INTEGRAL PHOTOSENSOR AND LABELED "SUITABLE FOR WET LOCATIONS".
15. SMOKE, CO LOCATIONS TO BE ALIGNED WITH LIGHT FIXTURES WHENEVER POSSIBLE.

POWER AND COMMUNICATION PLAN GENERAL NOTES

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALGREEN CODE, AND ALL APPLICABLE LOCAL ORDINANCES, INCLUDING EV CHARGER RACEWAY REQUIREMENT PER CALGREEN SECTION 4.106.4.
2. ALL NEW 125-VOLT RECEPTACLES SHALL BE TAMPER-RESISTANT PER CEC 408.12.
3. ALL 15-AMP AND 20-AMP BRANCH CIRCUITS IN BEDROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(B).
4. ALL RECEPTACLES WITHIN 6 FEET OF A SINK SHALL BE GFCI PROTECTED PER CEC 210.8(A)(7).
5. BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A DEDICATED 20-AMP CIRCUIT WITH NO OTHER OUTLETS PER CEC 210.11(C)(3).
6. PROVIDE A RECEPTACLE WITHIN 36 INCHES OF EACH BATHROOM SINK PER CEC 210.52(D).
7. PROVIDE A MINIMUM OF FOUR (4) RECEPTACLES IN THE NEW BEDROOM AREA PER CEC 210.52.
8. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARDWIRED, INTERCONNECTED, AND EQUIPPED WITH BATTERY BACKUP PER CRC R314 AND R315.
9. PROVIDE DEDICATED CIRCUITS FOR BIDET AND TOWEL WARMER AS DIRECTED BY OWNER.
10. PROVIDE NEW LIGHTING FIXTURES, SWITCHES, AND OUTLETS PER CEC 210 AND TITLE 24 ENERGY STANDARDS.
11. ALL SWITCHES SHALL BE DIMMER TYPE UNLESS OTHERWISE REQUIRED FOR VACANCY SENSOR CONTROL.
12. MOUNT SWITCHES APPROXIMATELY 48 INCHES ABOVE FINISHED FLOOR (AFF) TO CENTER, AND OUTLETS 10 INCHES AFF, UNLESS OTHERWISE NOTED.
13. MAINTAIN MINIMUM 30-INCH WIDTH BY 36-INCH DEPTH CLEAR WORKING SPACE IN FRONT OF ELECTRICAL PANELS.
14. ALL RECESSED LIGHTING SHALL BE IC-RATED AND AIRTIGHT PER CEC 150.0(K)(8) (B).
15. ALL DECORATIVE LIGHT FIXTURES TO BE PROVIDED BY OWNER. CONTRACTOR TO INSTALL JUNCTION BOXES, CONDUIT, AND WIRING AS REQUIRED.
16. PROVIDE WIRING AND INSTALLATION FOR SECURITY CAMERAS - FINAL LOCATIONS TO BE CONFIRMED BY OWNER.
17. PROVIDE SMART OUTLETS AND SMART THERMOSTAT LOCATIONS AS DIRECTED BY OWNER.
18. INSTALL EXTERIOR MOTION SENSOR LIGHT (OPTIONAL SOLAR POWER) AT LOCATION PER OWNER.
19. COORDINATE ALL LOW-VOLTAGE WIRING (AUDIO, DATA, SECURITY) WITH OWNER PRIOR TO ROUGH-IN.
20. VERIFY FINAL LOCATIONS OF ALL SWITCHES, LIGHTING FIXTURES, AND OUTLETS IN FIELD WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.

POWER AND REFLECTED CEILING PLAN LEGEND

- DUPLEX OUTLET
- OUTLET DOUPLEX GFCI
- OUTLET DOUPLEX GFCI ABOVE COUNTER
- DATA, CABLE
- WIRING FOR CAMERA ABOVE. HEIGHT TO BE DIRECTED BY OWNER
- SWITCH
- SWITCH THREEWAY
- SWITCH EXHAUST FAN
- SWITCH FAN
- CEILING FAN + LIGHT
- BACKLIT MEDICINE CABINETS
- SMOKE & CO2 DETECTOR
- ROOF ACCESS
- (E) CEILING TO REMAIN
- NEW CEILING
- RECESSED CAN
- RECESSED CAN DIRECTIONAL
- RECESSED CAN WET-LOCATION
- WALL SCONCE (MSWS - MOTION SENSOR WALL SCONCE, NO SWITCH CONNECT UNLESS NOTED OTHERWISE TYP.)
- EXHAUST FAN

EVA ARCHITECTS
1120 BIRD AVE STE F #208
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

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CONSULTANT'S STAMP

PROJECT TITLE
BEDROOM EXPANSION

APN # 071-381-110
470 SANTA RITA AVE, MENLO PARK, CA 94025

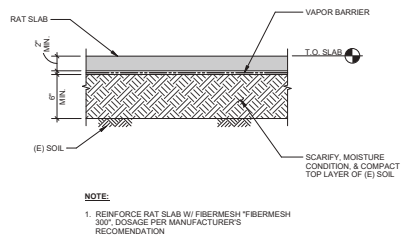
No.	Description	Date
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2	USE PERMIT	03/26/26

TITLE
REFLECTED CEILING & LIGHTING PLAN & POWER PLAN

ARCHITECT STAMP



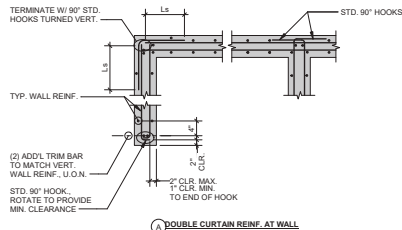
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DATE 05/29/2026	
PROJECT NUMBER 25017	



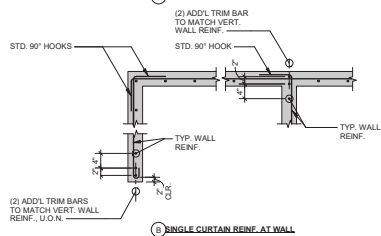
NOTE:
1. REINFORCE RAT SLAB W/ FIBERMESH *FIBERMESH 300\"/>

TYPICAL RAT SLAB

1 1/2\"/>



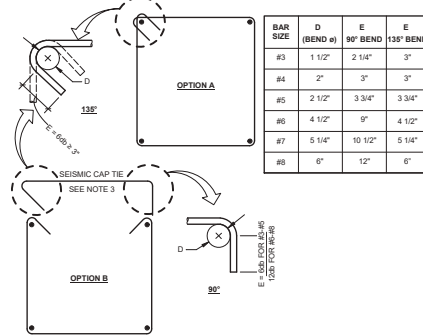
A DOUBLE CURTAIN REINF. AT WALL



B SINGLE CURTAIN REINF. AT WALL

WALL REINFORCING AT CORNERS AND INTERSECTIONS

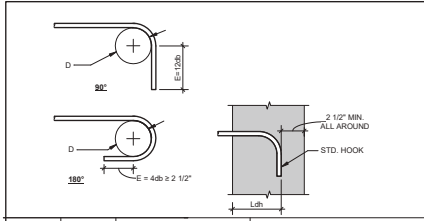
N.T.S.



NOTES:
1. db = BAR DIAMETER
2. EITHER OPTION A OR OPTION B IS ACCEPTABLE FOR USE IN ALL COLS. & BMS.
3. THE CAP TIE IN OPTION B MUST HAVE THE 90° HOOK ALTERNATED IN ADJACENT TIES

SEISMIC STIRRUP / TIE SCHEDULE

N.T.S.



BAR SIZE	D (BEND #)	E (HOOK EXTENSION)		Ldh (HOOK DEVELOPMENT LENGTH)		
		90° BEND	180° BEND	Fc=3000psi	Fc=4000psi	Fc=5000psi
#3	2 1/4"	4 1/2"	2 1/2"	6"	6"	6"
#4	3"	6"	2 1/2"	8"	7"	6"
#5	3 3/4"	7 1/2"	2 1/2"	10"	9"	8"
#6	4 1/2"	9"	3"	12"	10"	9"
#7	5 1/4"	10 1/2"	3 1/2"	14"	12"	11"
#8	6"	12"	4"	16"	14"	12"
#9	9 1/2"	14"	5"	18"	15"	14"
#10	10 1/4"	15 1/2"	5 1/2"	20"	17"	16"
#11	11 1/2"	17"	6"	22"	19"	17"
#14	17"	20 1/2"	7"	38"	33"	29"
#18	22 3/4"	27 1/2"	9 1/2"	50"	43"	39"

NOTES:
1. db = BAR DIAMETER
2. UNCOATED BARS
3. NORMAL WEIGHT CONCRETE
4. MULTIPLY HOOK DEVELOPMENT LENGTH BY 1.33 FOR LIGHTWEIGHT CONCRETE
5. DO NOT FIELD BEND REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE

STANDARD HOOK DIM. / DEVELOPMENT SCHED.

N.T.S.

The diagram illustrates two methods for lap splicing reinforcing bars. The **STRAIGHT LAP** shows two horizontal bars overlapping by a length L_s . The **OFFSET** shows two horizontal bars overlapping by a length L_s , with one bar offset by a distance a from the other. A minimum gap of 6 inches is indicated between the bars in the offset configuration.

CLASS B TENSION LAP SPLICE FOR GRADE 60 REINFORCING (INCHES)

BAR SIZE	Fc=2500 PSI		Fc=3000 PSI		Fc=4000 PSI		Fc=5000 PSI	
	TOP	OTHER	TOP	OTHER	TOP	OTHER	TOP	OTHER
#3	31"	23"	29"	22"	25"	19"	22"	17"
#4	42"	32"	38"	29"	33"	25"	29"	23"
#5	51"	39"	47"	36"	41"	31"	36"	28"
#6	61"	47"	56"	43"	49"	37"	44"	34"
#7	90"	69"	82"	63"	71"	54"	64"	49"
#8	101"	78"	94"	72"	81"	62"	73"	56"
#9	114"	88"	105"	81"	91"	70"	82"	63"
#10	130"	100"	118"	91"	102"	79"	92"	71"
#11	143"	110"	131"	101"	114"	87"	102"	78"

NOTES:
1. THIS TABLE CONTAINS MIN. LENGTHS FOR LAP SPLICES & BAR DEVELOPMENT NOT OTHERWISE SPECIFIED. THESE DRAWINGS THESE LENGTHS MAY BE REDUCED IN CERTAIN SITUATIONS, SUBJECT TO PRIOR REVIEW & APPROVAL OF THE ENGINEER
2. SPLICE LENGTHS ARE FOR NORMAL WEIGHT CONC. W/ GRADE 60 REINF.
3. SPLICE LENGTHS ARE FOR UNCOATED BARS
4. USE "TOP" FOR WALL BOUNDARIES & WHEN MORE THAN 12" OF FRESH CONC. IS PLACED BELOW SPLICE, "OTHER" FOR ALL OTHER SITUATIONS
5. PROVIDE MIN. COVER PER GENERAL NOTES, BUT NOT LESS THAN 1x BAR DIAMETER

LAP SPLICE / DEVELOPMENT SCHEDULE

NO SCALE

STRUCTURAL/SHORING ENGINEER
HALTERMAN ENGINEERING
P.O. BOX 370084
MONTARA, CA 94037
415-676-9390
www.haltermanengineering.com

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STAMP
REGISTERED PROFESSIONAL ENGINEER
No. 55000
EXP. 06/30/27
STATE OF CALIFORNIA

PROJECT NAME / LOCATION

BEDROOM EXPANSION
470 SANTA RITA AVE. MENLO PARK, CA 94025

ISSUE / REVISION

No.	DESCRIPTION	DATE
1	PERMIT SET	11/19/2025

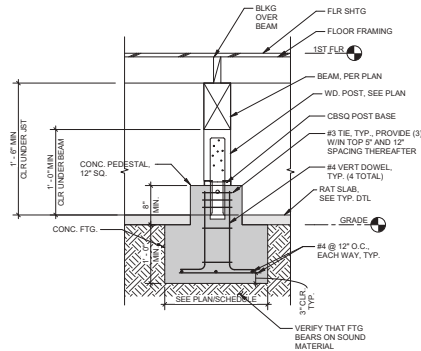
SCALE AS NOTED
PRINT SIZE IS 24"x36"

PROJECT No. 25071.01

DRAWING TITLE

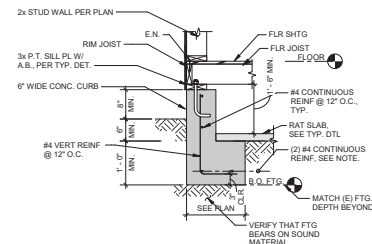
TYPICAL CONCRETE DETAILS

S1.1A



5 TYPICAL PAD FTG DETAIL

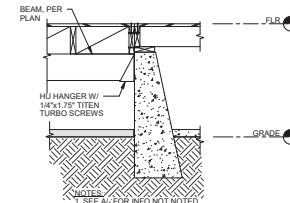
1" = 1'-0"



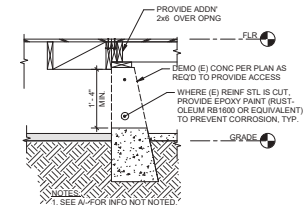
NOTES:
1. EPOXY DOWEL (4\"/>

4 CONTINUOUS PERIMETER FTG

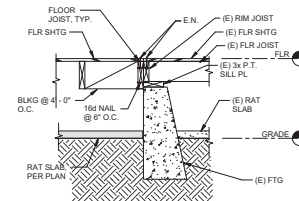
3/4" = 1'-0"



C DETAIL @ BM



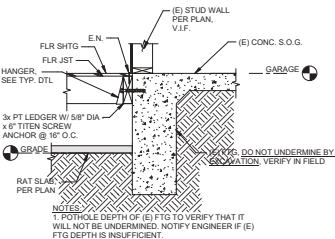
B DETAIL @ OPNG



A TYPICAL DETAIL

2 FLOOR DTL @ (E) FTG DETAIL

3/4" = 1'-0"



NOTES:
1. POTHOLE DEPTH OF (E) FTG TO VERIFY THAT IT WILL NOT BE UNDERMINED. NOTIFY ENGINEER IF (E) FTG DEPTH IS INSUFFICIENT.

1 FLOOR LEDGER DETAIL @ GARAGE

3/4" = 1'-0"

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STAMP



PROJECT NAME / LOCATION

BEDROOM EXPANSION
470 SANTA RITA AVE. MENLO PARK, CA 94025

ISSUE / REVISION

No.	DESCRIPTION	DATE
1	PERMIT SET	11/19/2025

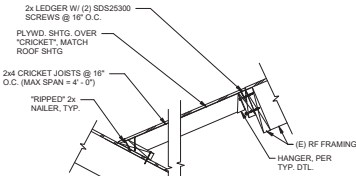
SCALE AS NOTED
IF PRINT SIZE IS 24" X 36"

PROJECT No. 25071.01

DRAWING TITLE

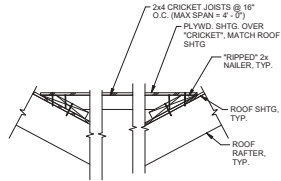
TYPICAL CONCRETE DETAILS

S1.1B



NOTES:
1. SEE A/- FOR INFO NOT NOTED.

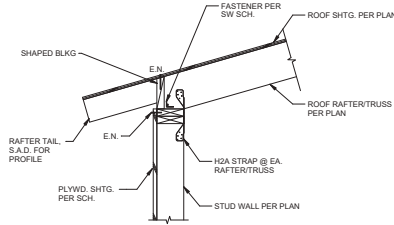
(B) ROOF EXTENSION CONDITION



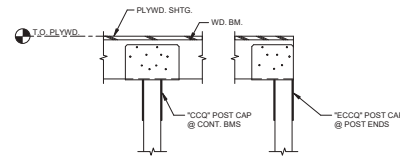
(A) "VALLEY" CONDITION

NOTES:
1. S.A.D. FOR FLASHING AND ROOFING DETAILS.

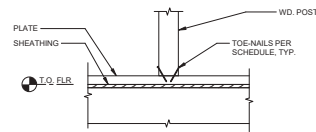
9 TYPICAL "CRICKET" DETAIL
S1.2C 1" = 1'-0"



6 TYP. RAFTER-TO-WALL DETAIL
S1.2C 1" = 1'-0"

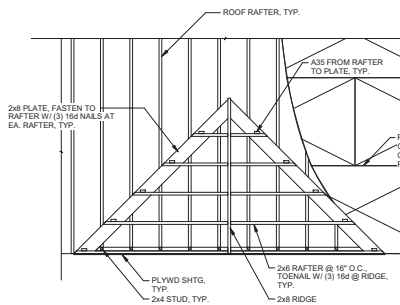


(A) @ TOP OF POST

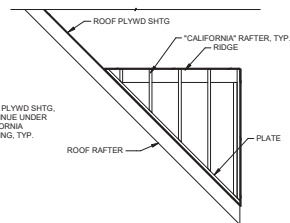


(B) @ BASE OF POST @ WD FLOOR

5 TYPICAL POST CONNECTION DETAILS
S1.2C 1" = 1'-0"



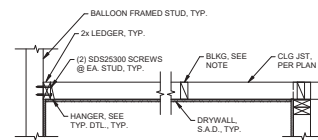
PLAN VIEW



NOTES:
1. OTHER INFO NOT SHOWN FOR CLARITY

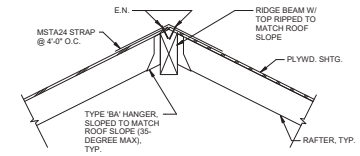
SECTION

7 TYPICAL CALIFORNIA FRAMING DTL
S1.2C N.T.S.



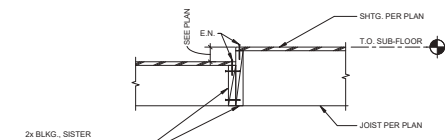
NOTES:
1. CEILING JOISTS SHALL BE DOUG FIR #1 U.O.N.
2. PROVIDE BLKG. @ 8'-0" O.C. MAX SPACING.
3. CEILING JOISTS DESIGNED TO SUPPORT DRYWALL AND INSULATION (10 PSF MAX) ONLY. IF AREA OVER CEILING JOISTS WILL BE USED FOR STORAGE, CONTACT ENGINEER FOR ALTERNATE CEILING JOIST SIZES. (ATTIC SPACE IS ASSUMED TO BE 'UNINHABITABLE')

4 TYPICAL CEILING JOIST SCHEDULE
S1.2C N.T.S.

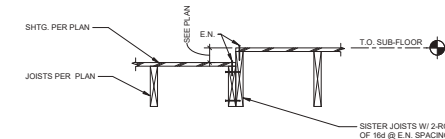


NOTES:
1. SLOPE HANGERS TO MATCH ROOF SLOPE

3 WOOD RIDGE BEAM DETAIL
S1.2C 1" = 1'-0"

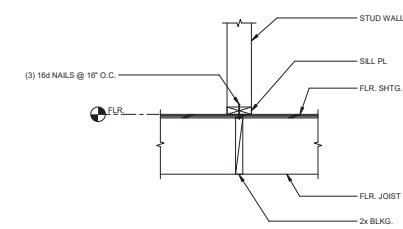


CONDITION B: JOISTS PERPENDICULAR



CONDITION A: JOISTS PARALLEL

2 TYP. DETAIL @ DEPRESSED FLOOR
S1.2C 1" = 1'-0"



1 TYPICAL PERPENDICULAR WALL ON JOIST DETAIL
S1.2C 1" = 1'-0"

STRUCTURAL SHORING ENGINEER
HALTERMAN ENGINEERING
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PROJECT NAME / LOCATION

BEDROOM EXPANSION
470 SANTA RITA AVE. MENLO PARK, CA 94025

ISSUE / REVISION

No.	DESCRIPTION	DATE
1	PERMIT SET	11/19/2025

SCALE AS NOTED
IF PRINT SIZE IS 24"X36"

PROJECT No. 25071.01

DRAWING TITLE

TYPICAL WOOD DETAILS

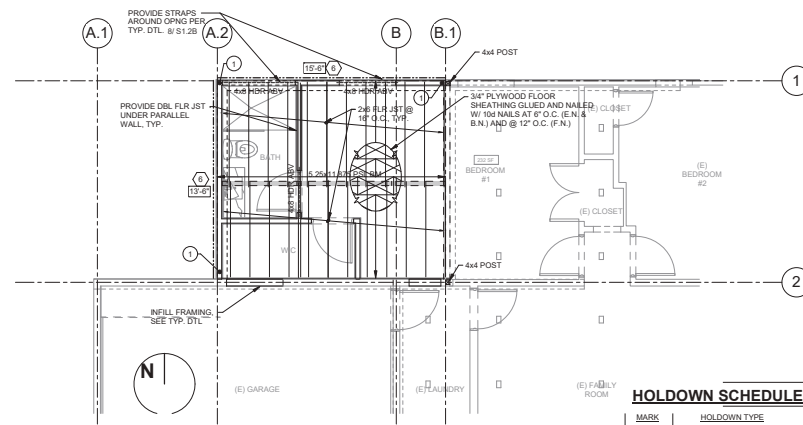
S1.2C



S1.2D



1. ALL FOUNDATIONS/EXCAVATIONS SHALL BE OBSERVED AND APPROVED BY THE PROJECT ENGINEER PRIOR TO PLACING OF REINFORCING STEEL. FOUNDATIONS SHALL EXTEND TO COMPETENT MATERIAL BELOW.
2. SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS AND DIMENSIONS NOT NOTED. CURB LOCATIONS AND HEIGHTS, SLOPE OF ELEMENTS, LOCATIONS OF NON-STRUCTURAL WALLS ETC.
3. SEE TYPE DETAIL SHEETS FOR DETAILS NOT SPECIFICALLY REFERENCED. CONCRETE DETAIL: S11 SERIES WOOD TYPE DETAILS: S12 SERIES
4. U.O.N. WOOD STUD WALLS SHALL BE:
A) 2x4 STUDS @ 16" O.C.
5. PROVIDE PLYWOOD SHEAR TO ALL EXTERIOR WALLS W/ TYPE ⑥ U.O.N.
6. AS NOTED IN GENERAL NOTES, PROVIDE JSTS UNDER ALL PARALLEL WALLS OR PROVIDE BLOCKING UNDER PERPENDICULAR WALL



0210

Neighborhood Outreach Documentation

470 Santa Rita Avenue – Use Permit Revision

Outreach Summary

Outreach Date: May 14, 2026

Properties Contacted:

- 460 Santa Rita Avenue
- 455 Santa Rita Avenue
- 1239 Middle Avenue
- 1227 Middle Avenue

Materials Distributed:

Project description letter and architectural drawings illustrating the proposed addition.

Feedback Received:

Positive responses received. No objections or concerns were identified.

Project Changes Resulting from Outreach:

No project modifications were required as a result of neighbor feedback.

Attachments Included in Resubmittal Package

1. Copies of outreach letters distributed to neighboring properties.
2. Email documentation summarizing outreach efforts.
3. Architectural drawings distributed during outreach.

05/14/2026

Owner/Occupant
460 Santa Rita Ave
Menlo Park, CA 94025

Subject: Neighbor Outreach Regarding Proposed Home Addition at 470 Santa Rita Ave, Menlo Park CA 94025]

Dear Neighbor,

I hope you are doing well. I am writing to inform you about a proposed improvement project at our property located at 470 Santa Rita Ave in Menlo Park.

The project is a small, about 200-square-foot residential addition. It will expand an existing bedroom and add a bathroom, giving our teenage son more space and privacy. The outer wall next to the garage will move out a few feet to align with the garage. This change follows Menlo Park City's setback rules. There are no major changes to the front yard or the property's overall character. Attached with this letter is the architectural plan.

As part of the City's Planning Commission review process, the City has encouraged outreach to neighboring properties so that neighbors are aware of the proposal and have an opportunity to provide feedback or ask questions.

I would be happy to discuss the project with you and share the proposed plans if you are interested. Please feel free to contact me at:

Prashanth Nerella and Rohini Vuttkalam
Phone: 650 714 2669
Email: pnerella.me@gmail.com

Thank you for your time and consideration.

Sincerely,

Prashanth Nerella and Rohini Vuttkalam

05/14/2026

Owner/Occupant
1227 Middle Ave
Menlo Park, CA 94025

Subject: Neighbor Outreach Regarding Proposed Home Addition at 470 Santa Rita Ave, Menlo Park CA 94025]

Dear Neighbor,

I hope you are doing well. I am writing to inform you about a proposed improvement project at our property located at 470 Santa Rita Ave in Menlo Park.

The project is a small, about 200-square-foot residential addition. It will expand an existing bedroom and add a bathroom, giving our teenage son more space and privacy. The outer wall next to the garage will move out a few feet to align with the garage. This change follows Menlo Park City's setback rules. There are no major changes to the front yard or the property's overall character. Attached with this letter is the architectural plan.

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Prashanth Nerella and Rohini Vuttkalam
Phone: 650 714 2669
Email: pnerella.me@gmail.com

Thank you for your time and consideration.

Sincerely,

Prashanth Nerella and Rohini Vuttkalam

05/14/2026

Owner/Occupant
1239 Middle Ave
Menlo Park, CA 94025

Subject: Neighbor Outreach Regarding Proposed Home Addition at 470 Santa Rita Ave, Menlo Park CA 94025]

Dear Neighbor,

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Prashanth Nerella and Rohini Vuttkalam
Phone: 650 714 2669
Email: pnerella.me@gmail.com

Thank you for your time and consideration.

Sincerely,

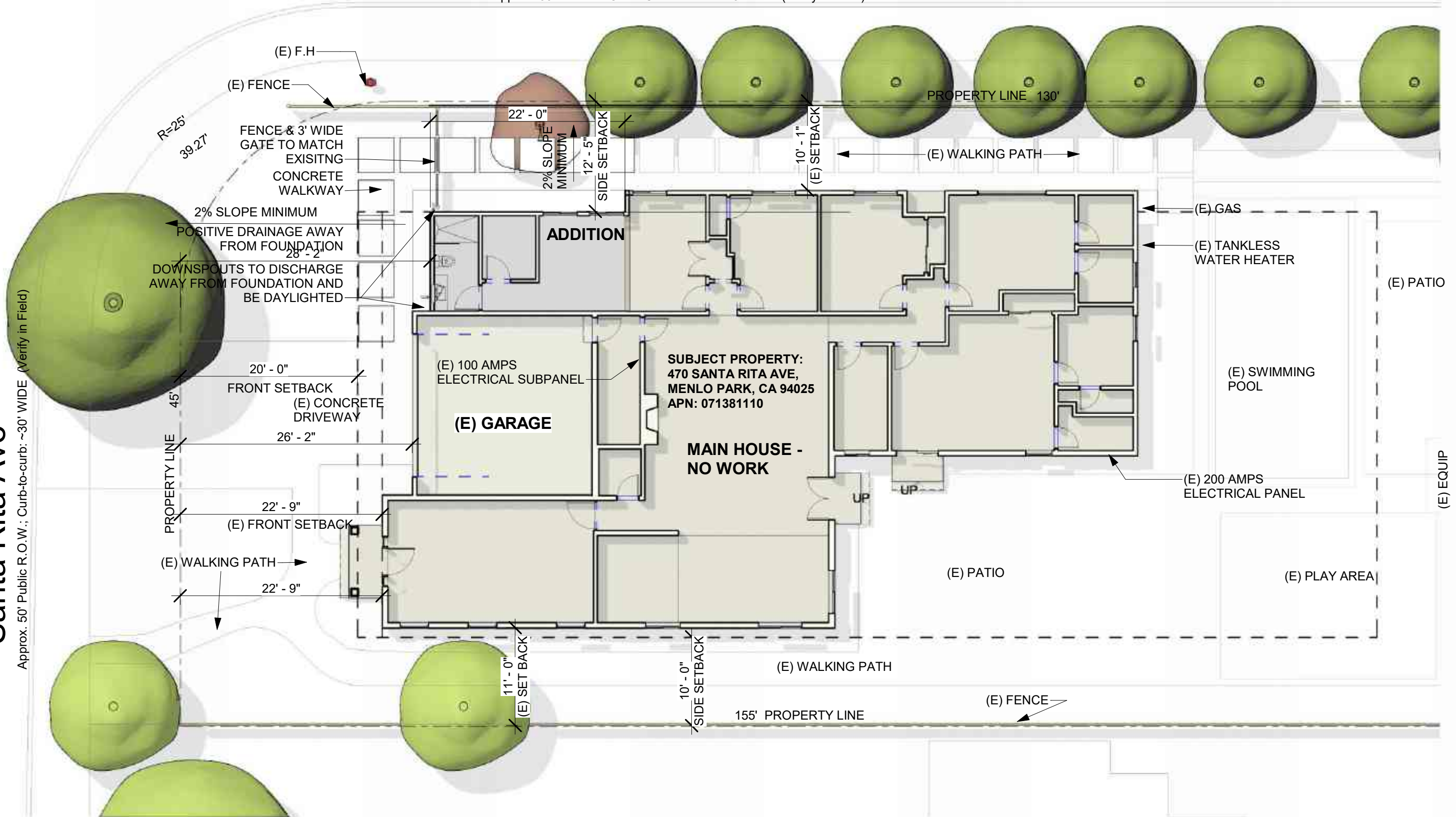
Prashanth Nerella and Rohini Vuttkalam

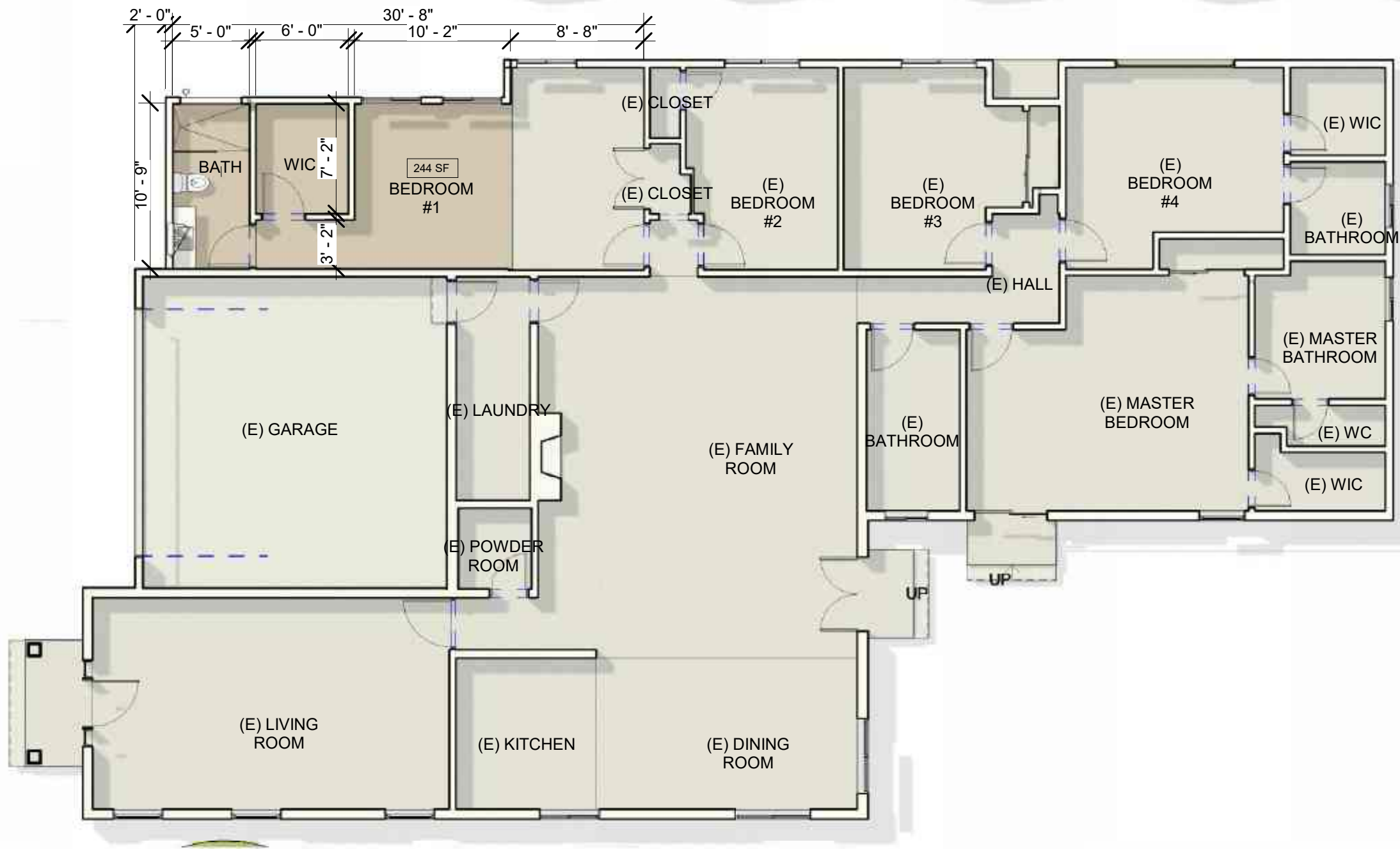
EVA

From: Prashanth Nerella <pnerella.me@gmail.com>
Sent: Thursday, May 14, 2026 4:38 PM
To: EVA
Cc: K K Builders
Subject: Re: 470 Santa Rita - City Comments – Next Steps
Attachments: 1227 middle avenue letter.pdf; 460 Santa rita ave letter.pdf; 1239 middle avenue letter.pdf; 470 Santa Rita Ave, Menlo Park, CA 94025 - Bedroom Expansion-Use Permit.pdf

- Date outreach was completed (05/14/2026)
- Addresses/properties contacted (460 Santa rita avenue, 455 Santa rita ave, 1239 middle avenue, 1227 middle avenue)
- Copy of the outreach letter/email delivered (Attached letter + first page of architecture diagram))
- Any responses or feedback received from neighbors (positive response, no objections)
- Copies/screenshots of emails or written correspondence (attached)
- Notes if any neighbors expressed support or concerns (support with no concerns)

Approx. 60' Public R.O.W. Curb-to-curb:~40' WIDE (Verify in Field)





① 1ST FLOOR PLAN - PROPOSED
1/8" = 1'-0"

BEDROOM EXPANSION

A33 **470 SANTA RITA AVE, MENLO PARK**

05/14/2026

EVA ARCHITECTS

USE PERMIT



① BUILDING EAST ELEVATION - PROPOSED 1
1/8" = 1'-0"



② BUILDING SOUTH ELEVATION - PROPOSED 1
1/8" = 1'-0"

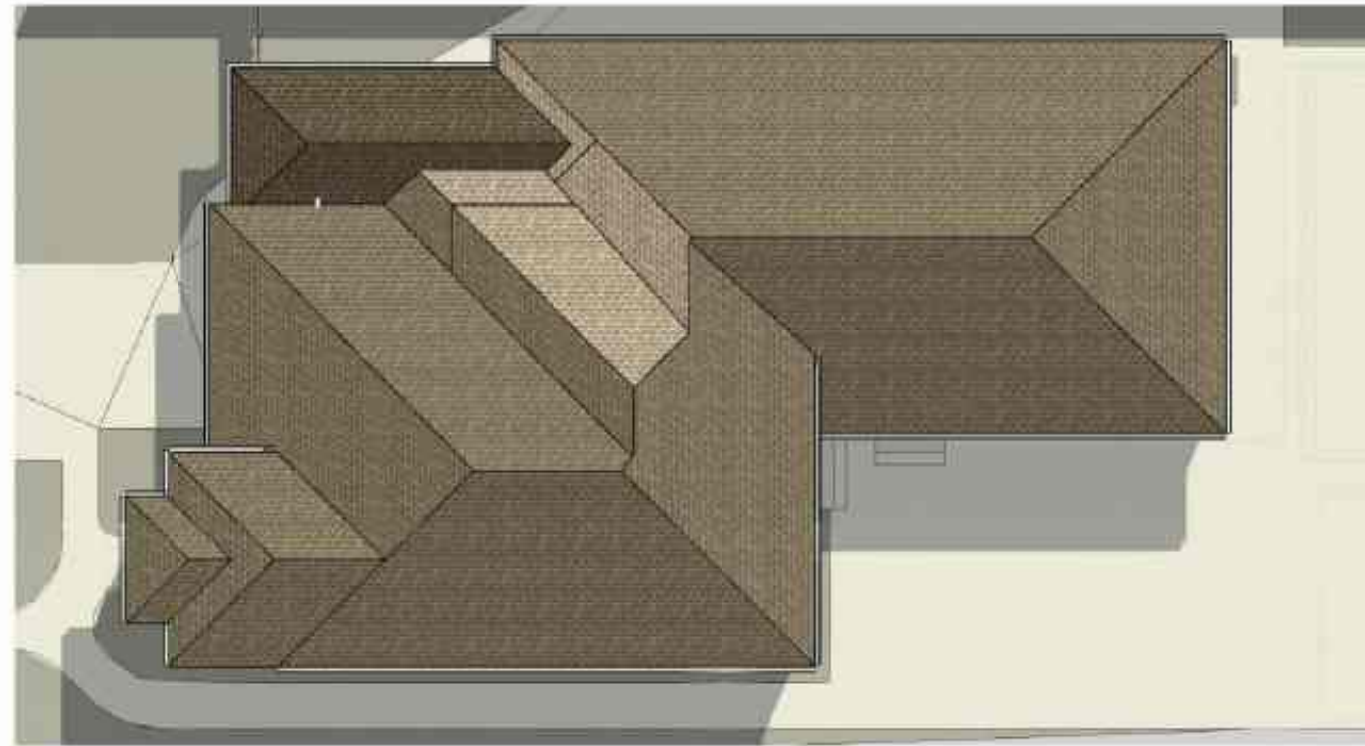
BEDROOM EXPANSION

A34 **470 SANTA RITA AVE, MENLO PARK**

05/14/2026

EVA ARCHITECTS

USE PERMIT



② ROOF PLAN



① 3D View 2

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION**Address:** 470 SANTA RITA AVE MENLO PARK**Case No.:****50% of Existing Value** \$278,105.00**75% of Existing Value** \$417,157.50**Value of Proposed Project** \$61,500.00 11%**Existing Development**

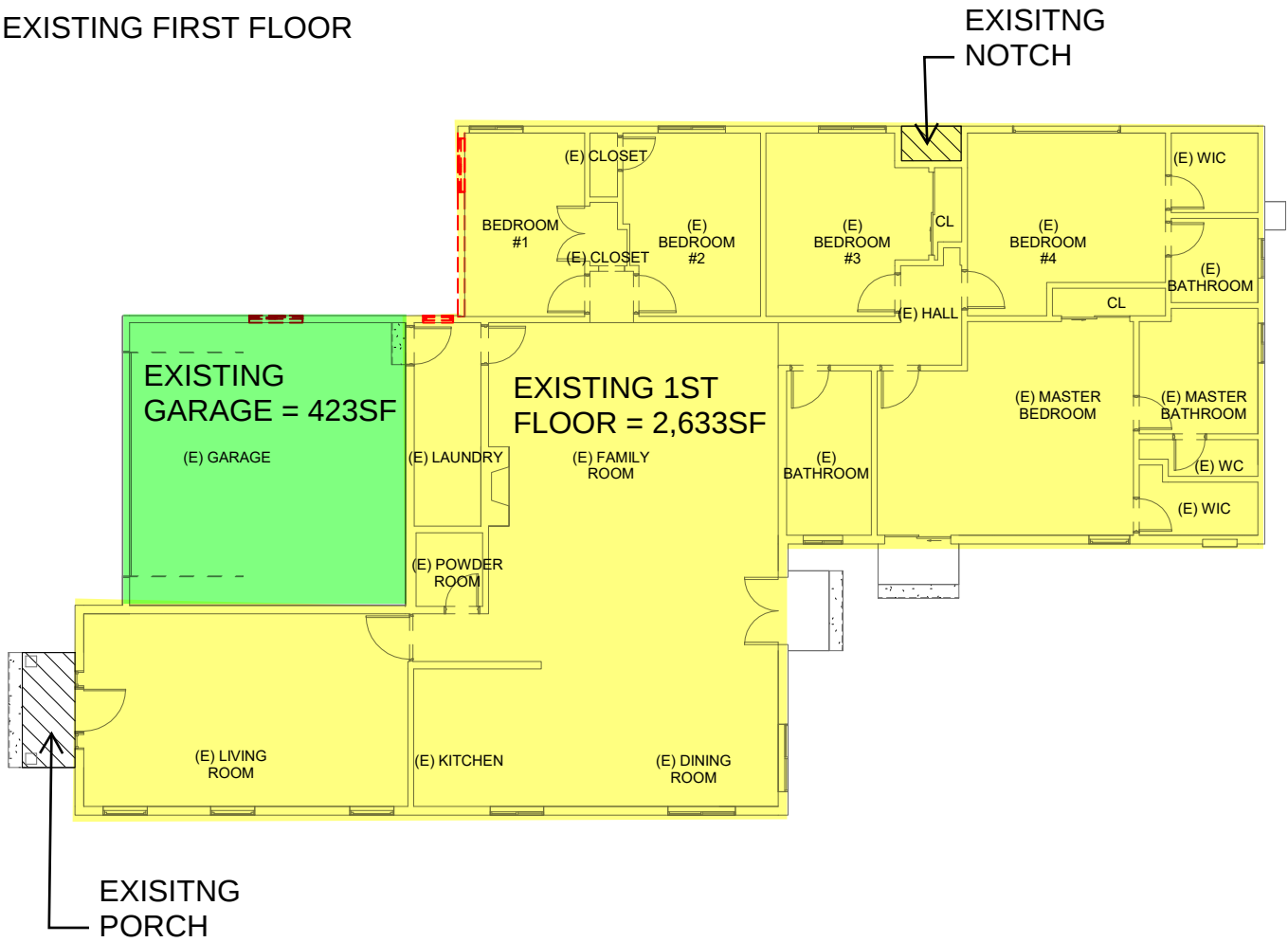
Non-Conforming Structure Type	Square Footage		Construction Cost	Existing Value
Existing 1st floor	2,633	X	\$200/Sq.Ft	\$526,600.00
Existing 2nd floor	0	X	\$200/Sq.Ft	\$0.00
Existing Basement	0	X	\$200/Sq.Ft	\$0.00
Existing Garage	423	X	\$70/Sq.Ft	\$29,610.00
Total	3056			\$556,210.00

Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet (if they are also nonconforming and subject to new work) or ignored (if conforming, or nonconforming but not subject to new work).

Proposed Development

Proposed Development Type	Square Footage		Construction Cost	Development Value
<u>Category 1: New square footage (areas of new foundation and/or wall framing)</u>				
1st Floor Addition	246	X	\$200/Sq.Ft	\$49,200.00
2nd Floor Addition	0	X	\$200/Sq.Ft	\$0.00
Basement Floor Addition	0	X	\$200/Sq.Ft	\$0.00
Garage Addition	0	X	\$70/Sq.Ft	\$0.00
<u>Category 2: Remodel of existing square footage (foundation and wall framing are both retained)</u>				
<i>Note: Square footage measurements are taken to full extent of any room with any interior modifications. When the use of a room is changing, the proposed use should be used for this calculation.</i>				
Remodel of Kitchen	0	X	\$130/Sq.Ft	\$0.00
Remodel of Bathrooms	0	X	\$130/Sq.Ft	\$0.00
Remodel of Other Living Areas	123	X	\$100/Sq.Ft	\$12,300.00
Remodel of Garage	0	X	\$35/Sq.Ft	\$0.00
<u>Category 3: Exterior modifications to existing structure</u>				
<i>Window and exterior door replacements are included in areas remodeled and accounted for in Category 2. New roofs and new siding on existing portions of the structure are not included in Category 2 or Category 1 and should be accounted for using the calculation below.</i>				
New Roof Structure Over Existing Sq. Ft.	0	X	\$50/Sq.Ft	\$0.00
Replacement of Existing Windows/Exterior Doors	0	X	\$35/Sq.Ft	\$0.00
Replacement of Existing Siding	0	X	\$35/Sq.Ft	\$0.00
Total	369			\$61,500.00

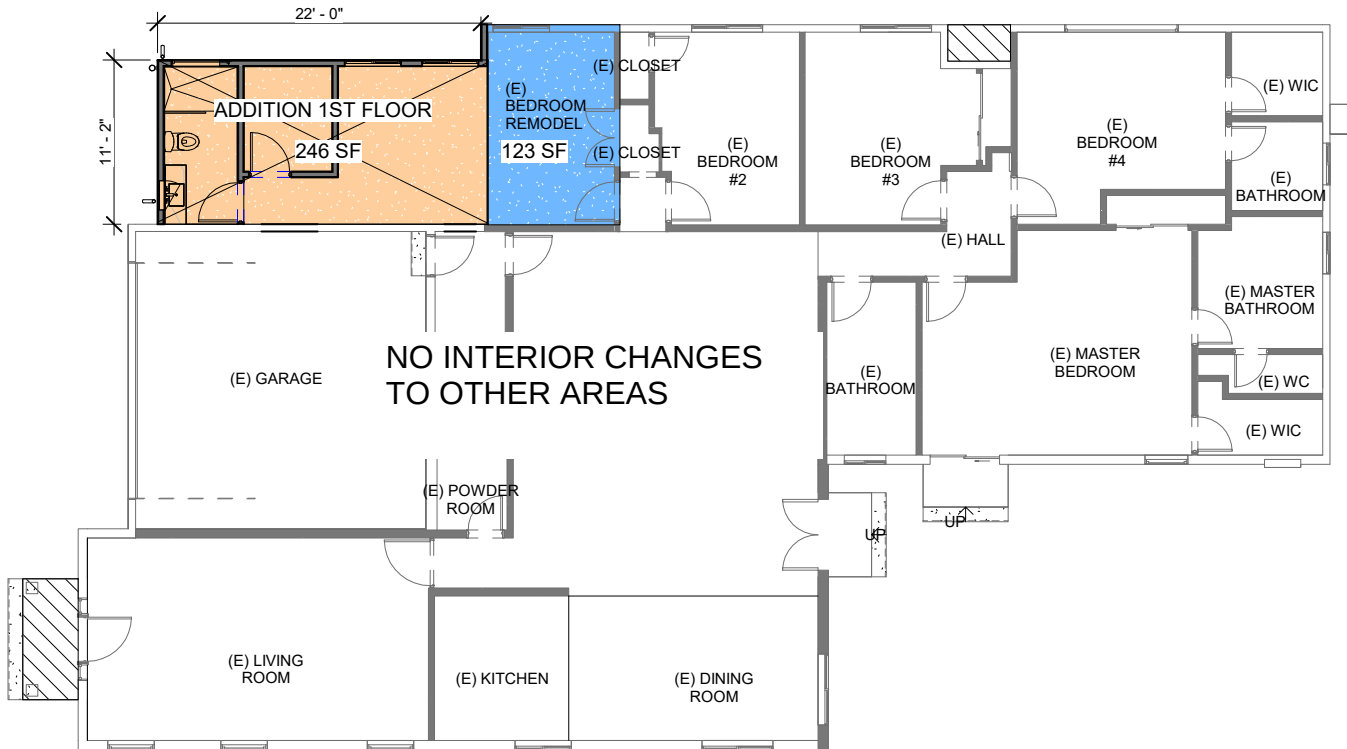
EXISTING FIRST FLOOR



Existing Development

Non-Conforming Structure Type	Square Footage		Construction Cost	Existing Value
Existing 1st floor	2,633	X	\$200/Sq.Ft	\$526,600.00
Existing 2nd floor	0	X	\$200/Sq.Ft	\$0.00
Existing Basement	0	X	\$200/Sq.Ft	\$0.00
Existing Garage	423	X	\$70/Sq.Ft	\$29,610.00
Total	3056			\$556,210.00

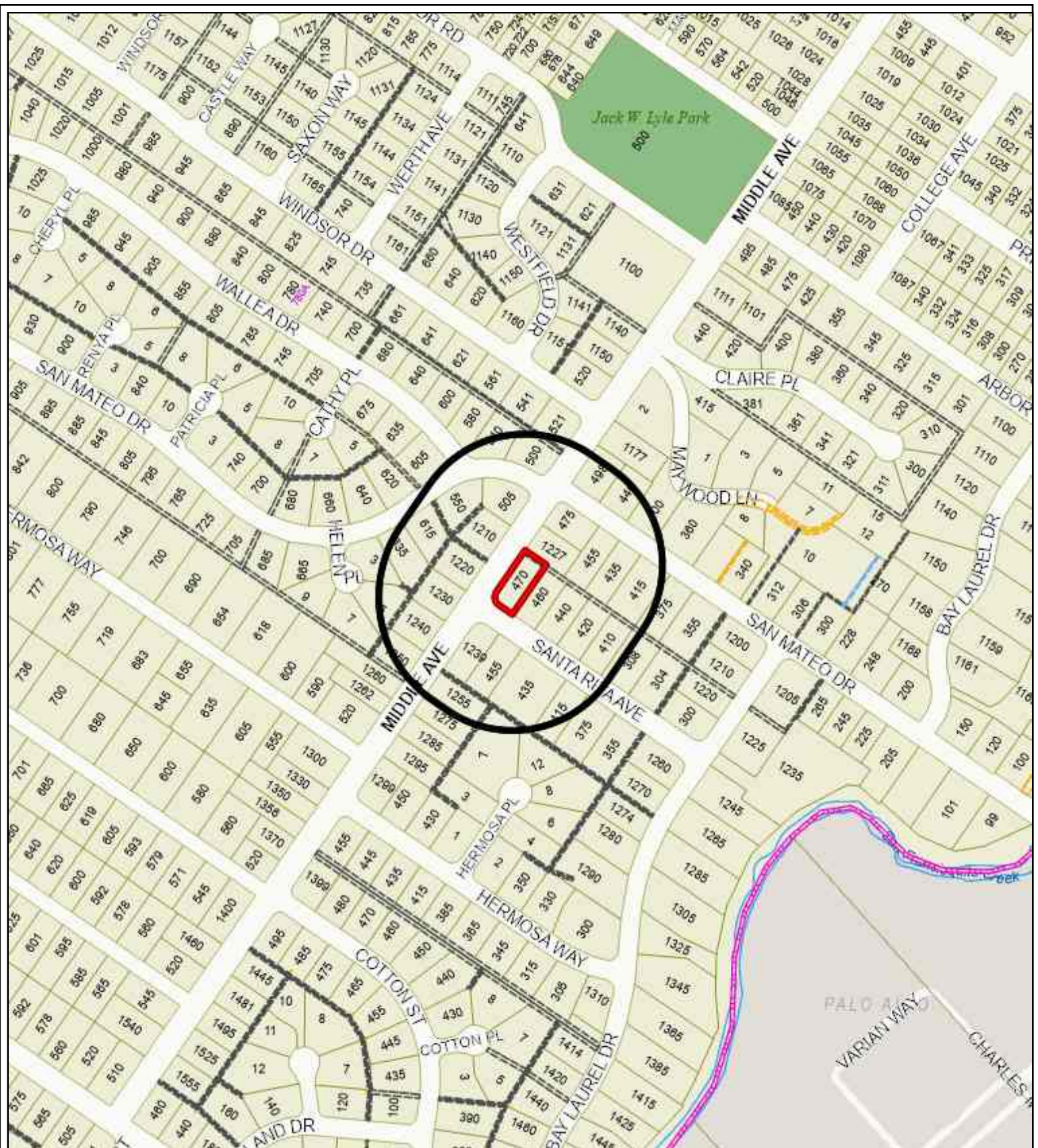
PROPOSED FIRST FLOOR



Proposed Development				
Proposed Development Type	Square Footage		Construction Cost	Development Value
<u>Category 1: New square footage (areas of new foundation and/or wall framing)</u>				
1st Floor Addition	246	X	\$200/Sq.Ft	\$49,200.00
2nd Floor Addition	0	X	\$200/Sq.Ft	\$0.00
Basement Floor Addition	0	X	\$200/Sq.Ft	\$0.00
Garage Addition	0	X	\$70/Sq.Ft	\$0.00
<u>Category 2: Remodel of existing square footage (foundation and wall framing are both retained)</u>				
<i>Note: Square footage measurements are taken to full extent of any room with any interior modifications. When the use of a room is changing, the proposed use should be used for this calculation.</i>				
Remodel of Kitchen	0	X	\$130/Sq.Ft	\$0.00
Remodel of Bathrooms	0	X	\$130/Sq.Ft	\$0.00
Remodel of Other Living Areas	123	X	\$100/Sq.Ft	\$12,300.00
Remodel of Garage	0	X	\$35/Sq.Ft	\$0.00
<u>Category 3: Exterior modifications to existing structure</u>				
<i>Window and exterior door replacements are included in areas remodeled and accounted for in Category 2. New roofs and new siding on existing portions of the structure are not included in Category 2 or Category 1 and should be accounted for using the calculation below.</i>				
New Roof Structure Over Existing Sq. Ft.	0	X	\$50/Sq.Ft	\$0.00
Replacement of Existing Windows/Exterior Doors	0	X	\$35/Sq.Ft	\$0.00
Replacement of Existing Siding	0	X	\$35/Sq.Ft	\$0.00
Total	369			\$61,500.00

LOCATION: 470 Santa Rita Avenue	PROJECT NUMBER: PLN2026-00012	APPLICANT: Ewa Sabala	OWNER: Nerella Prashanth
PROJECT CONDITIONS: 1. The use permit shall be subject to the following standard conditions: a. The applicant shall be required to apply for a building permit within one year from the date of approval (by August 10, 2027) for the use permit to remain in effect. b. Development of the project shall be substantially in conformance with the plans prepared by Ewa Sabala, consisting of 23 plan sheets, dated July 23, 2026, and approved by the Planning Commission on August 10, 2026, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering, and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application. j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.			

LOCATION: 470 Santa Rita Avenue	PROJECT NUMBER: PLN2026-00012	APPLICANT: Ewa Sabala	OWNER: Nerella Prashanth
PROJECT CONDITIONS: k. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application. 2. The use permit shall be subject to the following <i>project-specific</i> conditions: a. Simultaneous with the submittal of a complete building permit application, the applicant shall provide revised plans to indicate that all hedges and bushes within the 20-foot front setback shall be trimmed and maintained to not exceed four (4) feet in height, and all hedges and bushes within the line of sight triangle, shown on Sheet A101 of the plan set dated July 23, 2026, shall be trimmed and maintained to not exceed three (3) feet in height.			



City of Menlo Park
Location Map
470 Santa Rita Avenue



Scale: 1:4,000

Drawn By: Matthew Ball

Checked By: Tom Smith

Date: 8/10/2026

Sheet: 1

	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	10,716.0	sf	10,716.0	sf	10,000.0	sf min
Lot width	70.0	ft	70.0	ft	80.0	ft min
Lot depth	155.0	ft	155.0	Ft	100.0	ft min
Setbacks						
Front	22.8	ft	22.8	ft	20.0	ft min
Rear	47.0	ft	47.0	ft	20.0	ft min
Side (right)	10.8	ft	10.8		10.0	ft min
Side (left)	10.1	ft	10.1	ft	12.0	ft min
Building coverage	3,375.0	sf	3,129.0	sf	3,751.0	sf max
	31.5	%	29.2	%	35.0	% max
FAL (Floor Area Limit)	3,334.0	sf	3,088.0	sf	3,729.0	sf max
	31.1	%	28.8	%	35.0	% max
Square footage by floor	2,879.0	sf/1 st	2,633.0	sf/1 st		
	423.0	sf/garage	423.0	sf/garage		
	41.0	sf/porches	41.0	sf/porches		
	32.0	sf/shed	32.0	sf/shed		
Square footage of buildings	3,375.0	sf	3,129.0	sf		
Building height	17.0	ft	17.0	ft	28.0	ft max
Parking	2 covered spaces		2 covered spaces		1 covered space, 1 uncovered space	
Note: Areas shown highlighted indicate a nonconforming or substandard situation						
Trees	Heritage trees	3	Non-Heritage trees	11	New trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	1	Total number of trees	13



STAFF REPORT

Planning Commission

Meeting Date:

8/10/26

Staff Report Number:

26-35-PC

Public Hearing:

Consider and adopt a resolution to approve a use permit to construct a new two-story, single-family residence on a substandard lot with regard to minimum lot depth and area in the R-1-U (Single Family Urban Residential) zoning district, at 949 Lee Drive. The proposal includes a variance request to reduce the rear setback to 10 feet where 20 feet is required. The applicant is also requesting a variance from the Subdivision Ordinance to reduce the Subdivision Ordinance (Municipal Code Title 15) front setback from approximately 25 feet, three inches to approximately 23 feet, nine inches. The Subdivision Ordinance Variance will be reviewed and acted on by City Council at a later date. Determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures.

Recommendation

Staff recommends that the Planning Commission adopt a resolution approving a use permit to construct a new two-story, single-family residence on a substandard lot with regard to minimum lot depth and area in the R-1-U (Single Family Urban Residential) zoning district, at 949 Lee Drive, and approving a variance to reduce the rear setback to 10 feet where 20 feet is required. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit and variance request is considered individually. The Planning Commission should consider whether the required use permit and variance findings can be made for the proposed project.

Background

Site location

The subject property is located at the end of a cul-de-sac located southeast of Valparaiso Avenue near downtown. All properties in the immediate vicinity are also in the R-1-U zoning district, however the

property adjacent to the subject property to the southeast along Johnson Street is developed with a condominium development and is located in the R-1-U(X) (Single Family Urban Residential, Conditional Development combining overlay) district. A location map is included as Attachment B. Properties along Lee Drive are generally developed with older, one-story ranch houses, however newer two-story residences with varying styles have been developed in recent years.

Analysis

Project Description

The applicant is proposing to construct a new two-story residence. The project plans and project description letter are included as Attachment A, Exhibits A and B, respectively. The proposed residence would be a four-bedroom, four-and-one-half-bathroom residence. The proposal includes a new detached, front-loading, one-car garage accessed from Lee Drive, with a second, uncovered parking space located between the residence and the garage. Because the parcel is within half a mile of the Menlo Park Caltrain station, no parking is required per AB 2097.

The project is requesting a variance from the rear setback requirement to construct the residence at 10 feet where 20 feet is the required setback. Additionally, the project would need a variance from the Subdivision Ordinance (Title 15) front setback requirements to construct the residence with a front setback of approximately 23 feet, nine inches where 25 feet, three inches are required per the Subdivision Ordinance. Variances from the Subdivision Ordinance are under the purview of the City Council and the Planning Commission does not make a recommendation or act on this entitlement. Approval of the use permit and Zoning Ordinance variance would be conditioned on the approval of the Subdivision Ordinance variance (draft condition of approval 2.b. in Attachment A, Exhibit E).

With the exception of the proposed rear setback variance request, the proposed residence would meet all Zoning Ordinance requirements for setbacks, lot coverage, floor area limit (FAL), daylight plane, and height. Of particular note, the project would have the following characteristics with regard to the Zoning Ordinance requirements:

- The proposed floor area would be approximately 2,798.4 square feet, where 2,800 square feet is the maximum.
- The proposed building coverage would be 32.7 percent where 35 percent is the maximum.
- The proposed second floor would be approximately 46.2 percent of the total allowable floor area where 50 percent is the maximum.
- The height of the residence would be approximately 25 feet, 11 inches, where 28 feet is the maximum permitted height.

The proposed residence would have a front setback of approximately 23 feet, nine inches and a rear setback of approximately 10 feet, where 20 feet is required in either case by the Zoning Ordinance. As mentioned above, the project would require a variance from the Subdivision Ordinance front setback requirements, which would be acted on by the City Council. The residence is proposed to have a right-side setback of six feet, six inches and a left-side setback of approximately 24 feet, one inch where six feet, six inches is required. The proposed second story would be slightly stepped back from the first story on the right side and the front but would generally be flush with the first floor on the left side and rear. Due to the angle of the lot and design of the house, the second floor on the right side would be approximately eight

feet, two inches from the right-side property line at its closest point. A data table summarizing parcel and project attributes is included as Attachment C.

Design and materials

The applicant states that the proposed residence draws inspiration from both Spanish and contemporary styles. The siding material would be smooth stucco with various stucco decorative elements, including a belly band and entryway framing. The roof would be either Spanish tile or concrete tile roofing material. Windows would be painted fiberglass with simulated divided lite grids with interior and exterior muntins with spacer bars between panes. The house would also have metal railings at the two second-story Juliette balconies.

Second-story windows at the rear and sides of the residence would have sill heights of at least three feet except for the Juliette balcony on the right side of the residence, which would have a sill height of approximately one foot. Second-story windows at the front of the residence would have minimum sill heights of two feet, six inches, with the exception of the Juliette balcony window with a sill height of approximately one foot, and the stair well window with a sill height of approximately two feet, two inches from the stairwell landing. Staff believes that since these windows face the front, they would not create significant privacy impacts.

Variance

As stated earlier, the proposed project would include a variance to build the house with a rear setback of 10 feet where 20 feet is required. The applicant has provided a variance request letter included as Attachment A, Exhibit C. The required variance findings for the request are evaluated below:

1. *That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits.*

The applicant states that the hardship is due to the shape of the lot, in part caused by the lot's location at the end of a cul-de-sac. The applicant notes that the neighboring properties are of similar size, but have more regular, rectangular shapes. The shape of the lot causes it to be particularly shallow with an average depth of only approximately 79 feet, but a depth of only 50 feet at its shallowest point along the left side property line. Staff believes that given the shape and shallow depth of the lot, the rear setback requirement becomes prohibitive, which is a hardship peculiar to the property and not created by an act of the owner.

2. *That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors.*

The applicant states that the requested variance is necessary for the preservation of substantial property rights enjoyed by other properties in the vicinity because other properties have more regular shapes which affords them a more standard buildable area in which to construct a functional modern home. The

applicant also states that the variance will allow for better use of the lot. Staff believes that this finding is justified because although the lot is similar in size to neighboring properties, the shape severely limits the buildable area. Therefore, staff believes that granting the variance would be necessary for the preservation and enjoyment of substantial property rights possessed by other lots in the vicinity.

3. *That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property.*

The applicant states that granting of the variance would not be detrimental to the health, safety, or welfare of and will not impair an adequate supply of light and air to the adjacent properties because the rear lot line of the property abuts a large driveway for the neighboring property to the rear. The applicant states that the proposed residence would maintain an approximately 50-foot setback from the neighboring residences to the rear, ensuring sufficient light, air, and privacy. Staff believes the proposed variance would not be detrimental to the health, safety, or welfare of neighboring properties because the property to the rear is located in the R-1-U(X) zoning district and is developed with a six-unit condominium development. The residences are set back from the shared property line to accommodate a wide driveway, and therefore, the proposed variance would not restrict light or air to the residences and would not create a privacy issue.

4. *That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.*

The applicant states that the conditions upon which the variance is requested would not be applicable to other properties in the same zoning district because the lot has a triangular shape at the end of a cul-de-sac and is much shallower than other similar lots. The applicant states that while other lots are similarly shaped, they are often deeper and wider, affording more buildable space to construct a modern house. Staff generally agrees that this lot is much shallower than other cul-de-sac lots in the R-1-U zoning district and that the conditions upon which this variance is requested would not be generally applicable to other R-1-U properties.

5. *That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.*

The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.

Approval of a variance requires that all five findings be made. Staff believes that the five findings can be made for this variance and therefore recommends approval of the variance to reduce the rear setback. Findings to this effect are included in the draft resolution.

Trees and landscaping

The applicant submitted an arborist report (Attachment A, Exhibit D), detailing the species, size (trunk diameter), and conditions of on-site and nearby trees, summarized in Table 1 below.

Table 1: Tree summary and disposition						
ID #	Species	Trunk diameter (in.)	Condition	Status	Removal or retention	Off-site or on-site
1	Privet	8	Fair	Non-heritage	Remove	Onsite
2	Privet	6	Fair	Non-heritage	Remove	Onsite
3	Privet	8	Fair	Non-heritage	Remove	Onsite
4	Privet	10	Fair	Non-heritage	Remove	Onsite
5	Privet	7	Fair	Non-heritage	Remove	Onsite
6	Privet	6	Fair	Non-heritage	Remove	Onsite
7	Privet	6	Fair	Non-heritage	Remove	Onsite
8	Privet	10	Fair	Non-heritage	Remove	Onsite
9	Privet	8	Dead	Non-heritage	Remove	Onsite
10	Lemonwood	10	Fair	Non-heritage	Remove	Onsite
11	Spanish fir	6	Poor	Non-heritage	Remove	Onsite
12	Monterey pine	40	Fair	Heritage	Remove	Onsite
15	Privet	7-12	Fair	Non-heritage	Remove	Onsite
16	Plum	4	Fair	Non-heritage	Remove	Onsite
18	Norfolk Island pine	1-6	Fair	Non-heritage	Remove	Onsite
19	Coast live oak	32	Poor	Heritage	Retain	Street tree

The project arborist inventoried a total of 19 trees on-site and on surrounding properties, with two trees being considered heritage trees (one on-site and one street tree). The applicant proposes to remove one heritage Monterey pine tree, which was determined to be in fair health. The City Arborist conditionally approved a heritage tree removal permit for the Monterey pine. The heritage coast live oak street tree would be retained. The remainder of the non-heritage trees on site, which are mostly non-native privet trees, would also be removed. The proposed project would include five new 36-inch box Saratoga laurel trees as a heritage tree replacements. The replacement trees would be planted along the right side and rear property lines which would provide additional screening for the neighbors on the right and to the rear. The property would include new landscaping, including ground cover shrubs in the front and hedges along the rear fence. The City Arborist has reviewed the application and all recommended tree protection measures identified in the arborist report would be implemented and ensured as part of draft condition of approval 1h (see Attachment A, Exhibit E).

Correspondence

The applicant indicates they conducted neighborhood outreach in the project description letter

(Attachment A, Exhibit B). The applicant states they shared assorted drawings with all adjoining neighbors and several other nearby neighbors. The neighbors expressed no concern with the project and one neighbor at 945 Lee Drive offered a letter of support, included in the project description letter. Staff has not received any direct correspondence regarding the proposed project.

Conclusion

Staff believes the design, scale, and materials of the proposed residence are generally compatible with the surrounding neighborhood. The contemporary Spanish style would be generally attractive and well-proportioned. Staff also believes that due to the combination of smaller lot depth and triangular shape of the lot, a unique hardship exists and variance findings can be made to allow a reduced rear setback of 10 feet. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New construction or conversion of small structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

A. Draft Planning Commission Resolution approving the use permit

Exhibits to Attachment A

- A. Project Plans
- B. Project Description Letter
- C. Variance Letter
- D. Arborist Report
- E. Conditions of Approval
- B. Location Map
- C. Data Table

Report prepared by:
Chris Turner, Senior Planner

Report reviewed by:
Corinna Sandmeier, Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2026-XXX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT TO CONSTRUCT A NEW TWO-STORY, SINGLE-FAMILY RESIDENCE ON A SUBSTANDARD LOT WITH REGARD TO MINIMUM LOT DEPTH AND AREA IN THE R-1-U (SINGLE FAMILY URBAN RESIDENTIAL) ZONING DISTRICT, AT 949 LEE DRIVE. THE PROPOSED PROJECT ALSO INCLUDES A VARIANCE REQUEST TO REDUCE THE REAR SETBACK TO 10 FEET WHERE 20 FEET IS REQUIRED

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit to construct a new two-story, single-family residence on a substandard lot in the R-1-U zoning district. The project includes a request for a variance to reduce the rear setback to 10 feet where 20 feet is required (collectively, the “Project”) from Roi Omer (“Owner” and “Applicant”), located at 949 Lee Drive (APN 071-082-080) (“Property”). The variance and use permit are depicted in and subject to the development plans and documents which are attached hereto as Exhibit A through Exhibit D and incorporated herein by this reference; and

WHEREAS, the Property is located in the Single Family Urban Residential (R-1-U) zoning district, which supports the construction of single-family residences; and

WHEREAS, the Property is substandard with regard to minimum lot depth and area in the R-1-U zoning district; and

WHEREAS, two-story residences are allowed to be constructed on a substandard lot, subject to the granting of a use permit; and

WHEREAS, the proposed Project complies with all objective standards of the R-1-U district, aside from the requested variance; and

WHEREAS, the Applicant submitted an arborist report prepared by DR Tree consulting, incorporated herein as Exhibit D, which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance, and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the City Arborist conditionally approved a Heritage Tree Removal permit to remove one heritage Monterey pine tree; and

WHEREAS, the proposed Project was reviewed by the Engineering and Transportation Divisions and found to be in compliance with City standards; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code

Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project's environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. ("New construction or conversion of small structures"); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on August 10, 2026, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of a use permit for the construction of a new two-story residence on a substandard lot is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the

proposed use permit is consistent with the R-1-U zoning district and the General Plan because two-story residences are allowed to be constructed on substandard lots subject to granting of a use permit.

- b. The proposed project would comply with all standards of the R-1-U zoning district including, but not limited to maximum floor area limit, maximum building coverage, maximum height, minimum setbacks, except for the rear setback for which a variance is granted below, and daylight plane requirements.
- c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed residence would be located in a single-family neighborhood and has been designed in a way to complement the existing scale of surrounding homes.

Section 3. Variance Findings for reduced rear setback. The Planning Commission of the City of Menlo Park does hereby make the following Findings per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of a variance to reduce the rear setback:

- 1. That a hardship peculiar to the property and not created by any act of the owner exists; in that, the shape of the lot causes it to be particularly shallow with an average depth of only approximately 79 feet, but a depth of only 50 feet at its shallowest point along the left side property line. Due to the shape and shallow depth of the lot, the rear setback requirement becomes prohibitive, which is a hardship peculiar to the property and not created by an act of the owner.
- 2. That the variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming properties in the vicinity and that the variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors; in that, although the lot is similar in size to neighboring properties, the shape severely limits the buildable area. Therefore, granting the variance would be necessary for the preservation and enjoyment of substantial property rights possessed by other lots in the vicinity.
- 3. That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property; in that, the property to the rear is located in the R-1-U(X) zoning district and is developed with a six-unit condominium development. The residences within the condominium development are set back from the shared property line to accommodate a wide driveway, and therefore, the proposed variance would not restrict light or air to the residences and would not create a privacy issue.

4. That the conditions upon which the requested variance is based would not be applicable, generally, to property within the same zoning classification; in that, this lot is much shallower than other cul-de-sac lots in the R-1-U zoning district and that the conditions upon which this variance is requested would not be generally applicable to other R-1-U properties.
5. That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process; in that, the finding is not applicable because the subject parcel is not located within a Specific Plan area.

Section 4. Conditional Use Permit and Variance. The Planning Commission approves Use Permit and Variance No. PLN2025-00022, which use permit and variance are depicted in and subject to the development plans, project description letter, and variance letter, which are attached hereto and incorporated herein by this reference as Exhibit A, through C, respectively. The Use Permit and Variance are conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit E.

Section 5. Environmental Review. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (New construction or conversion of small structures).

Section 6. Severability. If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Principal Planner of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on August 10, 2026, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this ___ day of August, 2026.

PC Liaison Signature

Corinna Sandmeier
Principal Planner
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Variance Letter
- D. Arborist Report
- E. Conditions of Approval

[illegible]

COVER SHEET	<i>Margaret Wimmer</i> drawing prepared by: MARGARET WIMMER	 VALLEY BOUTIQUE BUILDERS	153 2nd St, Suite 105 Los Altos, CA 94022 (650) 201-9208
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**NEW RESIDENCE AT:
949 LEE DR.
MENLO PARK, CA. 94025**

DATE: 2/12/2026
DRAWN BY: MW
SCALE: AS SHOWN

A1.0

SCOPE OF WORK

[illegible]

DRAWINGS

1. **GENERAL CONDITIONS.** THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. **DIMENSIONS.** WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
3. **DIMENSIONS.** ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, OR TO THE CENTER OF GRIDS. COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. **DIMENSIONS.** "CL" DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. **COMPLETION.** THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.

6. GENERAL CONTRACTOR'S RESPONSIBILITIES
PLANS ON SITE. THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
DISCREPANCIES. THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND ON THE JOB SITE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
SUBSTITUTIONS. THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.

9. INSPECTIONS: THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND TECHNICAL SPECIFICATIONS TO DETERMINE COMPLIANCE WITH ALL APPLICABLE CODES AND COMPLIANCE MANUATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)

10. SUBMITTALS: THE G.C. SHALL SUBMIT ALL SUBMITTALS TO THE OWNER AND TO THE ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.

11. DEFERRED SUBMITTALS: DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND RECORDATION. THE DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE ARCHITECT FOR THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

12. WORKMANSHIP: ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY. BY THE COMMENCEMENT OF THE WORK, THE G.C. SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE REQUIREMENTS.

13. MANUFACTURER'S REQUIREMENTS: THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.

14. BRACING: THE G.C. SHALL DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.

CALGREEN NOTES

1. FOR GREEN BUILDING CHECKLIST AND REQUIREMENTS, SEE SHEET GB.1.
2. THE G.C. SHALL PROVIDE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER PER CALGREEN SEC. 4.10.1.
3. A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS TO BE RECYCLED OR REUSED, CALGREEN SEC. 4.06.8.1. VERIFY W/ LOCAL JURISDICTION IF HIGHER PERCENTAGE REQ.
4. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS, OPENINGS, CAL ENERGY CODE SEC. 4.06.1.
5. INTERIOR MOISTURE CONTENT PER SEC. 4.505
6. INDOOR AIR QUALITY AND EXHAUST: EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH SEC. 4.505.1.
7. LANDSCAPING
8. OUTDOOR AIR QUALITY

T-24 NOTES:

- VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION".
CONTACT TITLE 24 ENERGY CONSULTANT OF RECORD TO PROVIDE VERIFICATION.

ARBORIST NOTES
PRIOR TO ANY GE

tree, a certified arborist shall be retained to provide supervision and recommendations to minimize possible damage to the tree. The proposed trenching shall then be approved by the the City of Menlo Park arborist prior to commencing digging.

GEOTECHNICAL CLEARANCE

SOILS REPORT SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS AND INVESTIGATIONS.

DEFERRED SUBMITTALS

FIRE SPRINKLER DESIGN

A RESIDENTIAL FIRE SPRINKLER SYSTEM
IS REQUIRED IN ACCORDANCE WITH
NFPA 13D 2016, SECTION R313 AND
STATE AND LOCAL REQUIREMENTS

**A SURVEY WILL BE OFFERED TO
VERIFY DAYLIGHT PLANE IF NEEDED**

THESE PLANS SHALL COMPLY WITH:

2025 CBC - California Building Code
2025 CRC - California Residential Code
2025 CPC - California Plumbing Code
2025 CMC - California Mechanical Code
2025 CEC - California Electric Code
2025 California Building Energy Efficiency Standards
2025 California Fire Code
2025 California Administrative Code
2025 California Energy Code
2025 California Green Building Standards Code (CAL GREEN)
City of MENLO PARK Municipal Code

SHEET INDEX

SPIN	071-082-080	A1.0	TITLE SHEET
ZONE	RIU	A1.1	SITE PLAN
OCCUPANCY	R-3U	A1.2	SETBACK VERIFICATION DIAGRAMS
CONSTRUCTION TYPE	V-B	A1.3	AREA PLAN & NEIGHBORHOOD STREETScape
AUTOMATIC SPRINKLERS	YES	A1.4	FLOOR PLAN SQUARE FOOTAGE CALCULATIONS
STORIES	2	A1.5	THREE PROTECTION
LOT AREA	5002.5F	A3.0	EXISTING / DEMOLITION PLAN
FLOOR AREA		A3.1	EXISTING / DEMO ELEVATIONS
MAX. ALLOWED (FAL = 2,800 SF)		A4.0	PROPOSED FIRST FLOOR PLAN
ACTUAL		A4.1	PROPOSED SECOND FLOOR PLAN
EXISTING - HOUSE, SINGLE STORY (CONDITIONED)	849 SF	A5.0	PROPOSED ROOF PLAN
EXISTING - STORAGE AREA (UNCONDITIONED)	130 SF	A6.0	PROPOSED ELEVATIONS
EXISTING - ATTACHED STORAGE (UNCONDITIONED)	10 SF	A6.1	PROPOSED ELEVATIONS - COLOR BOARD
PROPOSED - HOUSE, FIRST FLOOR (CONDITIONED)	1,391.25 SF	A7.0	PROPOSED BUILDING SECTIONS
PROPOSED - HOUSE, SECOND FLOOR (CONDITIONED)	1,142.50 SF	A7.1	PROPOSED BUILDING SECTIONS
STAIR CREDIT	- SF	A7.2	PROPOSED BUILDING SECTIONS
ATTIC AREA ABOVE 5'-0"	150 SF	A8.0	WINDOW AND DOOR SCHEDULES
PROPOSED - HOUSE TOTAL (CONDITIONED)	2,570.00 SF	SU1	TOPOGRAPHIC AND BOUNDARY SURVEY
PROPOSED - GARAGE (UNCONDITIONED)	- SF	C0	CIVIL - TITLE SHEET & NOTES
TOTAL FLOOR AREA	969 SF	C1	CIVIL - DEMOLITION PLAN
		C2	CIVIL - GRADING AND DRAINAGE PLAN
		C3	CIVIL - UTILITIES/PLUMBING
		C4	CIVIL - DETAILS
		C5	CIVIL - EROSION CONTROL
		C6	BEST MANAGEMENT PRACTICES
		L1.0	PRELIMINARY LANDSCAPE PLAN
SITE COVERAGE	1,750.75 SF		
MAX ALLOWED (35% x SITE AREA)			
ACTUAL			
EXISTING - MAIN HOUSE FOOTPRINT	849 SF		
EXISTING - SHED	130 SF		
EXISTING - ATTACHED STORAGE	10 SF		
EXISTING - COVERED CAR PORT	232 SF		
EXISTING - REAR COVERED PORCH	139 SF		
EXISTING - CHIMNEY	5 SF		
PROPOSED - MAIN HOUSE FOOTPRINT	1,391.25 SF		
PROPOSED - DETACHED GARAGE	- 228.25 SF		
PROPOSED - SIDE COVERED TRELLIS	55.75 SF		
TOTAL SITE COVERAGE	1,368.5F		
	1,636.25 SF		

SETBACKS:

Front yard setback:	20.0'
Rear yard setback:	20.0'
Side yard setbacks: (10% LOT WIDTH)	6.0'
Maximum Height:	28.0'

PARKING REQUIREMENT:

2 spaces per dwelling unit, one of which must be covered. Required spaces cannot be located in required front or side yard setbacks or in tandem

ARBORIST REQUIREMENTS:

A tree protection verification letter from the Project Arborist is required before issuing the associated demolition and building permits.

- | | | |
|---|--|--|
| <p>a. Tree protection should be installed in compliance with city tree protection requirements and project-specific recommendations in the Arborist Report.</p> | | <p>32032 DUNLAP BOULEVARD
YUCAIPA, CA 92399
SORSSEN.MARKE@GMAIL.COM
T: 925-683-2910</p> |
| <p>b. The Project Arborist should visit the property, verify that the protection measures comply, take photos, and prepare a brief verification letter for City Arborist review.</p> | <p>SURVEYOR:</p> | <p>LEA AND BRAZE ENGINEERING, INC.
2495 INDUSTRIAL PKWY WEST
WEST HAYWARD, CA 95545
T: 510-887-4086</p> |
| <p>c. For tree protection verification:</p> | <p>STRUCTURAL ENG.:</p> | <p>MORRIS SHAFFER ENGINEERING
1300 INDUSTRIAL ROAD
SUITE 14
SAN CARLOS, CA 94070
T: 650-595-2973
F: 650-595-2980</p> |
| <p>i. tree protection fencing needs signage;</p> | | |
| <p>ii. there should be a plan for providing consistent irrigation to the trees before, during, and after construction (this helps the trees tolerate root loss better);</p> | | |
| <p>iii. tree protection zones need mulch and/or plywood soil compaction protection.</p> | <p>TITLE 24 ENERGY & GREEN BUILDING:</p> | <p>A PLUS GREEN ENERGY SERVICES
41 C HANGAR WAY
WATSONVILLE, CA 95078
T: 831-728-7717</p> |
| <p>4. Please Note: The Project Arborist must also provide monthly tree protection monitoring inspections during active construction and demolition.</p> | <p>ARBORIST:</p> | <p>Dustie Rushing
ISA TRAQ #WE-10084A / R/C A #890
D.R. Tree Consulting
PO Box 3004
Castro Valley, CA 94546</p> |
| <p>a. During these inspections, the Project Arborist should monitor the condition of the trees, verify the compliance of tree protection measures, provide recommendations for any necessary maintenance and impact mitigation, and prepare monthly reports</p> | | |
| <p>for City Arborist Review.</p> | | |

SUBDIVISION ORDINANCE FRONT SETBACK

City of Menlo Park, California
 Planning Department
 10000 Elgin Road, Suite 100
 Menlo Park, CA 94025
 (650) 321-1000
 www.ci.menlo-park.ca.us



Subdivision Ordinance Front Setback

Subdivision Ordinance Front Setback: The minimum distance between the front of a building and the front of the lot.

Building Setback

Building setbacks are the minimum distance between the front of a building and the front of the lot. The minimum distance between the front of a building and the front of the lot is 10 feet.

When the building is located on a corner lot, the minimum distance between the front of the building and the front of the lot is 10 feet.

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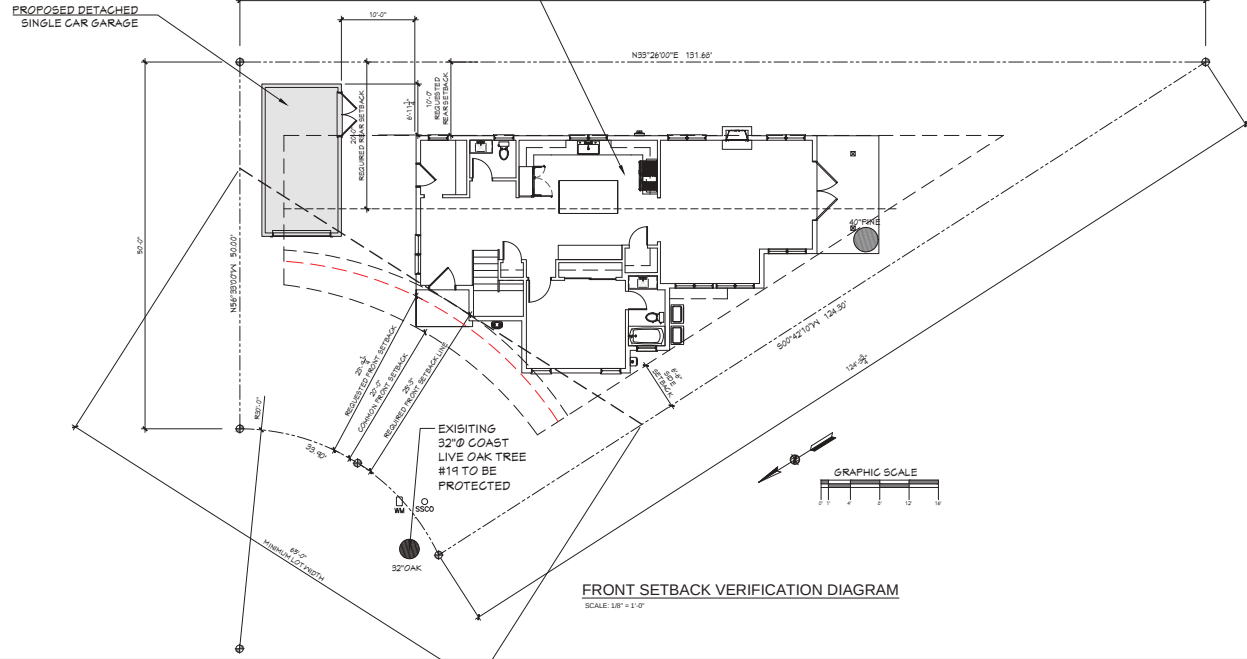
When the building is located on a corner lot, the minimum distance between the front of the building and the front of the lot is 10 feet.

When the building is located on a corner lot, the minimum distance between the front of the building and the front of the lot is 10 feet.

10000 Elgin Road, Suite 100

PROPOSED DETACHED SINGLE CAR GARAGE

PROPOSED TWO STORY DWELLING



FRONT SETBACK VERIFICATION DIAGRAM

SCALE: 1/8" = 1'-0"

Lot Depth

Lot Depth: The minimum depth of a lot, measured from the front of the lot to the rear of the lot.

When the lot is located on a corner lot, the minimum depth of the lot is 10 feet.

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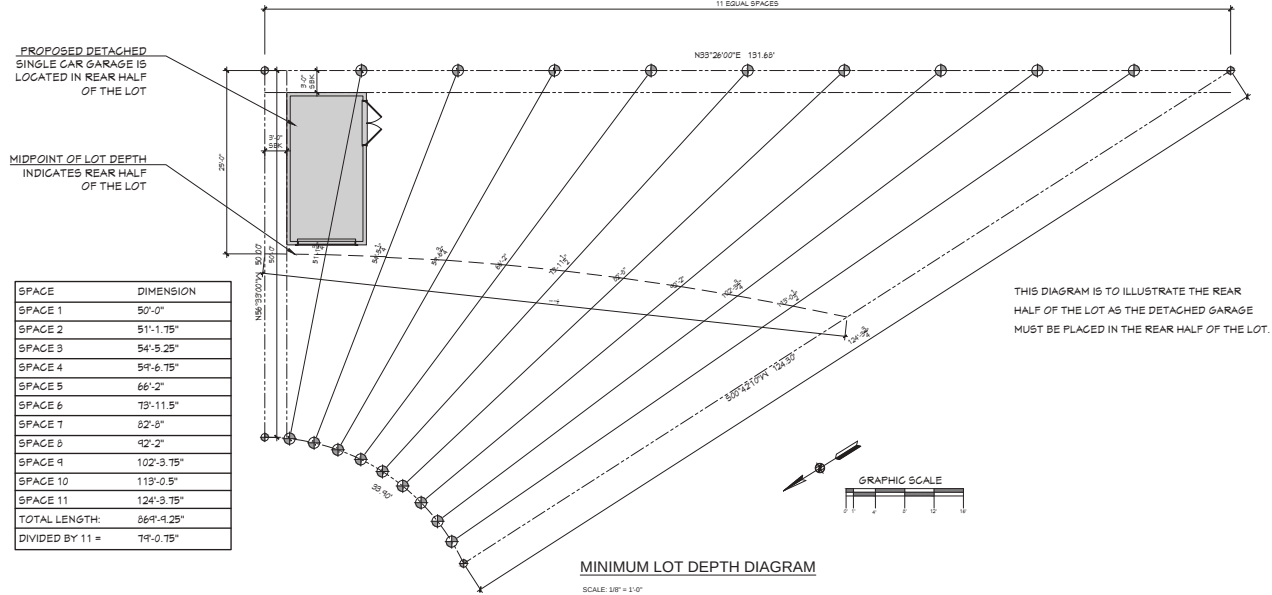
When the lot is located on a corner lot, the minimum depth of the lot is 10 feet.

When the lot is located on a corner lot, the minimum depth of the lot is 10 feet.

10000 Elgin Road, Suite 100

PROPOSED DETACHED SINGLE CAR GARAGE IS LOCATED IN REAR HALF OF THE LOT

MIDPOINT OF LOT DEPTH INDICATES REAR HALF OF THE LOT



MINIMUM LOT DEPTH DIAGRAM

SCALE: 1/8" = 1'-0"

THIS DIAGRAM IS TO ILLUSTRATE THE REAR HALF OF THE LOT AS THE DETACHED GARAGE MUST BE PLACED IN THE REAR HALF OF THE LOT.

REVISIONS

NO.	DATE

VALLEY
 BOUTIQUE BUILDERS
 153 2nd St, Suite 105, Los Altos, CA 94022
 (650) 201-9208

FRONT SETBACK VERIFICATION AND MINIMUM LOT DEPTH DIAGRAMS
 Margaret Wimmer
 drawing prepared by: MARGARET WIMMER

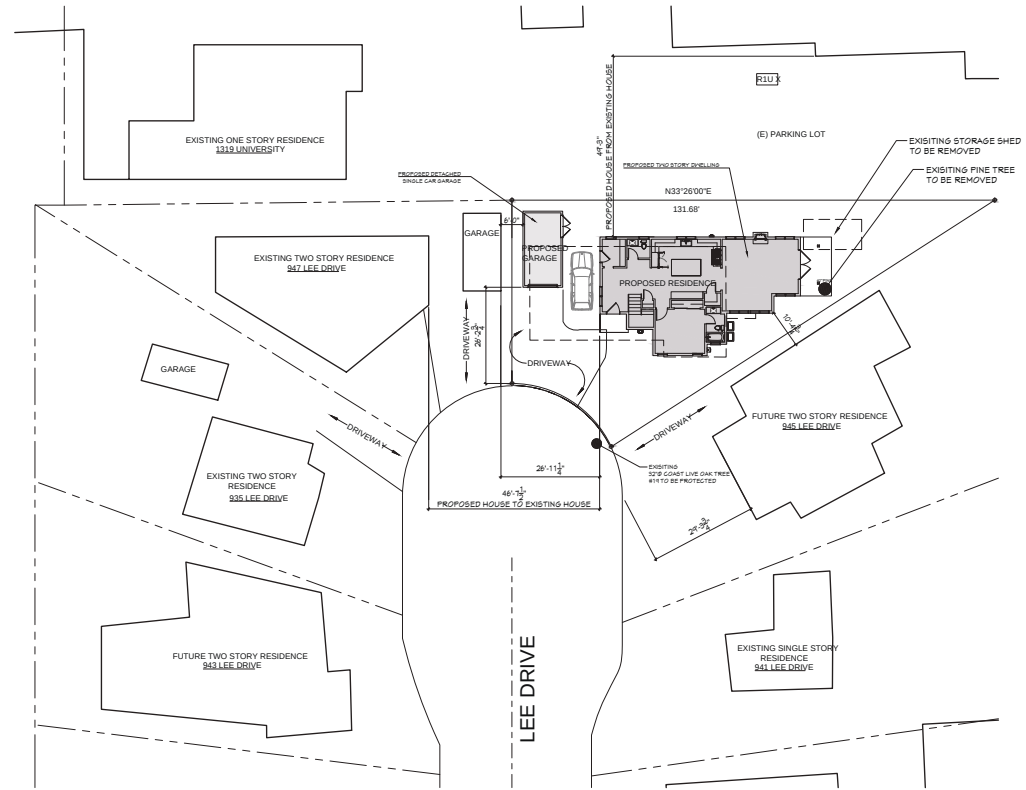
NEW RESIDENCE AT:
949 LEE DR.
 MENLO PARK, CA. 94025

DATE: 2/12/2026

DRAWN BY: MW

SCALE: AS SHOWN

A1.2



AREA PLAN
SCALE: 1/16" = 1'-0"



NEIGHBORHOOD STREETSCAPE
SCALE: 1/16" = 1'-0"

NOT THAT THESE DIAGRAMS TO NOT TAKE INTO ACCOUNT
THAT THEY ARE ANGLED ON A CULDESAC

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VALLEY
BOUTIQUE BUILDERS
153 2nd St, Suite 105, Los Altos, CA 94022
(650) 201-9208

AREA PLAN AND NEIGHBORHOOD
STREET SCAPES PLAN

Margaret Wimmer
drawing prepared by: MARGARET WIMMER

NEW RESIDENCE AT:
949 LEE DR.
MENLO PARK, CA. 94025

DATE:	2/12/2026
DRAWN BY:	MW
SCALE:	AS SHOWN
A1.3	

AREA CALCULATION

FIRST FLOOR AREA

SECTION	DIMENSION	AREA
A	7'-2.5" x 4'-2.75"	30.50 sq.ft.
B	14'-9.5" x 11'-7"	171.00 sq.ft.
C	5'-4.5" x 8'-6"	45.25 sq.ft.
D	14'-5.5" x 21'-0.25"	303.75 sq.ft.
E	20'-1.25" x 20'-9"	417.75 sq.ft.
F	12'-10.5" x 20'-9"	267.00 sq.ft.
G	7'-2.75" x 16'-1"	116.00 sq.ft.
TOTAL FIRST FLOOR AREA =		1,351.25 sq.ft.

SECOND FLOOR AREA

SECTION	DIMENSION	AREA
H	20'-10.75" x 21'-0.25"	439.25 sq.ft.
I	7'-2.5" x 4'-2.75"	30.50 sq.ft.
J	6'-5.75" x 6'-3.5"	40.75 sq.ft.
K	14'-9.5" x 2'-11.75"	44.00 sq.ft.
L	13'-8" x 8'-5.75"	115.75 sq.ft.
M	16'-9" x 18'-10.5"	315.50 sq.ft.
N	7'-10.5" x 3'-4.75"	26.75 sq.ft.
O	7'-2.75" x 13'-3"	95.50 sq.ft.
P	9'-9.5" x 18'-10"	184.50 sq.ft.
TOTAL SECOND FLOOR AREA =		1,242.50 sq.ft.

STAIR CREDIT = 9'-7.5" x 7'-10" =

<75.25 sq.ft.>

ATTIC AREA ABOVE 5'-0" =

1.50 sq.ft.

TOTAL HOUSE FLOOR AREA =

2,570.00 sq.ft.

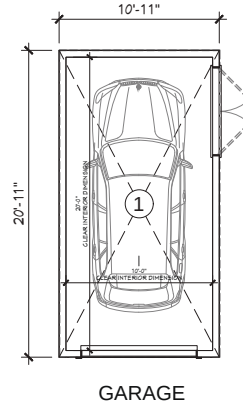
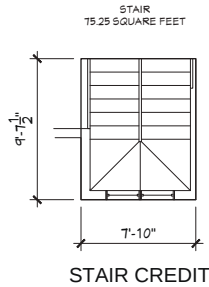
GARAGE FLOOR AREA

1 10'-11" x 20'-11" 228.25 sq.ft.

TOTAL FLOOR AREA RATIO (HOUSE + GARAGE) = 2,798.25

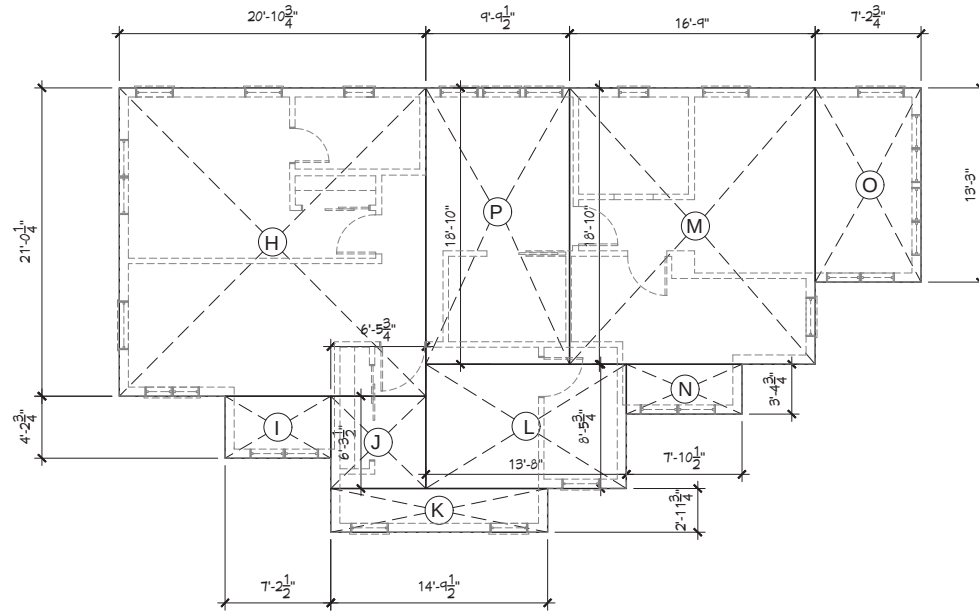
TRELLIS FLOOR AREA

2 5'-2.5" x 10'-8.75" 55.75 sq.ft.



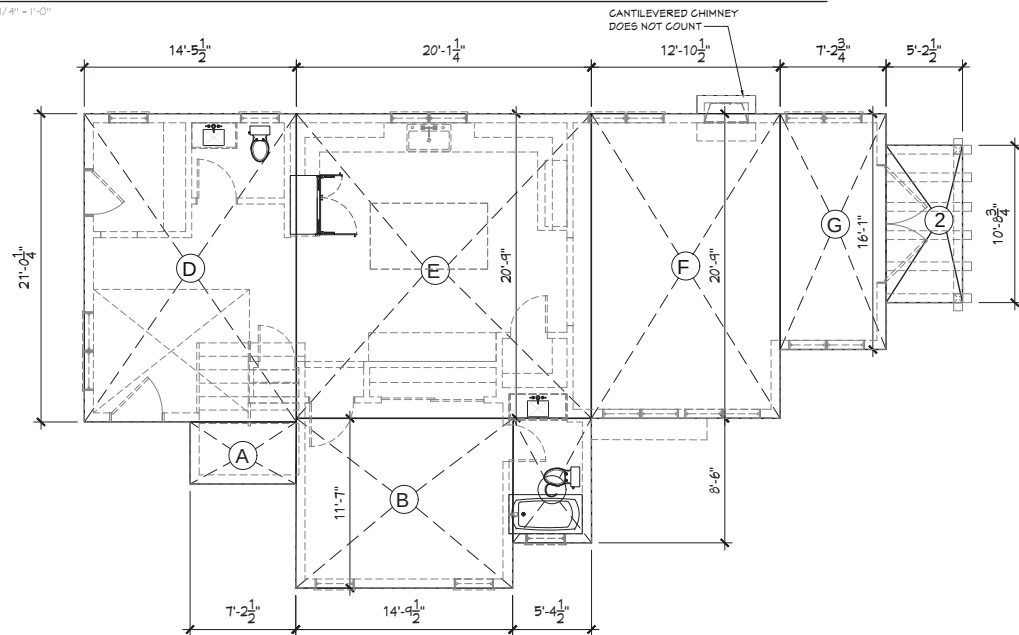
FIRST FLOOR AREA CALCULATION

SCALE: 1/4" = 1'-0"



SECOND FLOOR AREA CALCULATION

1/4" = 1'-0"



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VALLEY
BOULIQUE BUILDERS
153 2nd St, Suite 105, Los Altos, CA 94022
(650) 201-9208

FLOOR AREA SQUARE
FOOTAGE CALCULATIONS
Margaret Wimmer
drawing prepared by: MARGARET WIMMER

NEW RESIDENCE AT:
949 LEE DR.
MENLO PARK, CA. 94025

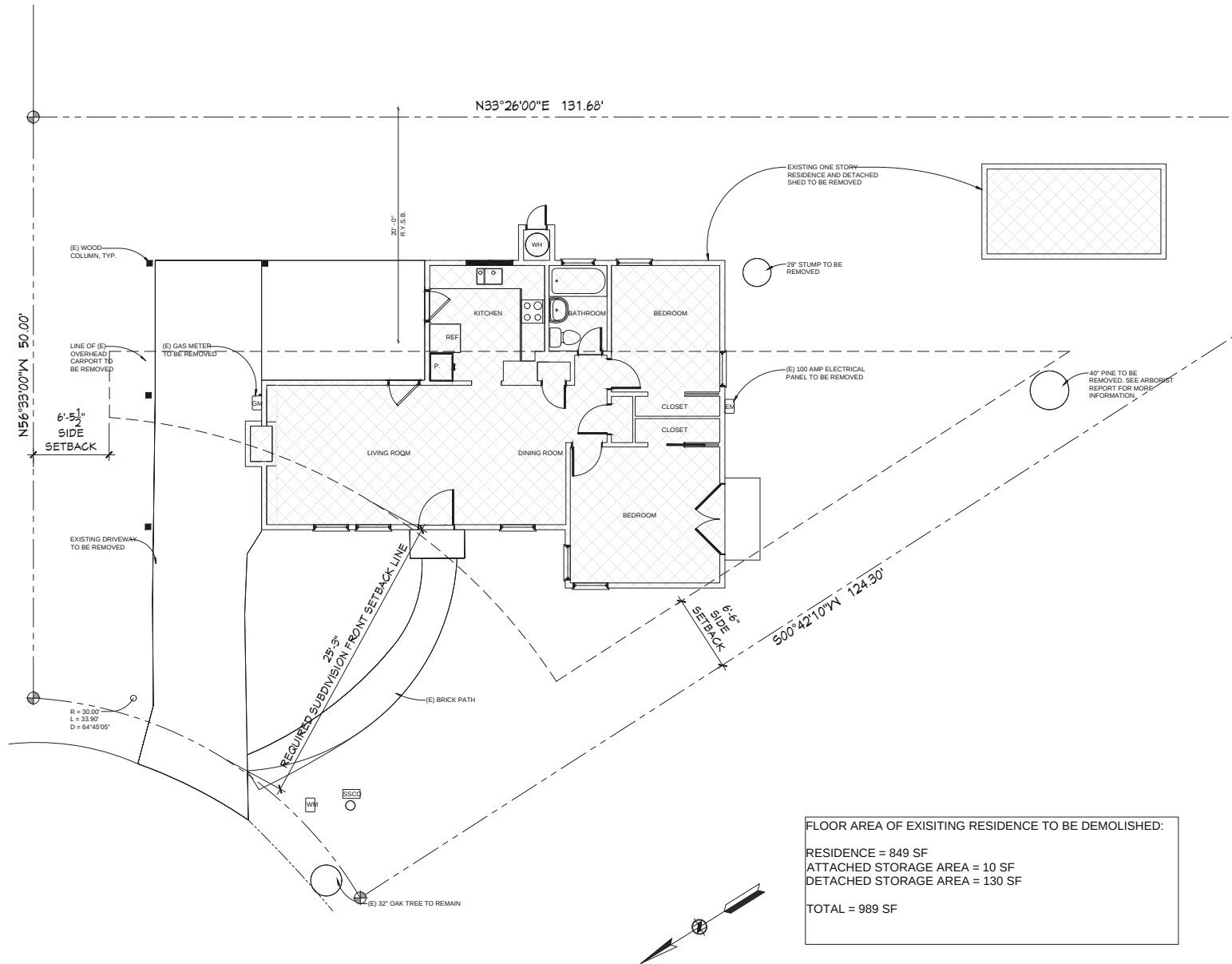
DATE: 2/12/2026

DRAWN BY: MW

SCALE: AS SHOWN

A1.4

A11



FLOOR AREA OF EXISTING RESIDENCE TO BE DEMOLISHED:

RESIDENCE = 849 SF
 ATTACHED STORAGE AREA = 10 SF
 DETACHED STORAGE AREA = 130 SF

TOTAL = 989 SF

DEMOLITION PLAN
 SCALE: 3/4" = 1'-0"

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VALLEY
 BOUTIQUE BUILDERS
 153 2nd St, Suite 105, Los Altos, CA 94022
 (650) 201-9208

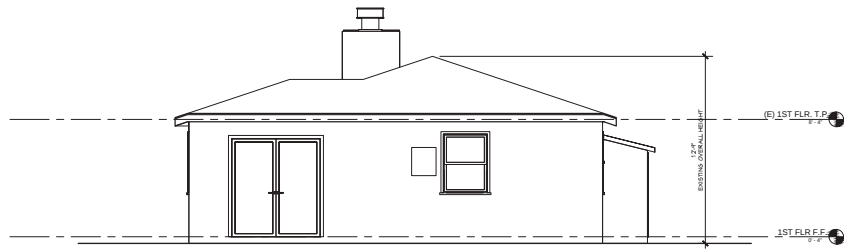
EXISTING FLOOR PLAN
 DEMO PLAN

Margaret Wimmer
 drawing prepared by: MARGARET WIMMER

NEW RESIDENCE AT:
949 LEE DR.
 MENLO PARK, CA. 94025

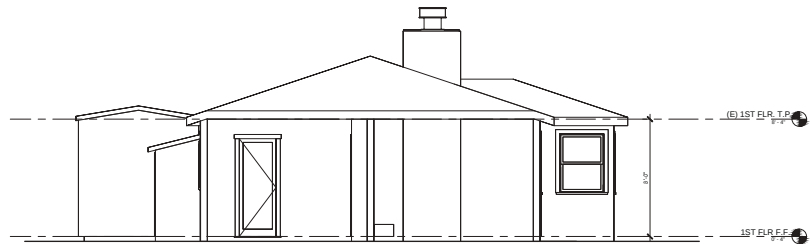
DATE: 2/12/2026
 DRAWN BY: MW
 SCALE: AS SHOWN

A3.0



(E) EAST ELEVATION

SCALE: 1/4" = 1'-0"



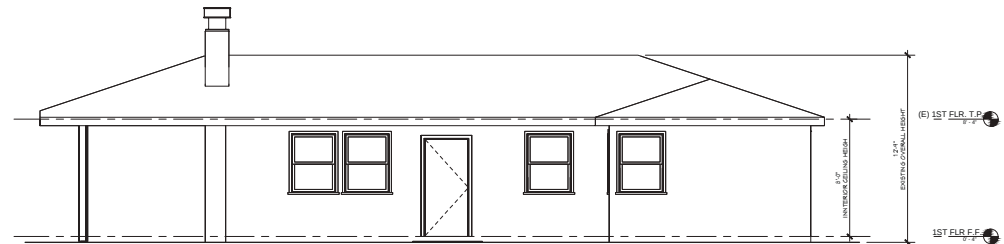
(E) WEST ELEVATION

SCALE: 1/4" = 1'-0"



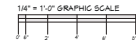
(E) NORTH ELEVATION

SCALE: 1/4" = 1'-0"



(E) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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VALLEY
BOUTIQUE BUILDERS
153 2nd St, Suite 105, Los Altos, CA 94022
(669) 201-9208

EXISTING EXTERIOR ELEVATIONS

Margaret Wimmer
drawing prepared by: MARGARET WIMMER

NEW RESIDENCE AT:
949 LEE DR.
MENLO PARK, CA. 94025

DATE: 2/12/2026

DRAWN BY: MW

SCALE: AS SHOWN

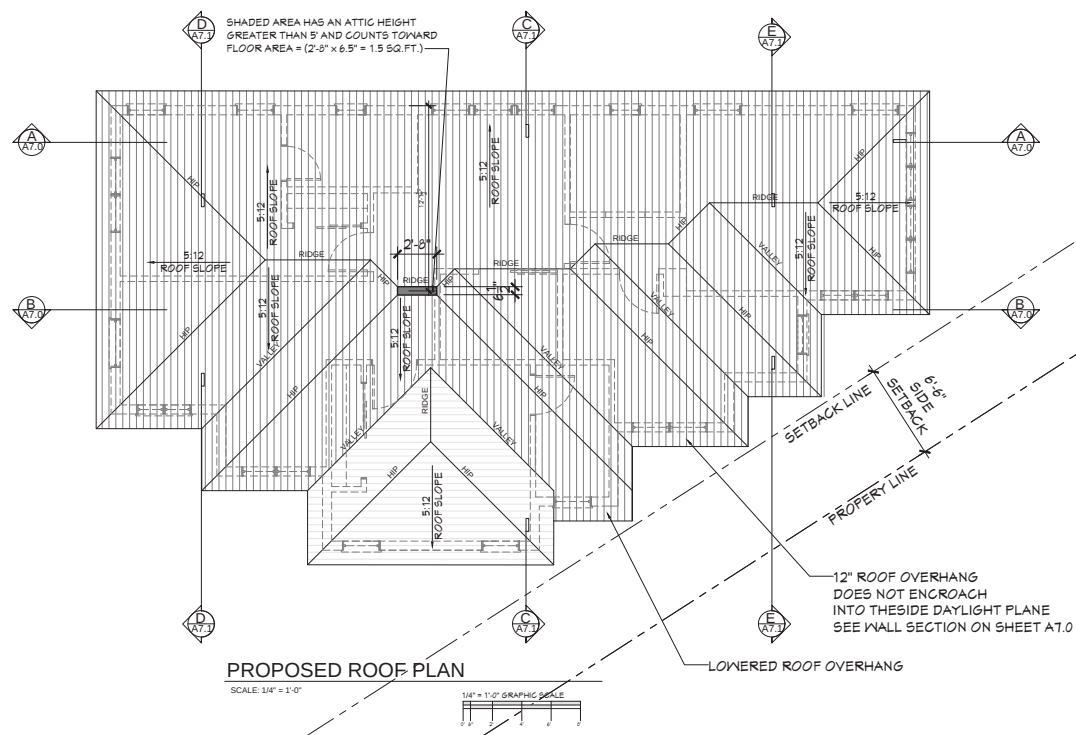
A3.1

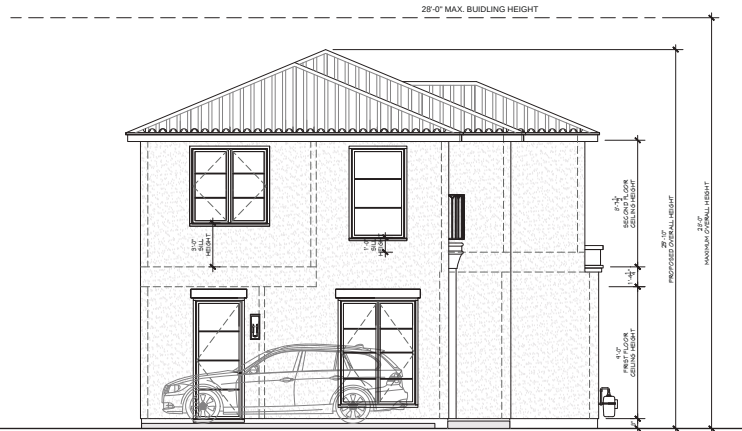


A4.1



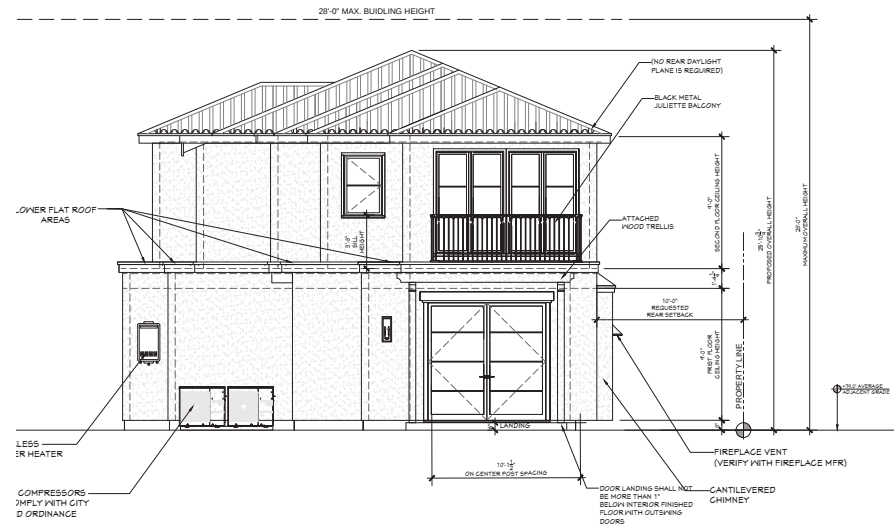
GUTTER AND DOWNSPOUT SPECIFICATION

[illegible]



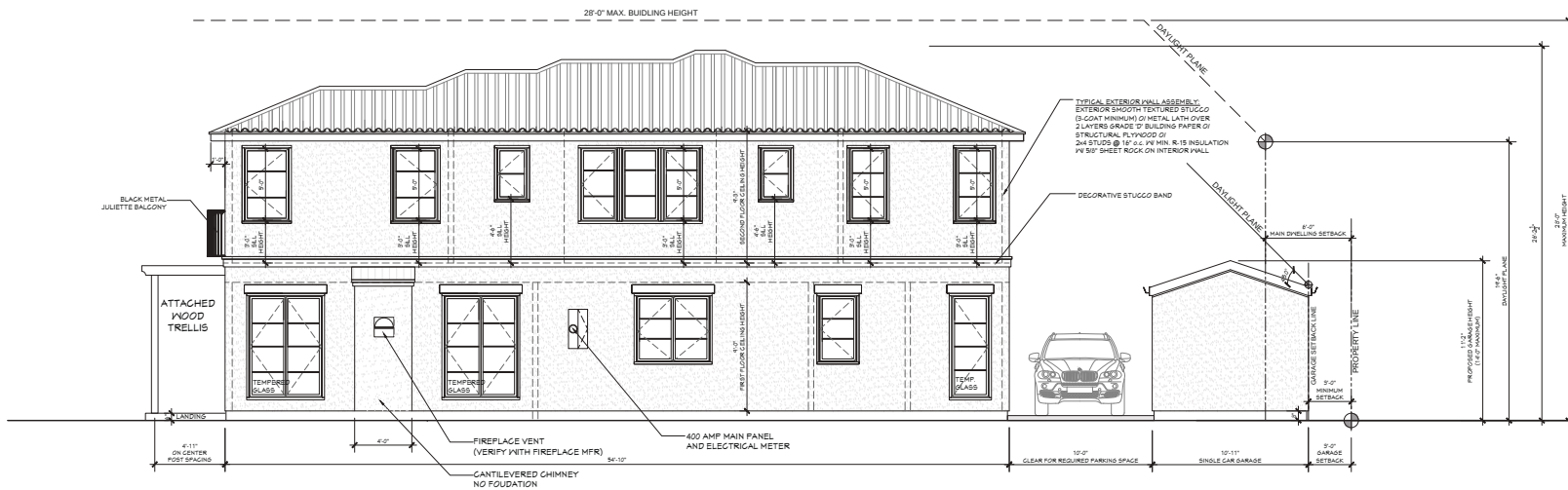
PROPOSED EAST (LEFT) ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST (RIGHT) SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE

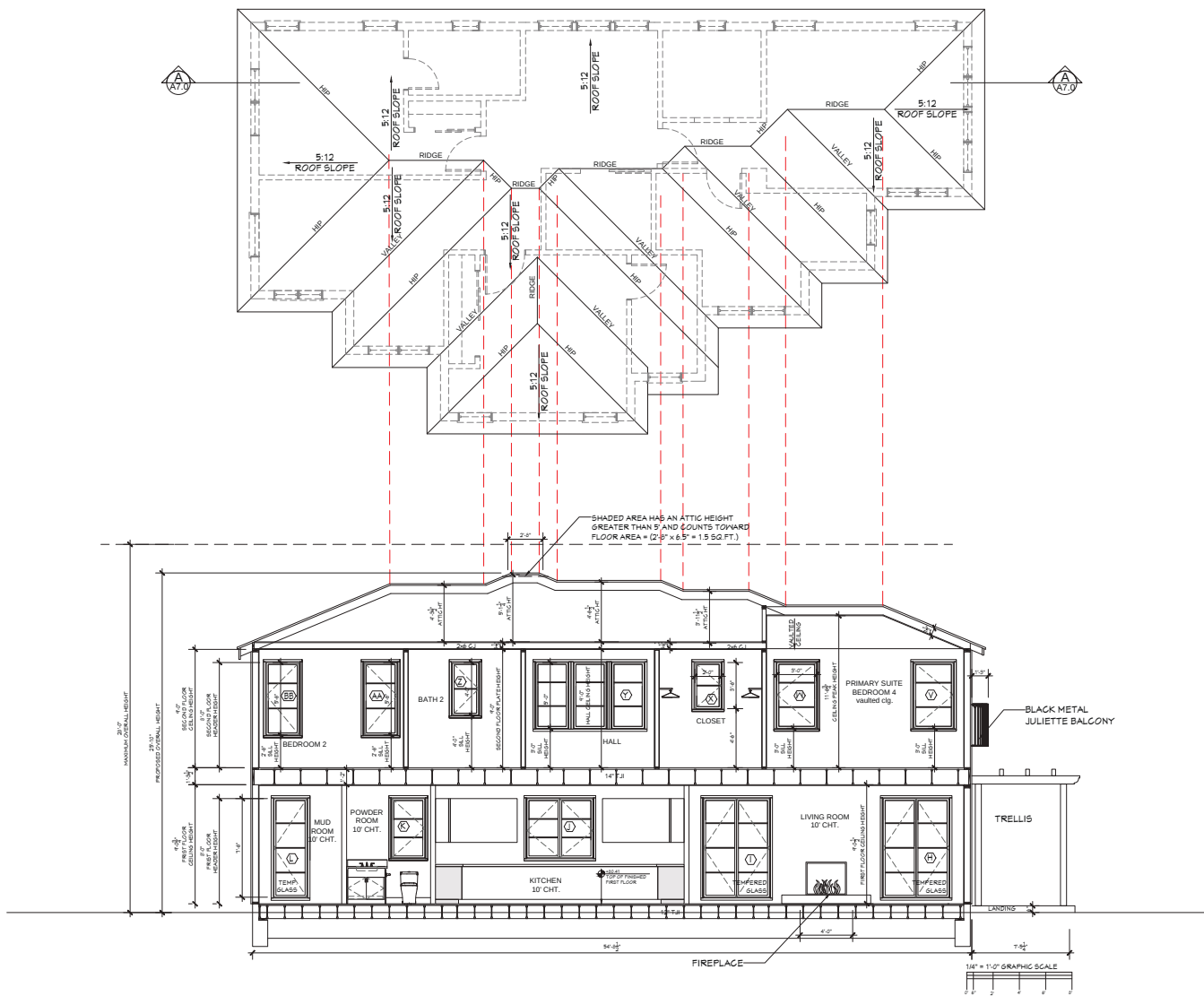
VALLEY
BOULIQUE BUILDERS
153 2nd St, Suite 105, Los Altos, CA 94022
(650) 201-9208

EXTERIOR ELEVATIONS
Margaret Wimmer
drawing prepared by: MARGARET WIMMER

NEW RESIDENCE AT:
949 LEE DR.
MENLO PARK, CA. 94025

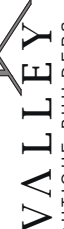
DATE: 2/12/2026
DRAWN BY: MW
SCALE: AS SHOWN

A6.1



BUILDING SECTION A-A
SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DATE



VALLEY
BOULIQUE BUILDERS
153 2nd St, Suite 105, Los Altos, CA 94022
(650) 201-9208

BUILDING SECTIONS

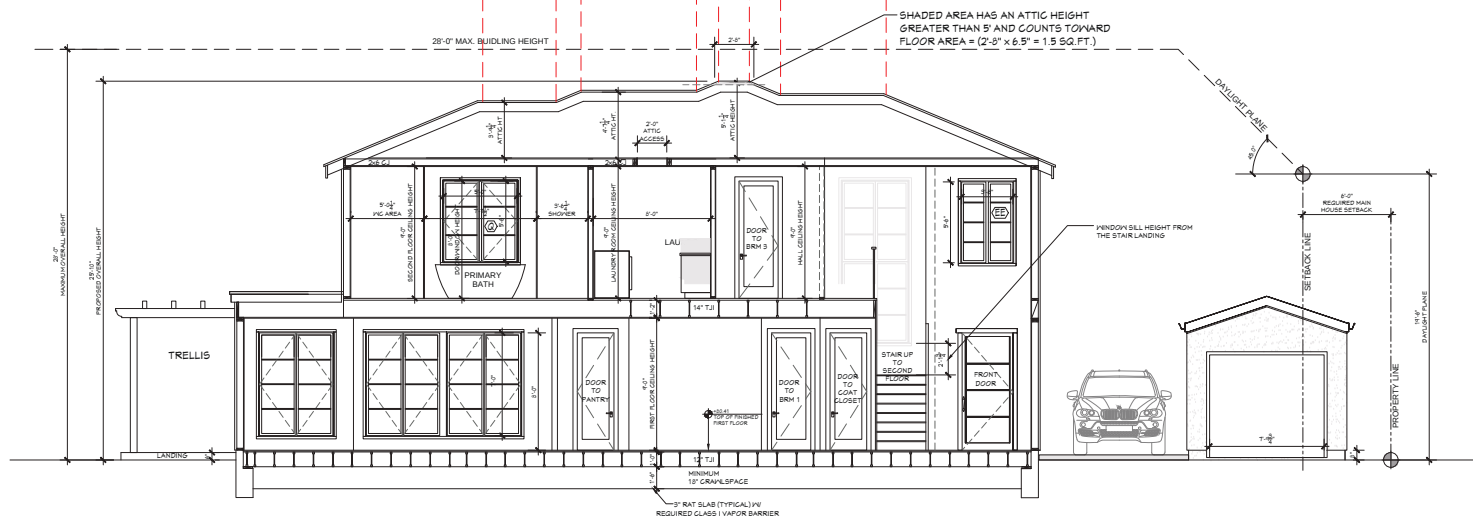
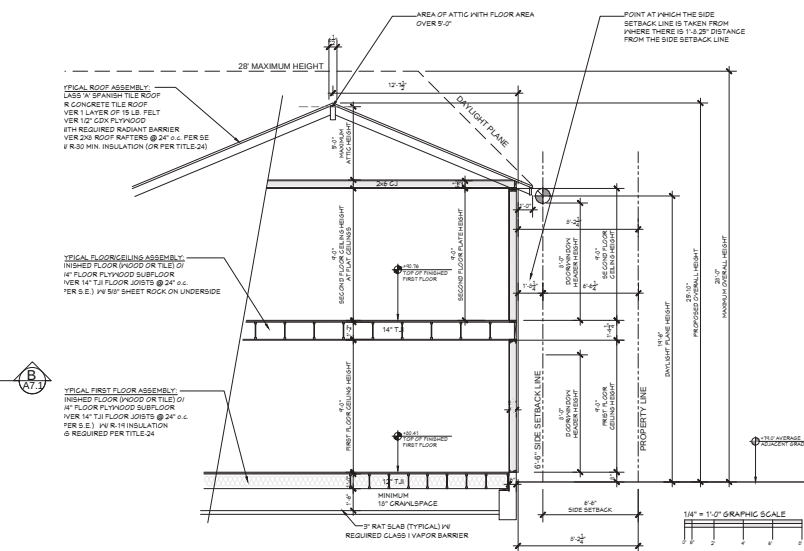
Margaret Wimmer

drawing prepared by: MARGARET WIMMER

NEW RESIDENCE AT:
949 LEE DR.
MENLO PARK, CA. 94025

DATE: 2/12/2026
DRAWN BY: MW
SCALE: AS SHOWN

A7.0

[illegible]

[illegible]

VALLEY
BOUTIQUE BUILDERS
153 2nd St, Suite 105, Los Altos, CA 94022
(669) 201-9208

BUILDING SECTIONS

Margaret Winner
drawing prepared by: MARGARET WIMMER

**NEW RESIDENCE AT:
949 LEE DR.
MENLO PARK, CA. 94025**

DATE: 2/12/2026

DRAWN BY: MW

SCALE: AS SHOWN

A7.2



GRILLES TO BE SIMULATED TRUE DIVIDED LITES WITH
INTERIOR AND EXTERIOR MUNTIONS AND SPACER
BARS BETWEEN THE PANES

A8.0

LEGEND AND NOTES

---	BOUNDARY LINE
---	BUILDING OVERHANG LINE
---	ELECTRICAL/TELEPHONE/ CABLE TV OVERHEAD LINE
---	TELEPHONE OVERHEAD LINE
---	CABLE TV/ELECTRICAL OVERHEAD LINE
---	EASEMENT
---	FENCE LINE
---	FLOW LINE
---	SANITARY SEWER LINE
⊕	BENCHMARK
⊕	ELECTRICAL METER
FF	FINISH FLOOR
FL	FLOW LINE
GM	GAS METER
—	GUY ANCHOR
INV	INVERT
ICV	IRRIGATION CONTROL VALVE
⊕	JOINT POLE
RP	ROOF PEAK
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MAINTENANCE HOLE
WM	WATER METER
WV	WATER VALVE
XXX	SPOTGRADE
ASPH	ASPHALT
BRICK	BRICK
CONC	CONCRETE
PAVERS	PAVERS

FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)

FLOOD INSURANCE RATE MAP No. 06081C0304E
EFFECTIVE DATE: OCTOBER 16, 2012

EASEMENT NOTE

EASEMENTS ARE SHOWN PER POLICY OF TITLE INSURANCE ISSUED BY COMMONWEALTH LAND TITLE INSURANCE
POLICY NO. FLP-0062400988
DATED DECEMBER 19, 2024

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

BENCHMARK

CITY OF MENLO PARK BENCHMARK
BM7
BRASS DISK SET IN TOP OF CURB, STAMPED "CITY BENCHMARK 7" LOCATED AT THE INTERSECTION OF HARVARD AVENUE AND ALTO LANE, AT THE SOUTHERLY END OF THE SOUTHEASTELY CURB RETURN.

ELEVATION = 65.71'
(NAVD 88 DATUM)

TREE NOTE

TREE SIZE, TYPE AND DRUPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARCHITECT.

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING).

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE AREA OF THE SURVEYED LOT IS 5,002± SQUARE FEET / 0.11± ACRES

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 78.38'
(NAVD 88 DATUM)

SURVEYOR'S STATEMENT

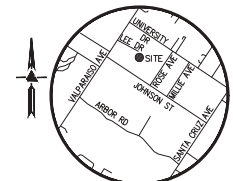
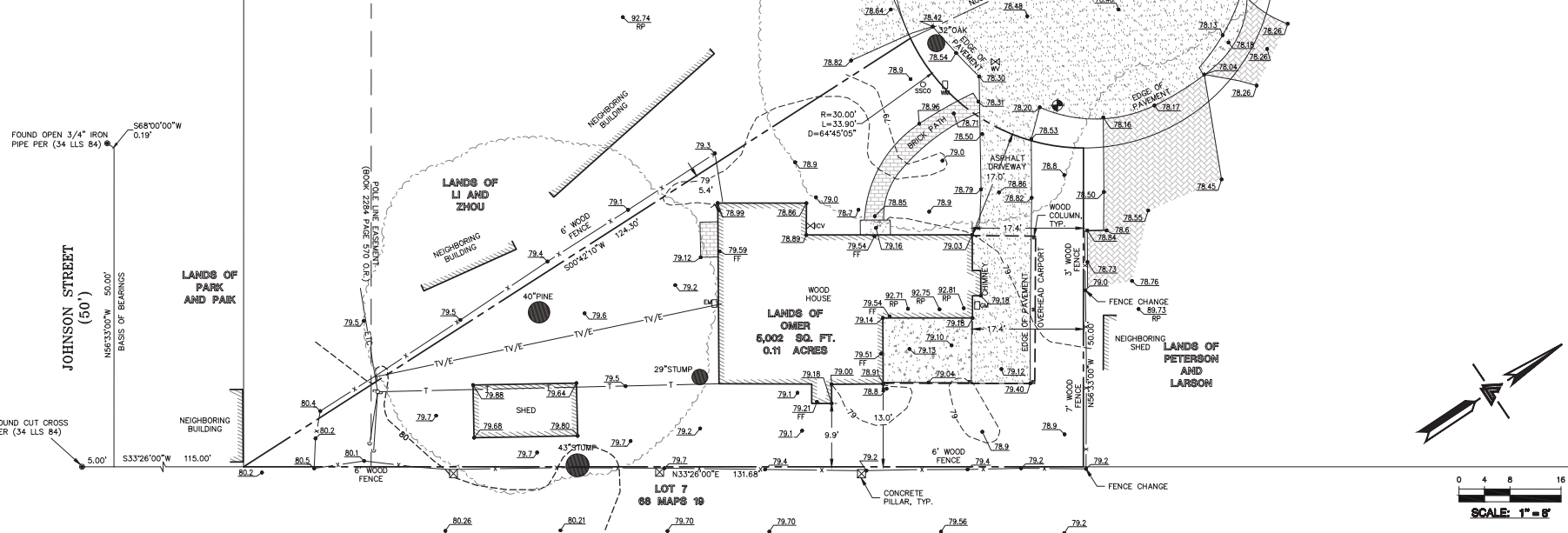
I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE DATE
L.S. NO. 7623



BASIS OF BEARINGS

THE BEARING NORTH 56°33'00" WEST BETWEEN FOUND MONUMENTS ON THE NORTHERLY LINE OF JOHNSON STREET AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 34 OF PARCEL MAPS AT PAGE 84, SAN MATEO COUNTY MAPS WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.



VICINITY MAP
NO SCALE

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
SAN JOSE, CALIFORNIA
SAN JOSE, CALIFORNIA
(415) 887-4086
WWW.LEABRAZE.COM

949 LEE DRIVE
MENLO PARK
CALIFORNIA

TOPOGRAPHIC AND
BOUNDARY SURVEY

REVISIONS	BY
JOB NO: 2250186	
DATE: 2-20-25	
SCALE: 1"=8'	
BNDY BY: KR	
FIELD BY: MS	
DRAWN BY: KF	
SHEET NO:	

SU1
1 OF 1 SHEETS

NEW RESIDENCE

949 LEE DRIVE, MENLO PARK
MAY 02, 2026

STANDARD GENERAL NOTES

1. THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.
2. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED, AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING, AND BRACING OR EQUIVALENT METHOD, FOR THE PROTECTION OF LIFE OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
5. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY.
6. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.
7. LENGTHS OF STORM DRAINS ARE HORIZONTAL DISTANCES FROM CENTER TO CENTER OF STRUCTURES, ROUNDED OFF TO THE NEAREST FOOT.
8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SUBSEQUENTLY AFFECTED FACILITIES. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ENGINEER.
9. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.
10. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC.
11. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
12. CIVIL ENGINEER DOES NOT SPECIFY NOR RECOMMEND THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM, OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS. ANY PARTY INSTALLING OR USING SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES OR LIABILITIES OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT. THE PROVISIONS OF THIS NOTE SHALL APPLY UNLESS THEY ARE EXPRESSLY WAIVED IN WRITING BY CIVIL ENGINEER.
13. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CIVIL ENGINEER AT (925) 683-2910 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

PROJECT GENERAL NOTES

1. CONSTRUCTION AND GRADING OPERATIONS SHALL BE LIMITED TO MONDAY THROUGH FRIDAY 8:00 A.M. TO 6:00 P.M., SATURDAY: 8:00 A.M. TO 4:00 P.M. NO CONSTRUCTION ON SUNDAY & TOWN OBSERVED HOLIDAYS. DUST CONTROL MEASURES SHALL BE FOLLOWED AT ALL TIMES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA, THE APPLICABLE PROVISIONS OF CALTRANS STANDARD SPECIFICATIONS, AND TO THE SATISFACTION OF THE STATE INSPECTOR.
3. THESE PLANS AND SPECIFICATIONS, INCLUDING GRADES AND DRAINAGE ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION. SHOULD CONDITIONS APPEAR THAT WERE NOT APPARENT DURING DESIGN, ANY SUCH MODIFICATION SHALL BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE EXISTING ELEVATIONS AT THIS SITE PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY CIVIL ENGINEER IN WRITING IMMEDIATELY OF ANY DIFFERENCES FROM THOSE SHOWN ON THE PLAN.
5. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT AND CIVIL ENGINEER.
6. THE NOTES SHOWN ON THIS PLAN SHALL BE COORDINATED WITH THE GENERAL AND SPECIAL CONDITIONS FOR THIS PROJECT.
7. AN ENCRUSTATION PERMIT FROM THE CITY IS REQUIRED FOR ANY WORK WITHIN THE CITY RIGHT OF WAY.
8. ALL EXISTING UTILITY BOXES SHALL BE ADJUSTED TO NEW FINISH GRADE OR OVERLAY GRADE.
9. SEE TOPOGRAPHIC SURVEY (BY OTHERS) FOR SITE CONTROL. SEE TOPOGRAPHIC MAP BY CARNES AND EXPANIAN, INC DATE 3/21/24.
10. CIVIL ENGINEERING DESIGN SHOWN BASED ON TOPOGRAPHIC SURVEY (BY OTHERS) AND ARCHITECTURAL LAYOUT (BY OTHERS). CIVIL ENGINEER IS NOT RESPONSIBLE FOR ADEQUACY OF DESIGN BY OTHER CONSULTANTS.

CONSTRUCTION NOTES

GENERAL

1. THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY, AND DEFEND THE OWNER, THE ENGINEER, AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES, OR DAMAGES ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ENGINEER AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES, AND AGENTS.
2. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS AND ALL GOVERNMENT ORDINANCES AND REGULATIONS RELATING TO THE WORK SHOWN ON THESE PLANS.
3. ALL WORK IS TO BE DONE IN CONFORMANCE WITH THE STANDARDS OF THE STATE OF CALIFORNIA OR AS OTHERWISE APPROVED ON THE PLANS.
4. CAUTION! THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION IN ORDER TO DETERMINE THE FIELD LOCATION OF ANY EXISTING UNDERGROUND UTILITIES. PHONE (800) 442-2444.
5. THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION. THEY SHALL DO SO BY WATERING AND/OR TREATING THE SITE OF WORK. THEY SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM THEIR CONSTRUCTION ACTIVITIES IN PERFORMING THE WORK UNDER THIS CONTRACT. THE PRICES FOR THE VARIOUS ITEMS OF WORK SHALL INCLUDE PROVIDING ADEQUATE DUST CONTROL, AS REQUIRED BY THE LOCAL AGENCY.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF THE DESIGN CONTAINED HEREIN.
7. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
8. CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY TIE-IN OR WORK WITH THEIR UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE TEMPORARY DRAINAGE FACILITIES DURING RAINY SEASON OPERATION AND PROTECT ALL GRADED AREAS FROM EROSION. CONTRACTOR SHALL REPAIR ANY AREAS OF EROSION PRIOR TO ACCEPTANCE OF GRADING.
10. ALL UTILITY BOXES TO REMAIN SHALL BE ADJUSTED TO NEW FINISH GRADE. ANY UTILITY BOXES THAT FALL WITHIN THE VEHICULAR TRAVEL WAY SHALL BE CONVERTED TO TRAFFIC BEARING CAPACITY.
11. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADE STAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS AND OTHER REFERENCE MARKERS, AND INFORMATION NECESSARY TO COMPLETE THE WORK, AND SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
12. CONTRACTOR SHALL IMPORT REQUIRED MATERIALS OR EXPORT EXCESS AS REQUIRED TO ESTABLISH PLAN GRADES. EXCESS MATERIAL IF ANY SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT CONTRACTOR'S EXPENSE.

UTILITY COORDINATION:

- A. THE WATER PROVIDER IS CALIFORNIA WATER COMPANY (650-854-5454), COORDINATE APPROPRIATELY TO DETERMINE SUFFICIENTLY BEFORE THE EXISTING EXTERIOR LATERAL.
- B. THE SANITARY SEWER PROVIDER IS WEST BAY SANITARY SEWER DISTRICT, COORDINATE AS NECESSARY (650-321-0384).

GRADING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IN WRITING IMMEDIATELY OF ANY DIFFERENCES IN TOPOGRAPHY FROM THAT SHOWN ON THIS PLAN WHICH MAY AFFECT THE EARTHWORK QUANTITY AND/OR REQUIRE CHANGES IN DESIGN.
2. ALL ABANDONED UNDERGROUND PIPELINES EXPOSED DURING GRADING SHALL BE REMOVED OR ADEQUATELY PLUGGED.
3. PROTECTIVE FENCING AND/OR BARRIERS SHALL BE PROVIDED WHEN NECESSARY TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATION.
4. ALL EXPLORATORY TRENCHES AND PITS SHALL BE EXCAVATED AND RECOMPACTED, UNDER THE DIRECTION AND SUPERVISION OF THE PROJECT INSPECTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR HAULING OFF ALL EXCESS MATERIAL AND DEMOLISHED MATERIAL, AND DISPOSING OF SUCH MATERIAL IN A LEGAL MANNER.
6. EROSION CONTROL MEASURES SHALL BE EMPLOYED DURING THE RAINY SEASON AS REQUIRED BY THE COUNTY.
7. PERCENT COMPACTION REFERS TO PERCENT OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D1557-78, AND SHALL BE AT NEAR OPTIMUM MOISTURE CONTENT.

ASPHALT AND CONCRETE

1. MATERIAL AND CONSTRUCTION OF ASPHALT PAVEMENT AND CONCRETE IMPROVEMENTS SHALL CONFORM TO STATE STANDARDS AND SPECIFICATIONS.
 - A. AGGREGATE BASE- CLASS II WITH GRADING AND QUALITY AS SPECIFIED IN SECTION 26 OF THE STATE STANDARD SPECIFICATIONS.
 - B. ASPHALT CONCRETE- TYPE A 3/8" MAXIMUM, MEDIUM AGGREGATE, AS SPECIFIED IN SECTION 39 OF THE STATE STANDARD SPECIFICATIONS.
 - C. PRIME COAT- LIQUID ASPHALT TYPE MC-70 OR MC-250 AS SPECIFIED IN SECTION 93 OF THE STATE STANDARD SPECIFICATIONS.
 - D. TACK COAT- EMULSIFIED ASPHALT TYPE SS-1, SS-1H, CSS-1, OR CSS-1H AS SPECIFIED IN SECTION 94 OF THE STATE STANDARD SPECIFICATIONS, DILUTED WITH THREE PARTS WATER TO ONE PART EMULSIFIED ASPHALT.
 - E. SLURRY COAT- "POLY-KOTE" TA-1000, "OVERKOTE" BY REED & GRAHAM, OR APPROVED EQUAL.
2. UNLESS OTHERWISE NOTED, PAVING CONFORMS SHALL BE MADE AT A SMOOTHLY TRIMMED BUTT JOINT. DO NOT OVERLAP EXISTING PAVEMENT.
3. EXISTING CURB GUTTERS OR SIDEWALKS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE CONTRACTOR.
4. WHERE ANY PIPE IS TO BE INSTALLED AT SUCH A GRADE THAT ANY PART OF THE PIPE WILL BE ABOVE THE SUBGRADE LINE, THAT PIPE SHALL BE INSTALLED AFTER THE SUBBASE IS COMPLETED AND SHALL BE SUPPORTED.
5. MANHOLES, WATER VALVE BOXES, AND CLEAN OUT FRAMES AND COVERS SHALL BE BROUGHT TO FINISHED GRADE BY THE CONTRACTOR AFTER PAVING IS COMPLETED.
6. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
7. FINISHED TOP OF CURB AND PAVEMENT GRADES ARE GIVEN AT CRITICAL POINTS. GRADES BETWEEN THESE POINTS TO BE CONSTRUCTED ON A STRAIGHT GRADIENT.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY GRAFTIT CARVED INTO CURING CONCRETE.
9. SAW CUT ALL CONCRETE AND ASPHALT JOINTS PRIOR TO REMOVAL.
10. SEAL COAT ALL NEW AND EXISTING AC PAVEMENT PRIOR TO STRIPING.
11. CONSTRUCT 2"x 6" REDWOOD HEADERS ALONG ALL NEW AC PAVEMENT BORDERING SOIL.

STORM DRAINS

1. STORM DRAIN LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR 35, ASTM D3034 WITH NEOPRENE GASKETED JOINT SYSTEM.
2. TRENCHING AND BACKFILL FOR STORM DRAIN LINES SHALL BE PER PROJECT DETAILS, STANDARDS AND SPECIFICATIONS.
3. INLETS SHALL BE CHRISTY PRODUCTS, OR AS NOTED ON PLAN.

SANITARY SEWER

1. SEWER DRAIN LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR 26, ASTM D3034 WITH NEOPRENE GASKETED JOINT SYSTEM.
2. TRENCHING AND BACKFILL FOR SEWER DRAIN LINES SHALL BE PER PROJECT DETAILS.
3. INLETS SHALL BE CHRISTY PRODUCTS, OR AS NOTED ON PLAN.

SHEET INDEX

C0	TITLE SHEET AND NOTES
C1	SITE DEMOLITION PLAN
C2	GRADING AND DRAINAGE PLAN
C3	UTILITIES/PLUMBING PLAN
C4	CIVIL DETAILS
C5	EROSION CONTROL
C6	BMP NOTES

EARTHWORK QUANTITIES

	CUT (CY)	FILL (CY)
HOUSE:	28 CY	0 CY
SITE WORK:	17 CY	31 CY
TOTAL:	45 CY	31 CY

DIRT TO BE OFF-HAULED TO LANDFILL

PERVIOUS/IMPERVIOUS



NEW RESIDENCE

949 LEE DRIVE
MENLO PARK, CA

SORENSEN ENGINEERING

SORENSEN.MARKE@GMAIL.COM

(925)683-2910

REVISION DATE



DRAWN BY: MS

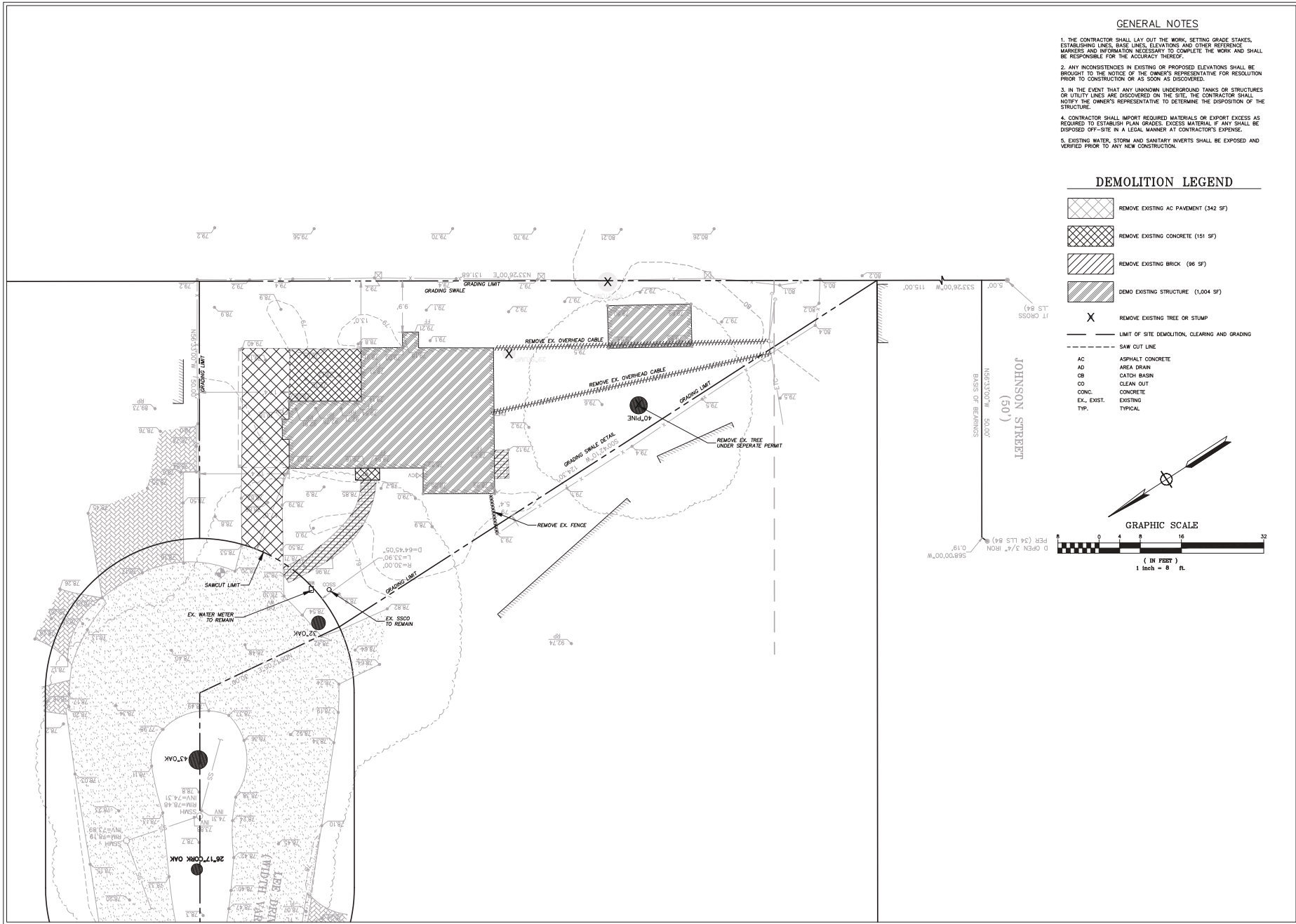
JOB: 25-1002

SIGNATURE:

SCALE: 1"=10'

TITLE SHEET AND NOTES

C0



DATE: 05.02.2026

NEW RESIDENCE
949 LEE DRIVE
MENLO PARK, CA

SORENSEN ENGINEERING
SORENSEN.MARKE@GMAIL.COM
(925)683-2910

REVISION DATE

1
2
3

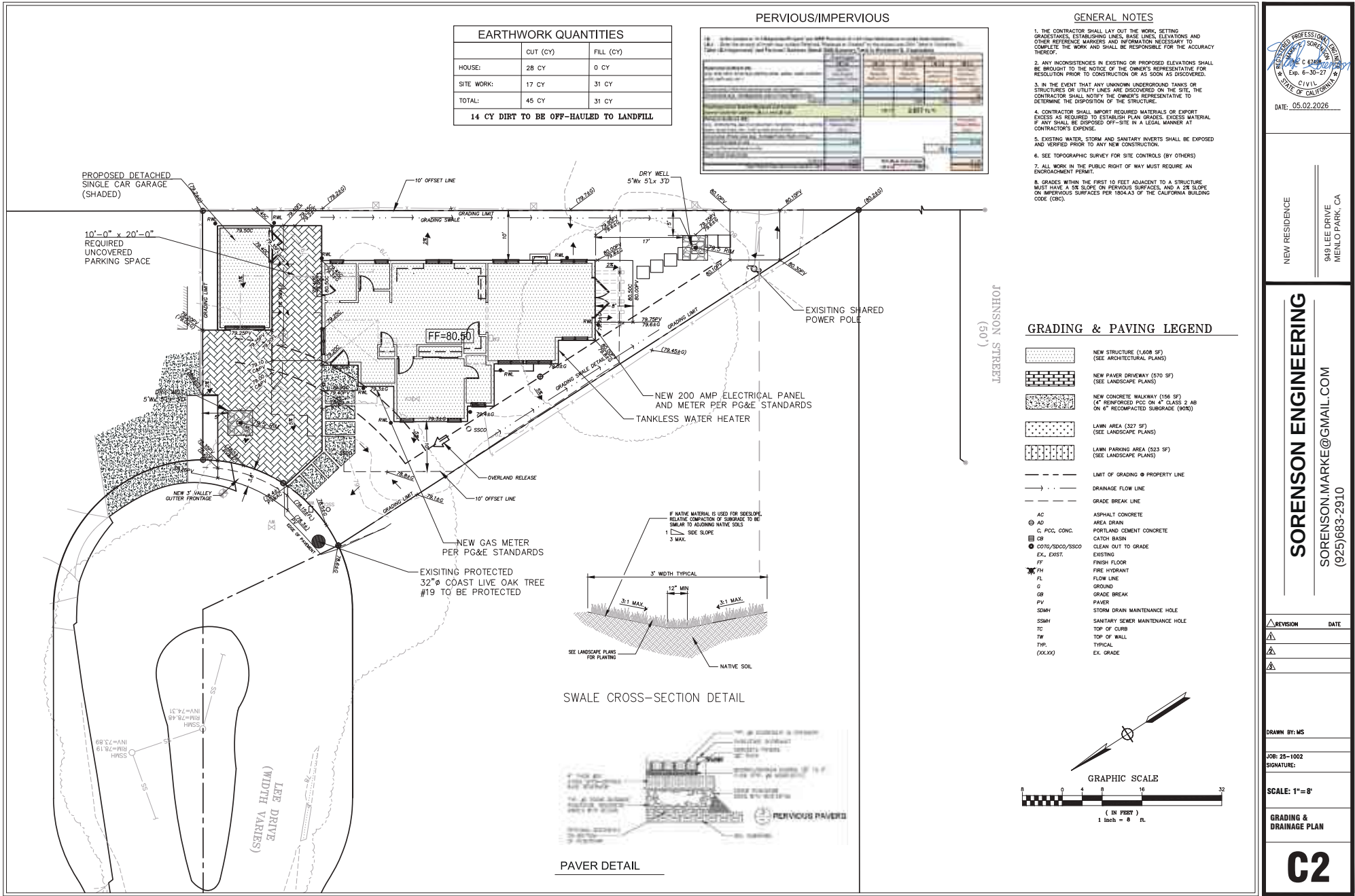
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JOB: 25-1002
SIGNATURE:

SCALE: 1"=8'

DEMOLITION PLAN

C1



				CONCRETE FLUSH CURB	1	TRENCH BACKFILL DETAIL	2					SURFACE TRENCH REPAIR	5	SANITARY SEWER CLEANOUT	6					PIPE CROSSING-WATER UNDER SS	9	GRAVEL DRYWELL	10	RAIN WATER LEADER CONNECTION	12	AREA DRAIN RIM	11
--	--	--	--	---------------------	---	------------------------	---	--	--	--	--	-----------------------	---	-------------------------	---	--	--	--	--	------------------------------	---	----------------	----	------------------------------	----	----------------	----



NEW RESIDENCE
949 LEE DRIVE
MENLO PARK, CA

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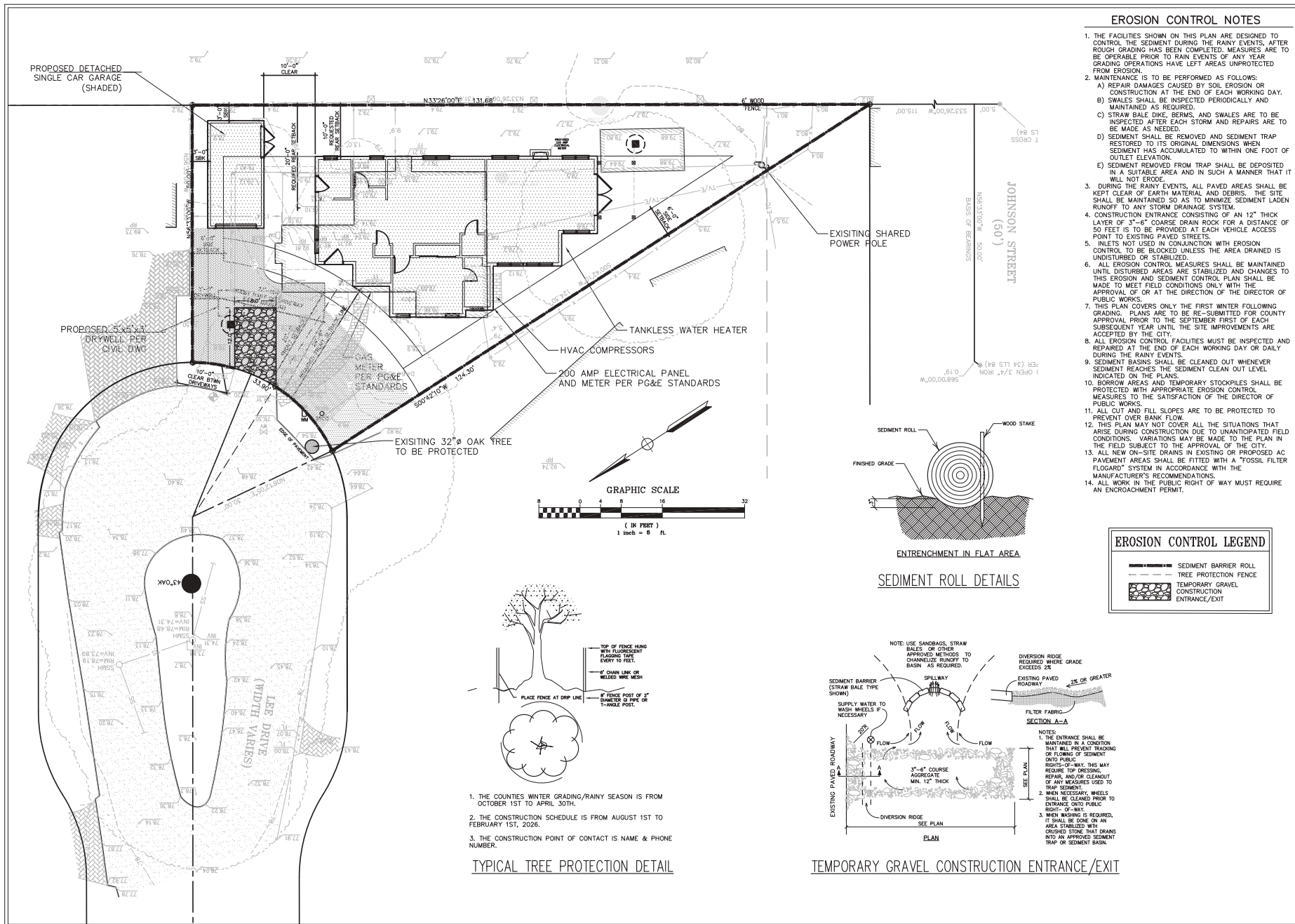
REVISION	DATE
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2	
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DRAWN BY: MS
JOB: 25-1002
SIGNATURE:

SCALE: NONE

DETAILS

C4



DATE: 03.01.2026

NEW RESIDENCE

940 LEE DRIVE
MENLO PARK, CA

SORENSEN ENGINEERING

SORENSEN.MARKE@GMAIL.COM

(925)683-2910

REVISION	DATE
1	
2	
3	

DRAWN BY: MS

JOB: 25-1002

SIGNATURE:

SCALE: 1"=8'

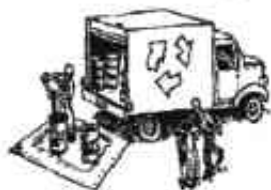
EROSION CONTROL

C5

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Store and store materials at least 100 feet from any waterway or other sensitive area.
- Use (but don't remove) existing stone for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, solvents, adhesives, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in secure tight containers, close to appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Close waste disposal containers securely with caps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never leave down a dumpster on the construction site.
- Close or replace portable toilets, and keep them separate for labor and public.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate, bare materials, wood, dry board, pipe, etc.).
- Dispose of liquid materials: fuel, grease, oil, solvents, paint, and cleaning fluids in hazardous waste.

Construction Equipment and Personnel

- Establish and maintain effective perimeter controls and stabilize all construction activities and work to sufficiently control erosion and sediment discharges from site and tracking off site.
- Prohibit or restrict any street tracking immediately and secure vehicles to prevent further tracking. Never leave street areas to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform minor maintenance, repair jobs, and vehicle and equipment washing off site.
- Preventing or reducing maintenance work from being done inside, such as a repair area, or from being done inside and over a deep pit or deep ditch, is the best way to prevent spills. Recycle or dispose of fluids in hazardous waste.
- If vehicle or equipment cleaning must be done inside, clean with water only in a bonded area that will not allow rain water to run into gutters, ditches, storm drains, or surface waters.
- Do not allow vehicle or equipment leaks using repair, exhaust, degreasing, or other cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and oil spill) available in the construction site at all times.
- Inspect vehicles and equipment regularly for and repair leaks promptly. Use drip pans to catch leaks and repair any leaks.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not leave debris surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, oil booms, and/or rags).
- Seal up spilled dry materials immediately. Do not try to wash them away with water or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. This includes any spill that requires all appropriate cleanup measures, including oil. Do report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center, (877) 852-7239 (24 hours).

Earthmoving



Schedule grading and excavation work during dry weather

- Stabilize all disturbed areas, install and maintain temporary erosion controls (such as erosion control fabric or treated fiber matting) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seal or plant vegetation for erosion control on slopes or where protection is not immediately feasible.
- Prevent sediment from seeping offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as filter rolls, oil booms, sediment basins, gravel bags, bays, etc.
- Keep excavated soil on site and transfer to dump trucks or site, not to the street.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and control the Regional Water Quality Control Board:
 - Unusual soil conditions, discolorations, or odors
 - Hardened or crumbly ground
 - Abandoned wells
 - Buried barrels, drums, or tanks

Paving/Asphalt Work



- Asphalt paving and seal coating is wet weather or when rain is forecast, to prevent materials that have not cured from creating stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, etc.
- Collect and recycle or appropriately dispose of excess slurry seal or seal.
- Do NOT spray or wash slurry seal.
- Do not use water to wash down fresh asphalt concrete pavement.

Sealing & Asphalt Concrete Paving

- Prevent newly sealed storm drain inlets from washing. Use filter fabric, catch basin inlet filter, or gravel bags to keep slurry out of the storm drain system.
- Seal, clean, or remove any seal slurry and dispose of all seal slurry as you are finished in one location or at the end of each work day (before rain is imminent).
- If storm slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to prevent them from rain, runoff, and wind.
- Wash concrete equipment/brushes offsite or in a designated washout area, where the water will flow into a temporary water pit, and in a manner that will prevent leaching into the catch basins and/or storm drain system. Let concrete harden and dispose of as garbage.
- When working exposed aggregate, prevent sediment from seeping into drains. Block any leaks and seal any gutters, base washers and dry areas, so that rain water will not be washed and disposed of properly.

Landscaping



- Prevent blocked landscaping materials from wind and rain by storing them under cover or in a shed.
- Block bagged materials on pallets and under cover.
- Document application of any wildlife landscaping material within 2 days before a forecast rain event or discharge location.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or paint gear outdoors in a street, gutter, storm drain, or stream.
- For water-based paints, paint wet brushes to the extent possible, and store them in a drum that goes to the storm sewer. Never pour paint down a storm drain.
- For oil-based paints, paint wet brushes to the extent possible, and clean with thinner or solvent in a proper container. Filter and reuse thinner and solvent. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-leaded dry wiping and sand blasting may be swept up or collected in plastic bags, drums and disposed of as waste.
- Classical paint stripping, sanding and chips and dust from metal parts or parts containing lead, mercury, or other toxic materials must be disposed of as hazardous waste. Lead-based paint removal requires a state-licensed contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, use dewatering discharge to landscape area or storm sewer. If discharging to the storm sewer, call your local wastewater treatment plant.
- Do not mix water from effluent with other all-chemical waste.
- When dewatering, monitor and adjust pH from the local municipality before discharging water to a street gutter or storm drain. pH must be between 6 and 9, or discharge may not be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and tested off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

NEW RESIDENCE

949 LEE DRIVE
MENLO PARK, CA

SORENSEN ENGINEERING

SORENSEN.MARKE@GMAIL.COM

(925) 683-2910

REVISION DATE

1
2
3

DRAWN BY: MS

JOB: 25-1002
SIGNATURE:

SCALE: 1"=10'

BMP

C6

VALLEY BOUTIQUE BUILDERS
153 2nd St, Suite 105
Los Altos, CA 94022

PROJECT DESCRIPTION LETTER

DATE: August 3, 2026
 Application No. PLN2025-00022
 RE: Roi OMER RESIDENCE
 949 Lee Drive Menlo Park, CA 94025

Project Narrative

Address: 949 Lee Drive, Menlo Park, CA
 Owner: Roi Omer
 Applicant: Margaret Wimmer
 Project Type: New Two-Story Single-Family Residence
 Zoning District: R1-U (Single Family Urban Residence)

The attached proposal is for a new two-story house at 949 Lee Drive.

The subject parcel is located at the end of a circular cul-de-sac on an irregular, pie shaped lot. The proposed residence consists of **2,570** square feet of livable area, including four bedrooms, four full bathrooms, one half bathroom, a mudroom, kitchen, dining area, living room, and laundry room. There is also a 288 square foot detached single car garage that is separated by a 10' uncovered parking space to meet the necessary zoning requirements.

The design of the house emphasizes efficient use of space, natural light, and connection between indoor and outdoor environments. Architecturally, the home draws inspiration from Spanish and contemporary influences, blending traditional forms with modern detailing. The exterior will feature a decorative carved stone front door surround to accentuate the oversized steel and glass front door. Decorative lighting will flank the sides of the door, also referencing the architectural style. Integral colored smooth stucco wraps the house, dark bronze metal juliette balcony accents, dark stained cedar wood door and window lintels and corbels at the cantilevered second floor, and Spanish style barrel tile roofing all create a cohesive palette of color, detail and texture. The design proposes two Juliet balconies that offer an opportunity to add unique detailing consistent with the Spanish Colonial Revival style. One Juliet balcony sits above the front entry and the other is off the primary suite.

Overall, the home introduces a fresh take on the Spanish style architectural character, while maintaining compatibility with the neighborhood through its modest scale, balanced proportions, and articulated façade design. The traditional front entry and central feature window at the stairway create a sense of openness and community connection consistent with the existing two-story homes and the newly designed and approved homes of Lee Drive.

The proposed landscaping will play a significant role in this home as it is intended to enhance the natural beauty of the site while providing functional and restorative outdoor spaces for its

residents. There will be 5 new trees planted and drought-tolerant landscaping, improving the overall site ecology and privacy between neighboring lots. The pedestrian pathways, designed with large pavers create a minimalist path to the exterior doors and patios, while the paver driveway provides a durable hardscape to the garage.

The rear outdoor area is designed as the main yard and gathering zone, with direct access from the kitchen/dining area. This configuration makes full use of the unique site geometry and preserves a substantial portion of open yard area, all whilst conforming to the building coverage regulations.

Continuing with the architectural quality, the proposed home is designed with attention to craftsmanship and long term durability. Materials such as integral color stucco, Anderson metal casement windows, French doors with horizontal divided lights, and stain-grade wood accents ensure the home maintains a timeless, high-quality appearance. The wood garage door introduces natural warmth, complementing the neighborhood's established character. Another defining architectural element inspired by the lot's restrictive shape is the visual stepping of the structure inward toward the side yard setback. This articulation softens the perceived mass, enhances visual interest, and allows for creative roofline transitions that respect height and daylight plane requirements.

In preparation for the proposed two-story residence, the property owners conducted neighborhood outreach to ensure transparency and gather input from the adjacent residents. They have reached out to surrounding neighbors through both email and in-person conversations to share the proposed design and discuss any concerns regarding the new two-story home. The outreach was well received, with most of the feedback being supportive and positive towards the architectural character and compatibility of the proposed design. This open communication was important and helped reinforce the project's intent to enhance the neighborhood's quality while remaining sensitive to its existing context.

Overall, Lee Drive is characterized by a mix of single and two-story homes, many of which have been rebuilt or expanded in recent years. The proposed home is consistent with this evolving context, offering a family-sized residence that aligns with the scale/density, and architectural diversity of the neighborhood. Neighboring property owners have demonstrated support for contextual yet modern homes that accommodate young and growing families. This has been seen in recent years through previously approved applications. The proposed project reflects the same intent as the neighboring properties, by having balanced innovation whilst respecting the context of the site and neighborhood. It must be emphasized that while the design may introduce distinctive architectural expression, it maintains the modest massing, roof articulation, and setbacks typical of the surrounding homes. In contrast to the existing structure, which currently encroaches into several of the setbacks, the new design will establish a home coherent with Menlo Park's design mission. But that is of course, with the help of the specified variances and use permit request due to the site constraints.

VALLEY BOUTIQUE BUILDERS
153 2nd St, Suite 105
Los Altos, CA 94022

VARIANCE REQUEST LETTER

DATE: August 3, 2026
 Application No. PLN2025-00022
 RE: Roi OMER RESIDENCE
 949 Lee Drive Menlo Park, CA 94025

Project Narrative

Address: 949 Lee Drive, Menlo Park, CA
 Owner: Roi Omer
 Applicant: Margaret Wimmer
 Project Type: New Two-Story Single-Family Residence
 Zoning District: R1-U (Single Family Urban Residence)

The attached proposal is for a new two-story house at 949 Lee Drive. The parcels on Lee Drive are irregularly shaped with smaller dimensions than the majority of lots in Menlo Park. In order to build this modest two-story residence, we are requesting a variance to allow the rear yard setback to be reduced in order to allow the home to be built in a location that allows the side and front setbacks to be in compliance and also allow for a 10' separation between the dwelling and detached garage structure.

Front Setback Variance Request #1

A Front Yard Setback Variance is being requested. The front setback for properties in the R1, is commonly 20'. This property has a special sub division setback which exceeds the common 20' and is 25'-3" which exceeds the common setback by 5'-3"

We are requesting that 3 minor projections be permitted in the front setback, and requesting that the front setback be **23'-9.25", which is 1'-5.75" less than what is required.** These triangular areas are less than 4.25 square feet combined. The largest of the 3 projections measures 1'-5" as shown on the attached site diagram. It is necessary for these minor projections to allow the house to have adequate sized rooms and be functional. The narrower street frontage of 33.9' due to the radius of the cul de sac helps make these intrusions feel even more minimal.

(SEE ATTACHMENT 1 - FRONT VARIANCE SITE PLAN SHOWING INTRUSIONS.)

Front Yard Variance Conditions and Findings:

We are requesting approval for a front yard subdivision ordinance variance for the first and second floor as part of the proposed new two-story single-family home at 949 Lee Drive. Only the parcels on the curved portion of Lee Drive use the subdivision ordinance for the front set back. R1-U zoning requires a minimum lot width of sixty-five feet. The subject lot meets the minimum sixty-five-foot width at approximately twenty-five feet, three inches back from the

property line. In this case, per the subdivision ordinance, the front setback would be measured from this point rather than at the standard twenty-foot front setback applicable to the other properties in the R1-U zoning district. By granting this variance request, it will allow for a new two-story residence in similar size to the existing neighboring two-story house in the same cul-de-sac while still maintaining the typical twenty-foot front yard setback required by R1-U zoning.

Variance Conditions:

1. That any variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the same vicinity.

Findings:

This variance request will not constitute a special privilege due to the unique lot shape and size. If this variance is granted, it will allow the home to be similar in size to the other properties in the surrounding neighborhood. The irregular shape results in a limited habitable and non-habitable building footprint due to the required zoning setbacks. Please see the drawings below showing the actual setback based on R1-U zoning requirements.

2. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict literal application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity.

Findings:

Due to the lot shape of the project site, every inch is critical. The deepest part of the site is only sixty seven feet and then it just gets shallower from there. To conform with the zoning requirements, a twenty-five foot, three-inch front setback is required. That additional five-foot three inch setback is equal to about two hundred and twenty-three square feet of developable area. Without the approval of this variance request, the unique geometry of the lot limits the habitable and inhabitable square footage space, taking away the opportunity for a welcoming front porch and comfortably sized rooms.

3. That under the circumstances of this particular case, the variance, rather than the sections at issue in this title, actually carries out the spirit and intent of this title. (Prior code § 24.10(2)).

Findings:

This cul-de-sac lot creates a unique hardship not generally applicable to other Menlo Park properties due to its pie-like shape. Strict adherence to the code would limit the reasonable use of the site, Hindering the home. This variance request follows the intent of the zoning residence to promote a functional and livable house while maintaining consistency with the neighborhood character.

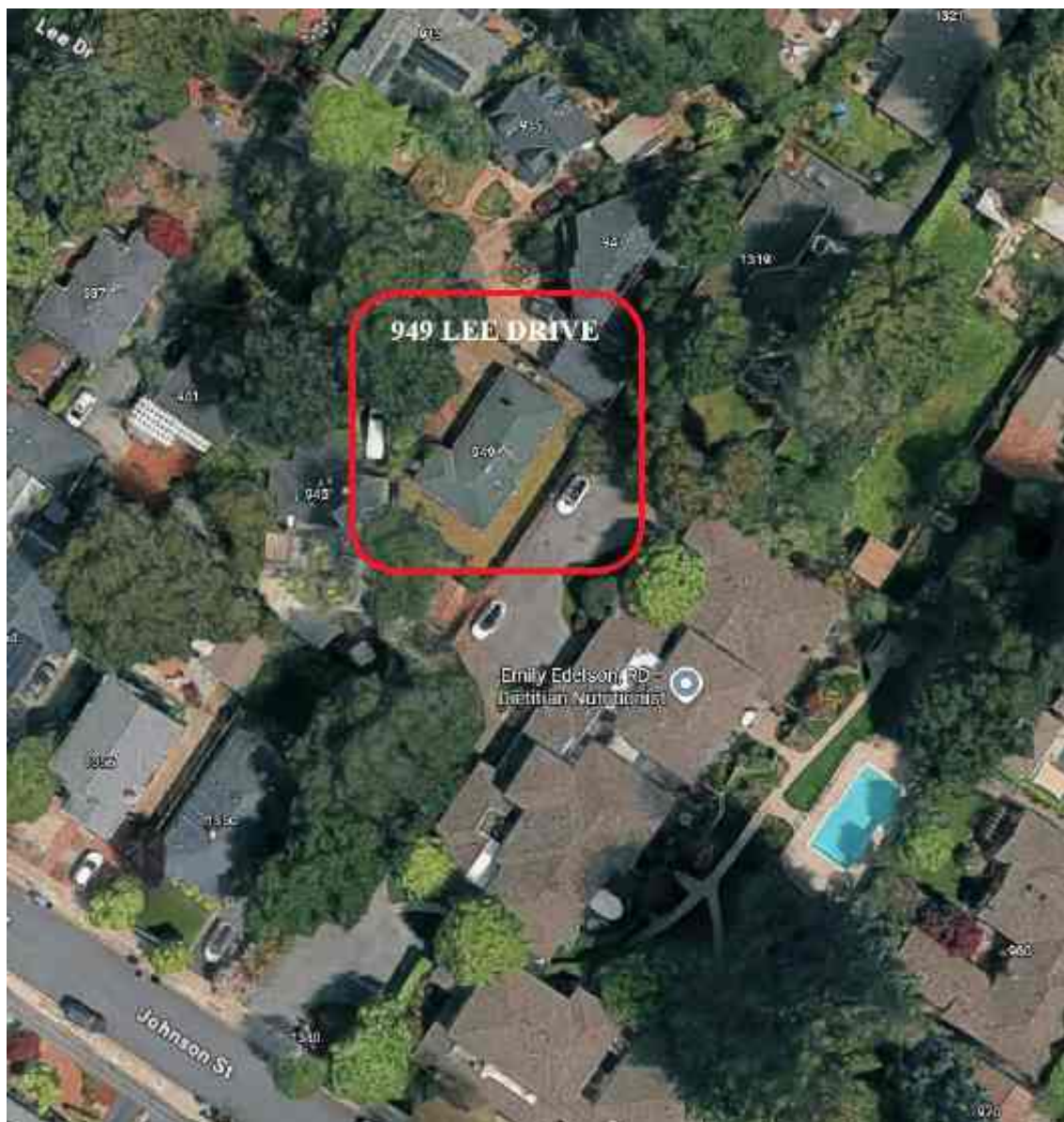
The proposed design achieves compliance with neighboring properties and maintains sensitivity to neighborhood character, allowing the inhabitants to enjoy similar property rights as their neighbors. For these reasons, we respectfully request approval of this variance.

Rear Setback Variance Request #2

A Rear Yard Setback Variance is being requested. We are requesting a 10'-0" rear setback where a 20' rear setback is required for properties in the R1 district.

Locating the home into the rear setback will allow the development the proposed dwelling in compliance with the 6'-6" side setback, as well as allow the required 10' clearance between the main dwelling and the detached garage.

We feel this request is reasonable and it will have a minimal impact adjacent residential properties. This parcel shares a rear property line with 1338, 1336 and 1334 Johnson Street. This is a multi-family development that has a driveway access adjacent to the 949 Lee property line as depicted in the below photograph. The actual structures at 1338, 1336 and 1334 Johnson Street are approximately 30' from this shared property line.



ARIAL VIEW OF SUBJECT PROPERTY

Rear Yard Variance Conditions and Findings:

1. That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits.

Findings:

Due to the cul-de-sac location and shallow property depth, the buildable area is significantly smaller than that of a rectangular lot of similar size. All the neighboring lots are comparable in size conforming to the 5,000+ square feet, yet they have more standard dimensions. This oddly shaped lot at the end of a cul-de-sac dated back to 1941 when the subdivision was recorded. This configuration is only seen at the neighboring lot and is not a characteristic of any other lots on Lee Drive. If the required setbacks are applied to this lot, they would greatly limit the buildable area of the site as well as making the interior spaces nonfunctional.

2. That such a variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors.

Findings: *The requested variance enables the construction of a typical two-story home consistent with the size of the surrounding two-story properties. There is not enough space within the allowable building area for the proposed home to take on a typical shape that will be functional from the inside and aesthetically pleasant from the outside. This variance would allow for better use of the existing 5,002 square feet lot.*

3. That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property.

Findings: *The ten-foot setback will not be detrimental to the adjacent property as the rear yard abuts a neighbor's forty-foot side yard, making over a fifty-foot separation between structures. Additional landscaping along the fence line will be added to enhance privacy and soften visual impact. The requested ten-foot setback will maintain a substantial buffer between neighboring homes ensuring sufficient light, air and privacy whilst complying with all other applicable fire, building and safety regulations.*

4. That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.

Findings: *The property shape is unique and generally does not occur in Menlo Park's R1-U zoning district.*

There are other cul-de-sac properties, but wider and deeper allowing for flexibility in design while still meeting the zoning setbacks. The subject parcel is extremely shallow with no parallel property/setback lines. Therefore, granting this variance will not establish a precedent applicable to other R1-U properties.

5. That the conditions upon which the requested variance is based on an unusual factor that was not anticipated or discussed in detail during any applicable specific plan process.

Findings: *The lot's irregular shape and cul-de-sac positioning are unique and not generally applicable to standard Menlo Park R1-U residential lots, often taking on a standard rectangular form. The unusual cul-de-sac geometry of 949 Lee Drive was not anticipated by the City's zoning design, meaning they did not account for the resulting narrow rear boundary conditions. The requested variance addresses the unique and unanticipated site constraint while maintaining neighborhood consistency.*

The requested variance supports a well-balanced and livable design while respecting the privacy and scale of the neighboring homes. We respectfully request approval to overcome the unique lot constraint.

These requests stem directly from the unique physical constraints of the site. These constraints result in a practical hardship preventing reasonable use and development of the property under current zoning regulations. The requested exceptions will enable the creation of a functional, habitable, and aesthetically cohesive home that fits seamlessly within the existing character of the neighborhood.

Now having provided context to the site and proposed two-story home, the following findings are important to keep in mind in hopes of granting the requested variances and use permit. First, as previously mentioned, this particular lot is an exceptional circumstance. The property's irregular shape and narrowness constitute its unique conditions, not generally applicable to other properties in the same zoning district. These particular conditions create difficulty in achieving a functional building envelope while complying with standard setbacks. Secondly, it has been made known with previous cases such as the neighboring property, 947 Lee Drive, that granting the variance will not constitute a special privilege, as the resulting residence will be consistent in size, scale and character with neighboring homes. The relief requested merely allows for reasonable development of the parcel. Thirdly, the project design is to maintain harmony with the surrounding properties in terms of height, materials, and form. The homes contribute to the architectural diversity and quality of the neighborhood. Lastly, the project will enhance the streetscape by replacing an outdated structure with a thoughtfully designed home that aligns with Menlo Park's residential design guidelines. In summary, the proposed residence represents a well-considered response to a challenging lot configuration. The variances and use permit requested are necessary to allow the property to be developed in a manner that is both functional for its occupants and compatible with the surrounding neighborhood. The structure supports the city's goal of maintaining a high-quality residential environment while promoting creative architectural solutions to complex site conditions.

Sincerely,

Margaret Wimmer

Design Consultant

ATTACHMENTS:

ATTACHMENT 1 - FRONT VARIANCE SITE PLAN SHOWING INTRUSIONS

ATTACHMENT 2 - Neighbors Email

ATTACHMENT 3 - Alternate Plan Layout

----- Forwarded message -----

From: **Zhou Yunwen** <zhouyunwen31@gmail.com>

Date: Mon, Nov 3, 2025 at 6:27 PM

Subject: Re: 949 Lee Dr - Neighbor Outreach

To: Omer Roi <roi@valleyboutiquebuilders.com>

Hey Roi!

Looks good to me!

Yunwen

Sent from my iPhone

On Nov 3, 2025, at 1:23 PM, Roi Omer <roi@valleyboutiquebuilders.com> wrote:

Dear Neighbor,

We want to share our plans for building a new home at 949 Lee Drive. The lot is uniquely shaped and requires variances to allow us to build a modest-sized house. We plan to construct a 2,570-square-foot home similar in size to others on our street, featuring a transitional Spanish style with simple trim details and a warm stucco finish. We also plan to replant trees and improve the landscaping.

Please see the attached drawings of the proposed floor plans and elevations. Feel free to contact us with any questions or comments.

Thank you!

Best,

Ro



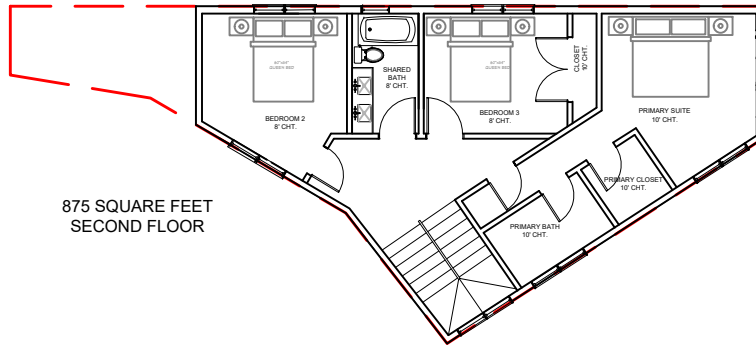
Roi Omer

OWNER & LICENSED CONTRACTOR

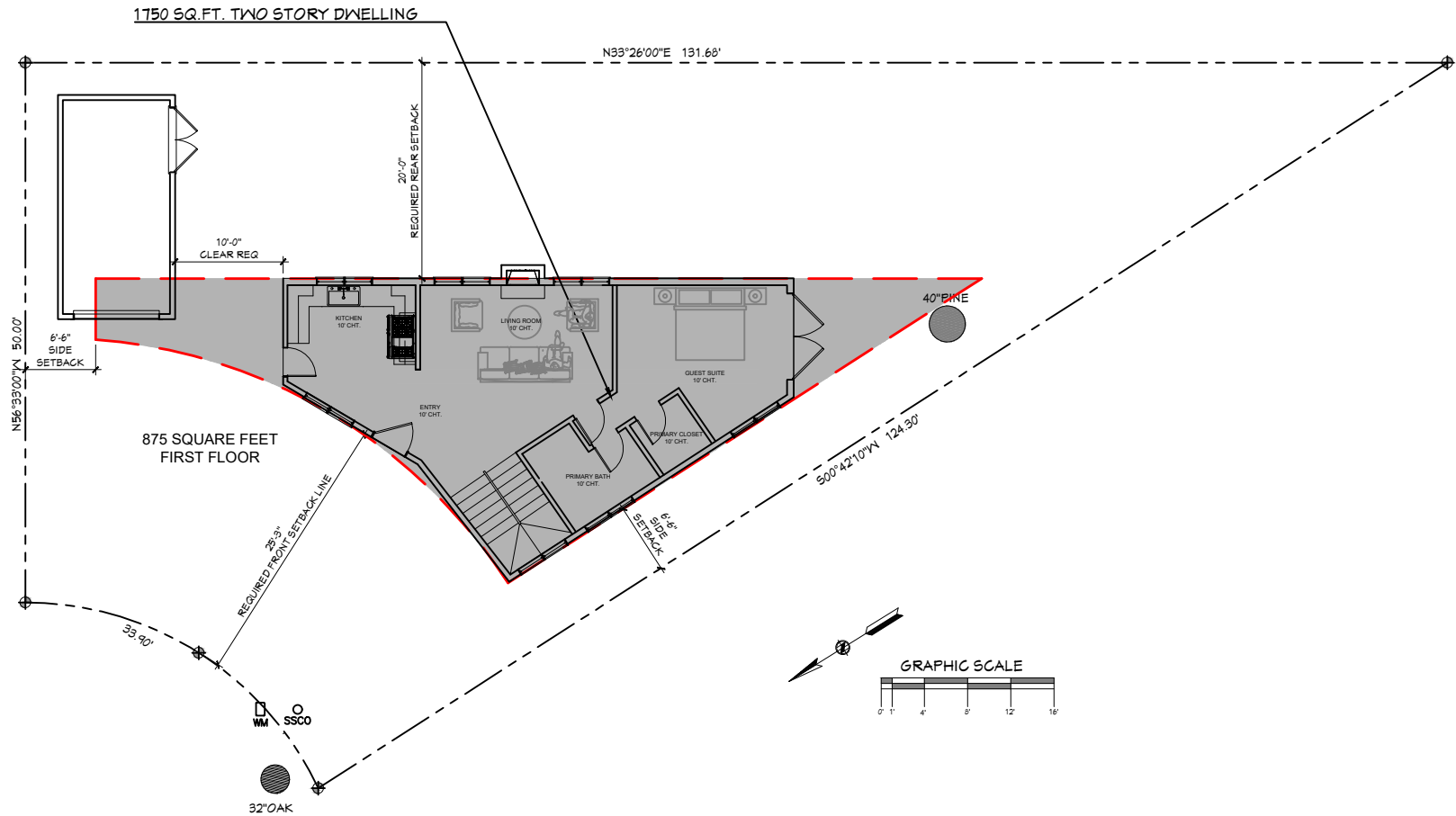
Cell: (669) 306-0115

www.valleyboutiquebuilders.com

<251103 949 Lee Neighbor set.pdf>



875 SQUARE FEET
SECOND FLOOR



875 SQUARE FEET
FIRST FLOOR

ALTERNATIVE DESIGN
SCALE: 1/8" = 1'-0"



Arborist Report & Preservation Plan

Prepared for:
Valley Boutique Builders
153 2nd Street
Los Altos, CA 94022

New Residence Development
949 Lee Drive
Menlo Park, CA 94025

Prepared by:
Dustie Rushing
ISA TRAQ #WE-10084A / RCA #890
D.R. Tree Consulting
PO Box 2004
Castro Valley, CA 94546

December 2, 2025



Arborist Report & Tree Preservation Plan

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Summary

I was contacted on November 12, 2025 by Roi Omer of Valley Boutique Builders, located in Los Altos, CA . He described the project as a new residential build, located at 949 Lee Drive and provided a set of plans for my review. He explained that in addition to the proposed development, the site has one large tree, slated for removal. My services were contracted on November 14, 2025.

I arranged a site visit the following Tuesday, on November 18, 2025 to collect data on the trees and site. There are 20 trees included in this evaluation: 14 on-site trees, 4 street trees on Lee Drive and 3 neighboring property trees. Of the 20 trees, 5 are designated Heritage trees: 1 on-site tree (recommended for removal), 1 neighboring property tree (behind 1350 Johnson Street) and 3 of the street trees on Lee Drive.

All of the on-site trees are recommended for removal and all of the neighboring property and street trees shall be preserved and protected during construction. A Heritage Tree Removal permit application is in progress, pending the final landscape design plan to incorporate required replacement trees.

Project General Information

General Contractor: Valley Boutique Builders
Project Arborist: Dustie Rushing, RCE#890 / ISA Certified Arborist #WE-10084A
Project Number: PLN2025-00022
Site Address: 949 Lee Drive, Menlo Park, CA
Project Description: Demolition of existing and Redesign-build updated single-family residential structure

Assignment

D.R. Tree Consulting was contracted by Valley Boutique Builders on November 14, 2025 to evaluate the plan set and trees for the development project at 949 Lee Drive, Menlo Park, CA. This evaluation is to include:

1. Visual assessment of current health and structure of the subject trees in and adjacent to the proposed development
2. Review proposed plan set, provided by Valley Boutique Builders
3. Inventory trees in and adjacent to the proposed development and provide recommendations, based on the City of Menlo Park requirements for development projects
4. Prepare and deliver formal written report of findings, including Tree Removal Application processing, Replacement Tree and Tree Preservation Plan
5. Provide on-site consulting services to verify tree protection, prepare monthly reports during construction and additional on-site consulting on an as-needed basis

Limits of Assignment

This report is limited to a visual assessment from the ground-level of 20 subject trees located at or adjacent to 949 Lee Drive, Menlo Park, CA. A ground level, visual assessment is not intended to determine the full extent of decay that may or may not be present and further investigative testing may be required. Further testing is not included as part of the assignment at this time. NOTE: I did not have permission to access the neighboring property trees for a full visual inspection. Findings are limited to observations made from the subject property side of the fences.

Personal observations are limited to site visit conducted on November 18, 2025. Accuracy of information provided by others is assumed, for the purpose of this report but has not been verified.

Purpose and Use of Report

The purpose of this report is to assess the current health and structure of the subject trees and provide management recommendations for the proposed construction project, based on plans provided by Valley Boutique Builders.

This report is intended for use by Valley Boutique Builders for the proposed construction project and Heritage Tree removal application.



Site/Field Observations

The subject property is a flat, triangular-shaped lot located at the end of the cul-de-sac on Lee Drive. A short driveway off of Lee Drive leads to a small existing single-family residential home and there is a small shed in the back yard. The surrounding neighborhood is primarily, if not all residential.

Lee Drive is a paved roadway with no existing curb, gutter or established sidewalks. There are no outlet roads, making it somewhat of a secluded and private neighborhood, though it is not gated.

Subject Tree Observations

Subject Property Tree #'s 1 – 12 Most of the trees included in this inventory are over 6 inches in diameter (at 54 inches above grade), however they are non-native and less than 15 inches in diameter, so they do not meet the Heritage tree size requirement and therefore are *not* protected. The large tree that Roi mentioned during our initial conversation is a Heritage Monterey Pine, *Pinus radiata* tree #12, over 15 inches in diameter and does require a permit and replacement trees for removal.

Subject Property Tree #'s 15, 16 & 18 Are all below 6 inches in diameter and are not included in this inventory, however, have been added for documentative purposes.

Neighboring Property Heritage Tree # 13 Is a Coast Live Oak, *Quercus agrifolia*, located behind 1350 Johnson Street. Though I did not have access for a complete inspection, this tree appears to be in good health and structural condition and is suitable for preservation. The canopy extends over the subject property development area.

Neighboring Property Tree # 14 Is over 6 inches in diameter and is located just the other side of the fence near the development area. It is a Privet, *Ligustrum species*; in Poor to Fair condition.

Neighboring Property Tree # 17 Is a Chinese Pistache, *Pistacia chinensis* located in the corner of the property at 1340 Johnson Street. I was not able to get an accurate trunk measurement, but it is over 6 inches in diameter and in Fair to Good health and structural condition. The canopy extends over the subject property by a few feet.

Lee Drive Street Heritage Trees # 19, 20 & 21 Tree #19 is directly adjacent to the subject property, near the property border shared with 945 Lee Drive. It is in fair condition, with some health and structural concerns as listed in *Appendix A. Tree Inventory Table*. 20 and 21 are located in the median and are in Fair to Good condition.

Lee Drive Street Tree # 22 Is over 6 inches in diameter, though not designated as Heritage, it is protected because it is a street tree.

(See Appendix A. Tree Inventory Table, Appendix B. Appraisal Calculation Table , and Appendix C. Tree Location Map for further details on specific trees. NOTE: Photos have been taken of all trees and are available upon request, only Heritage tree removal photos have been included in this report.

Project Details

Project Description

The proposed development consists of demolition of the existing structures, removal of existing pavement, concrete and brick driveways and pathways. A new residential structure, hardscape access routes, utility lines and landscaping will be rebuilt in place.



Arborist Plan Review

New Residence Development Plan Set Sheets for Arborist Review:

Sheet	Description	Prepared by	Dated
SU1	Topographic & Boundary Survey <i>(Existing)</i>	Lea & Braze Engineering	2-20-2025
C1	Demolition Plan	Sorenson Engineering	10-14-2025
A0	Site Plan <i>(Proposed)</i>	Viotti Architects	11-7-2025
A1.0	Demolition Plan	Viotti Architects	11-7-2025
C2	Grading & Drainage Plan	Sorenson Engineering	10-14-2025
C3	Utilities/Plumbing	Sorenson Engineering	10-14-2025
C5	Erosion Control	Sorenson Engineering	10-14-2025
A0.4	Preliminary Landscape Plan	Viotti Architects	11-7-2025

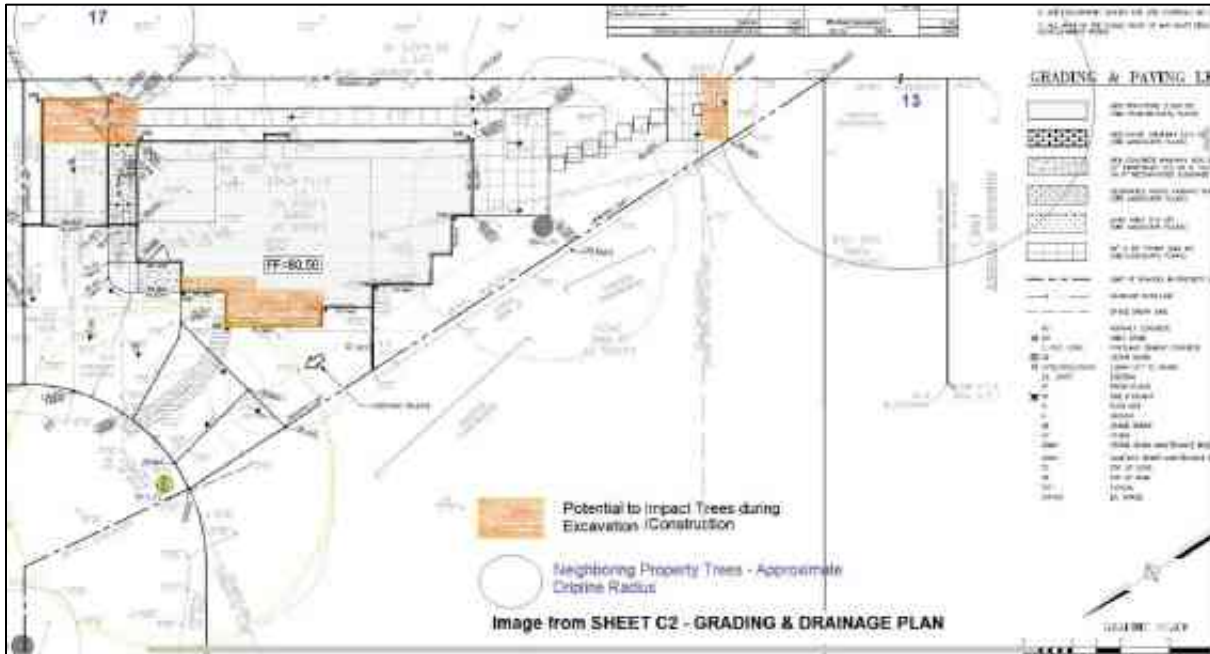
All sheets listed above have been reviewed for the purpose of this report and tree preservation plan, with emphasis on specific sheets demonstrating potential impact to trees listed below.

Sheet SU1 Topographic & Boundary Survey provided a basis for the site perimeters and existing elements. Larger subject property and street trees are shown, however trees below 6 inches in diameter and neighboring property trees are not shown.

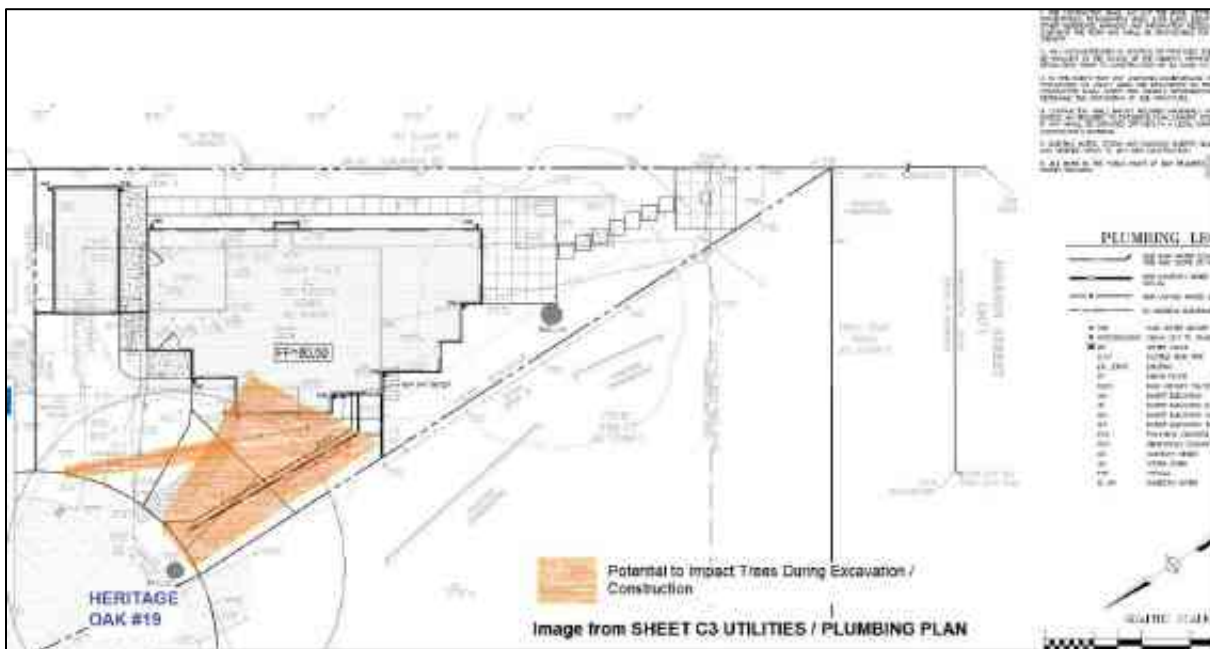
Sheet C1 Demolition Plan includes demolition of structures, hardscape elements, overhead utility line and a small section of fencing. It also shows Heritage Pine Tree #12 as an “Existing Tree to Remain,” however, this tree will be removed – per the updated Site Plan (Sheet A0) and Demolition Plan (Sheet A1.0). Sheet C1 Arborist Markup:



Sheet C2 - Grading & Drainage Plan This sheet shows the new house construction and new concrete walkways, all requiring below-ground excavation. Sheet C2 Arborist markup:



Sheet C3 – Utilities/Plumbing Here is where most of the potential tree damage can occur, in my opinion. Below-ground excavation for the New Sanitary Sewer, and New Water Main will occur approximately 6 to 8 feet from the trunk of Heritage Oak Tree #19, requiring root pruning and may require a Heritage tree permit for the pruning to occur. The Topographic & Boundary Survey (Sheet SU1) shows that the water meter and sewer cleanout are both existing, so this is replacement of existing lines, lessening the impact on the tree. It also would not make sense to attempt relocation of existing lines. I have also highlighted the gas main, while it is shown as existing, any work to be done on the gas line will also impact tree #19.





Sheet C5 – Erosion Control shows a “TYPICAL TREE PROTECTION DETAIL” that does not meet City of Menlo Park requirements. Refer to *Appendix D. Tree Preservation Plan* for tree protection specifications.

Sheet A0.4 - Preliminary Landscape Plan has been used as the basis for the *Preliminary Replacement Tree Plan* section of this report. Final Landscape Plan will be prepared by others and submitted with the Heritage Tree Removal Permit Application.

Preservation Suitability Determination

Preservation suitability has been determined based on tree health and structural condition factors listed below:

1 - LOW	Tree/plant is dead or has very poor structure and/or health condition. Species may or may not be tolerant to Significant defects including but not limited to, excessive dead material, fungal bodies, cavities, damage to tree parts that are beyond treatment and/or the tree is not anticipated to recover from, etc. Any proposed development will likely cause severe decline or tree death.
2- LOW TO MODERATE	Tree has poor to fair health and/or structure with conditions of concern that may be difficult or not possible to mitigate. Species may or may not be tolerant to construction, root cutting and/or other development-related activities.
3- MODERATE	Tree has fair to good health and/or structure with minor conditions of concern that can be mitigated or are insignificant with regard to proposed construction. Species may or may not be tolerant to construction, root cutting and/or other development-related activities.
4- HIGH	Tree has fair to good health and/or structure with very minor conditions of concern that can be easily mitigated.

Potential Impact to Trees from Construction

TREE ID	Common Name	Construction Activities within Tree Protection Zone	Construction Activity Distance to Trees	Maximum Anticipated Root Loss Percentage	Maximum Anticipated Canopy Loss Percentage
13	Coast Live Oak	Minimal Demolition / Excavation - Existing Fence in place	30 to 40 feet	less than 3% if any	5%
14	Privet Species	Minimal Demolition / Excavation - Existing Fence in place	5 to 8 feet	5% if any	None
17	Chinese Pistache	Minimal Demolition / Excavation - Existing Fence in place	12 to 15 feet	less than 3% if any	5% to 8%
19	Coast Live Oak	Excavation for Utility Line Replacement; Structural & Hardscape Demolition; New House Construction; Logistics: Mobilization of Equipment / Materials	5 to 8 feet	15% to 20%	10%
20	Coast Live Oak	Logistics: Mobilization of Equipment / Materials	25 + feet	None	None
21	Cork Oak	Logistics: Mobilization of Equipment / Materials	35 + feet	None	None
22	Cork Oak	Logistics: Mobilization of Equipment / Materials	40 + feet	None	None



Tree Removal Table

Tag #	Common Name	Trunk Diameter (DBH)	Location / Designation	Tree Disposition	Reason for Removal
1	Privet Species	8"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
2	Privet Species	6"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
3	Privet Species	8"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
4	Privet Species	10"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
5	Privet Species	7"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
6	Privet Species	6"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
7	Privet Species	6"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
8	Privet Species	10"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
9	Privet Species	8"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
10	Lemonwood Tree	10"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house
11	Spanish Fir	6"	Site / Not Protected	Remove - Development	Poor condition; Directly over water & Sewer lines. Will not compliment new house.
12	Monterey Pine	40"	Site / Heritage - Protected	Remove - Development	Tree has very poor structural condition with most of the canopy extending over the neighboring property house.
15	Privet Species	7"-12"	Site / Not Protected	Remove - Development	Aged, growing through the fence. Undesirable & invasive species
16	Plum Species	4"	Site / Not Protected	Remove - Development	Aged. Poor condition & close to new house footprint.
18	Norfolk Island Pine		Site / Not Protected	Remove - Development	Too close to demolition & new house footprint.

Heritage Tree Removal

There is one designated Heritage Tree, Monterey Pine #12 that I am recommending for removal not only due to the development and property beautification, but also for safety reasons. This tree has a very low Live Crown Ratio of approximately 25%, where approximately 75% of the tree has been pruned off (the lower portion of the tree), which in this case was done for overhead utility line clearance. Included bark between two main stems starts at approximately 6 feet above grade, up to main stem junction at approximately 15 feet above grade. There are several dead branches in the canopy, with the largest measuring 6 inches in diameter x 10 to 12 feet in length. I counted an additional 7 approximately 3 to 4 inches diameter by 8 to 10 feet each. The primary safety concern is that most of canopy is over neighboring property house.



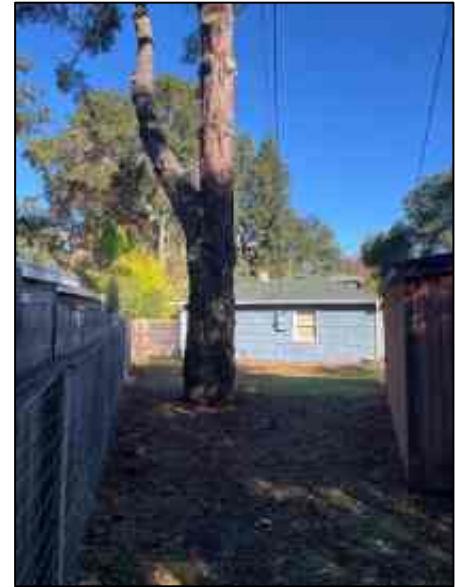
Canopy— View from NE side



Upper Trunk — View from NW side



Trunk Bulge— View from NW side



Upper Trunk — View from S Side looking down fence. Note canopy over neighbors house



Upper Canopy– View from S side

Upper Canopy – View from S Side. Note canopy over neighbors house



Preliminary Replacement Tree Plan:

Monterey Pine #12 Appraised Value: \$ 6,940

Mitigation Value = (6) 36" Box Trees

Tree Species Recommendations (TBD on Final Landscape Plan & submitted with removal application)

Deciduous (lose leaves every year):

Chinese Pistache *Pistacia chinensis*

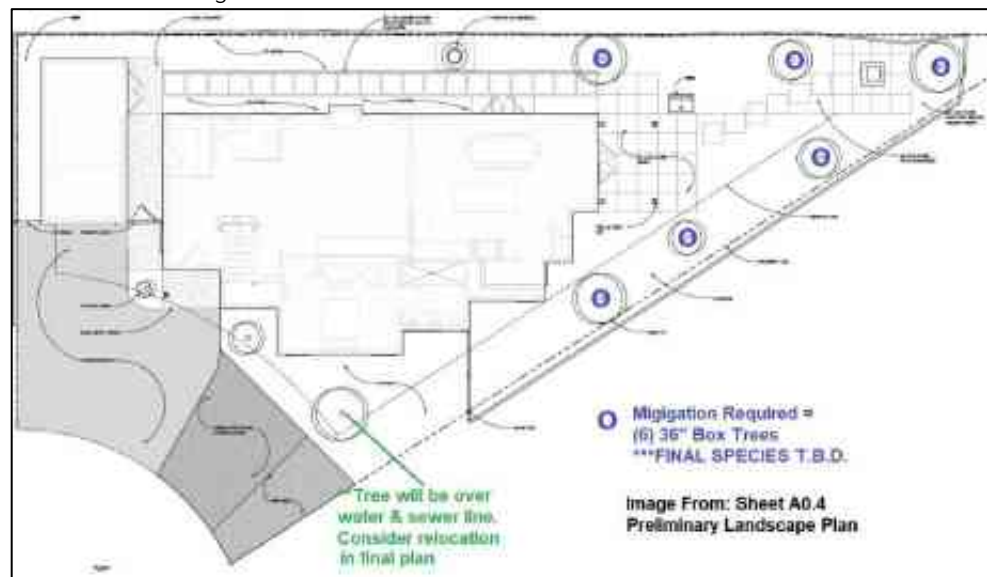
Kindred Spirit Hybrid Oak; *Quercus* x 'Nadler' ** This one is actually not on the city's list, but an **excellent** option, due to size at maturity: 6-8 feet wide and 25-30 feet, very drought tolerant

Evergreen

Brisbane Box; *Lophostomon confertus*; also known as *Tristania confertus*

Saratoga Laurel; *Laurus nobilis* 'Saratoga'

NOTE: Final replacement tree plan, including species and locations will be submitted with Heritage Tree Removal permit application.





Bibliography

City of Menlo Park Municipal Code, Chapter 13.24 HERITAGE TREES

<https://www.codepublishing.com/CA/MenloPark/#!/MenloPark13/MenloPark1324.html#13.24>; Accessed on 12/1/2025

HERITAGE TREE AND CITY TREE PROTECTION SPECIFICATIONS FOR CONSTRUCTION

https://www.menlopark.gov/files/sharedassets/public/v/1/public-works/documents/heritage-trees/heritage-tree-and-city-tree-protection-specs_with-spanish.pdf ; Accessed on 12/1/2025

Devil Mountain Wholesale Nursery website: Tree Costs through Arborist Login;

https://devilmountainnursery.com/pinus-eldarica/?searchid=9629934&search_query=pine; Accessed on 12/1/2025



Appendix A. Tree Inventory Table

12/2/2025
New House Development
949 Lee Drive, Menlo Park

Tag #	Common Name	Trunk Diameter (DBH)	Location / Designation	Tree Disposition	Reason for Removal
1	Privet Species	8"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
2	Privet Species	6"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
3	Privet Species	8"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
4	Privet Species	10"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
5	Privet Species	7"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
6	Privet Species	6"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
7	Privet Species	6"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
8	Privet Species	10"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
9	Privet Species	8"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house. Undesirable & invasive species
10	Lemonwood Tree	10"	Site / Not Protected	Remove - Development	Aged, Hedge-form; Client may decide to Retain/rejuvenate but trees will not compliment new house
11	Spanish Fir	6"	Site / Not Protected	Remove - Development	Poor condition; Directly over water & Sewer lines. Will not compliment new house.
12	Monterey Pine	40"	Site / Heritage - Protected	Remove - Development	Tree has very poor structural condition with most of the canopy extending over the neighboring property house.
15	Privet Species	7"-12"	Site / Not Protected	Remove - Development	Aged, growing through the fence. Undesirable & invasive species
16	Plum Species	4"	Site / Not Protected	Remove - Development	Aged. Poor condition & close to new house footprint.
18	Norfolk Island Pine		Site / Not Protected	Remove - Development	Too close to demolition & new house footprint.



Appendix B. Appraisal Calculation Table

12/2/2025
New House Development
949 Lee Drive, Menlo Park

Trunk Formula Technique Line Items:			1	2	3	4	5	6	7	8	9	10	11	12	13	14				
			Subject Tree					Replacement Tree							Additional Costs					
Tree ID#	Botanical Name	Common Name	DBH (in inches)	Cross Sectional Area	Condition Percent	Functional Limitations	External Limitations	Replacement Tree Size*	DBH (in inches)	Cross Sectional Area	Replacement Tree Cost**	Unit Tree Cost	Basic Reproduction Cost	Depreciated Reproduction Cost	Cleanup	Installation Cost	Aftercare	Total Additional Costs	Total Reproduction Cost	Appraisal Amount (Rounded)
12	Pinus radiata	Monterey Pine	40.00	1256.64	50.00%	35.00%	40.00%	24" Box	2.50	4.75	\$ 240.00	\$ 50.53	\$ 63,493.39	\$ 4,444.54	\$ 1,100.00	\$ 200.00	\$ 1,200.00	\$ 2,500.00	\$ 6,944.54	\$ 6,940.00
19	Quercus agrifolia	Coast Live Oak	32.00	804.25	40.00%	50.00%	50.00%	24" Box	2.50	3.80	\$ 280.00	\$ 73.68	\$ 59,260.50	\$ 5,926.05	\$ 1,800.00	\$ 200.00	\$ 1,200.00	\$ 3,200.00	\$ 9,126.05	\$ 9,130.00
20	Quercus agrifolia	Coast Live Oak	43.00	1452.20	60.00%	60.00%	50.00%	24" Box	2.50	3.80	\$ 280.00	\$ 73.68	\$ 107,004.55	\$ 19,260.82	\$ 2,500.00	\$ 200.00	\$ 1,200.00	\$ 3,900.00	\$ 23,160.82	\$ 23,160.00
21	Quercus suber	Cork Oak	35.00	962.12	60.00%	60.00%	50.00%	24" Box	2.50	2.24	\$ 280.00	\$ 125.00	\$ 120,264.38	\$ 21,647.59	\$ 1,800.00	\$ 200.00	\$ 1,200.00	\$ 3,200.00	\$ 24,847.59	\$ 24,850.00
22	Quercus suber	Cork Oak	10.00	78.54	80.00%	60.00%	50.00%	24" Box	2.50	2.24	\$ 280.00	\$ 125.00	\$ 9,817.50	\$ 2,356.20	\$ 400.00	\$ 200.00	\$ 1,200.00	\$ 1,800.00	\$ 4,156.20	\$ 4,160.00

*Replacement Tree Size based on ““Largest Commonly Available Nursery Tree,” (LCANT); <https://selecttree.calpoly.edu/appraisals>

APPAISED VALUE - ALL PROTECTED TREES: \$ 68,240.00

**30% Markup Added to Wholesale Replacement Tree Cost (Rounded)



Appendix C – Tree Location Map





Appendix D - Tree Preservation Plan

Note: This plan has been developed under the guidelines of the HERITAGE TREE AND CITY TREE PROTECTION SPECIFICATIONS FOR CONSTRUCTION, as prepared by the City of Menlo Park, *Updated 2023*. To maintain integrity, specifications have been copied directly as they apply to this project.

"Tree protection measures are required for all heritage trees and city owned trees being retained on or immediately adjacent to active construction sites. Violation of any of the below provisions may result in heritage tree violation fines, issuance of a stop work order, or other disciplinary action.

1. Retain a city approved consulting arborist as the Project Arborist to design and monitor tree protection specifications. The Project Arborist shall report violations of the tree protection specifications by the Contractor to the City Arborist as an issue of non-compliance.

2. Design and implement tree protection measures before construction begins.

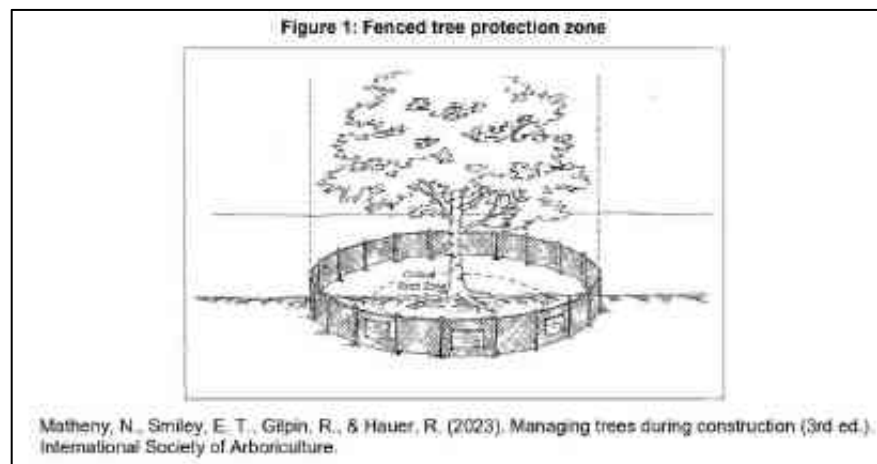
A tree protection fencing verification letter is required prior to building permit issuance.

3. Report damage of heritage tree(s) by construction activities to the Project Arborist or City Arborist within six (6) hours. Remedial action should be taken within 48 hours.

4. Delineate a Tree Protection Zone (TPZ) around the dripline of protected tree(s). The Project Arborist may establish, with approval by the City Arborist, a larger or smaller TPZ based on the species tolerance, health and vigor of the tree(s)," SEE TREE PRESERVATION MAP

"...5. Construct a protective barrier around the TPZ (see Figure 1 below) with the following specifications:

- Fencing shall be six (6)-foot-tall chain link;
- Fence posts shall be 1.5 inches in diameter, driven 2 feet into the ground, at most 10 feet apart;
- Signage (in both English and Spanish) should be printed on an 11" x 17" yellow-colored paper and secured in a prominent location on each protection fence. Signage shall include the Project Arborist's contact information;
- Fencing may be moved to within the TPZ if authorized by the Project Arborist and City Arborist. The fence must remain at least 1.5 times the diameter of the tree from its trunk (i.e. The fence must remain at least 30- inches from the trunk of a 20-inch tree); and
- Movable barriers of chain link fencing secured to cement blocks may be substituted for fixed fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.



6. Place a 6-inch layer of coarse mulch or woodchips covered with $\frac{3}{4}$ -inch plywood or alternative within the TPZ prior to construction activity. Placement of this protective covering will reduce soil compaction and root impacts. It will also help the soil retain moisture for the roots.

7. As specified by the Project Arborist, ensure adequate irrigation is supplied to the trees on a regular basis..."

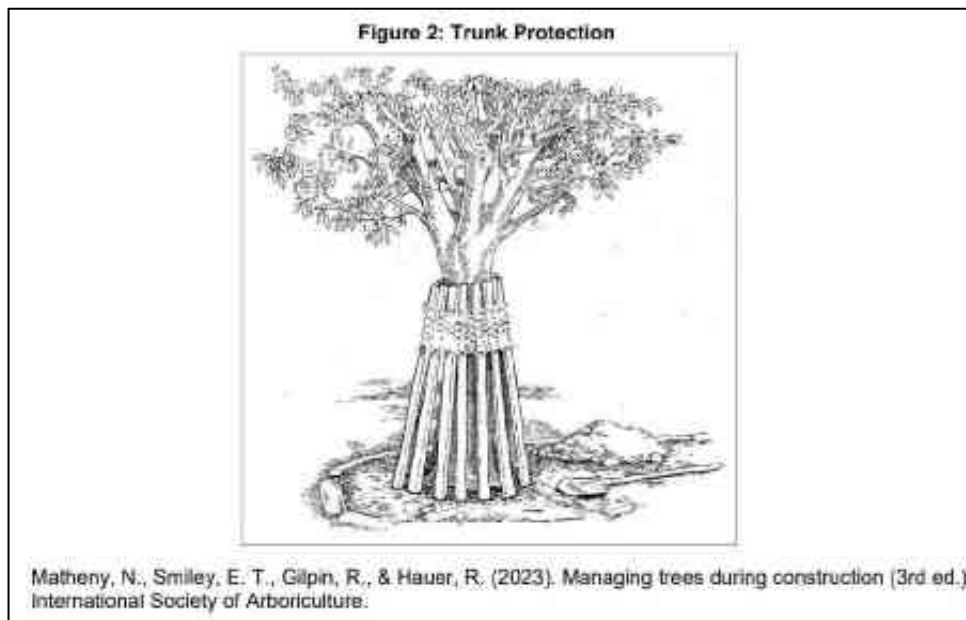
***Supplemental irrigation will not be required for this project, as tree to be protected are well-established Coast Live and Cork Oaks.

"...8. Prohibit the following activities within the TPZ. DO NOT:

- Place heavy machinery for excavation;
- Allow runoff or spillage of damaging materials;
- Store or stockpile materials, tools, or soil;
- Park or drive vehicles;
- Trench, dig, or otherwise excavate without first obtaining authorization from the City Arborist or Project Arborist;
- Change soil grade; and
- Trench with a machine.

9. When work must occur within the TPZ of a heritage tree (as authorized by the Project Arborist or City Arborist) install trunk protections (see Figure 2 below) with the following specifications:

- Securely bind wooden slats at least 1-inch-thick around the trunk (preferably on a closed-cell foam pad). Secure and wrap at least one layer of orange plastic construction fencing around the outside of the wooden slats for visibility;
- DO NOT drive fasteners into the tree;
- Install trunk protection immediately prior to work within the TPZ and remove protection from the tree(s) as soon as work moves outside the TPZ;
- Protect major scaffold limbs as determined by the City Arborist or Project Arborist; and
- If necessary, install wooden barriers at an angle so that the trunk flare and buttress roots are also protected.



10. To avoid injury to tree roots:

- Only excavate carefully by hand, compressed air, or high-pressure water within the dripline of trees;



- When the Contractor encounters roots smaller than 2-inches, hand-trim the wall of the trench adjacent to the trees to make even, clean cuts through the roots;
- Cleanly cut all damaged and torn roots to reduce the incidence of decay;
- Fill trenches within 24 hours. When it is infeasible to fill trenches within 24 hours, shade the side of the trench adjacent to the trees with four layers of dampened, untreated burlap. Wet burlap as frequently as necessary to maintain moisture; and
- When the Contractor encounters roots 2 inches or larger, report immediately to the Project Arborist. The Project Arborist will decide whether the Contractor may cut roots 2 inches or larger. If a root is retained, excavate by hand or with compressed air under the root. Protect preserved roots with dampened burlap.

11. Route pipes outside of the area that is 10 times the diameter of a protected tree to avoid conflict with roots. " In this case, the utility lines are existing and to be replaced. Though they are located within the dripline of Heritage Oak Tree #19, relocation is not recommended as it would cause more harm than excavation & replacement of existing lines.

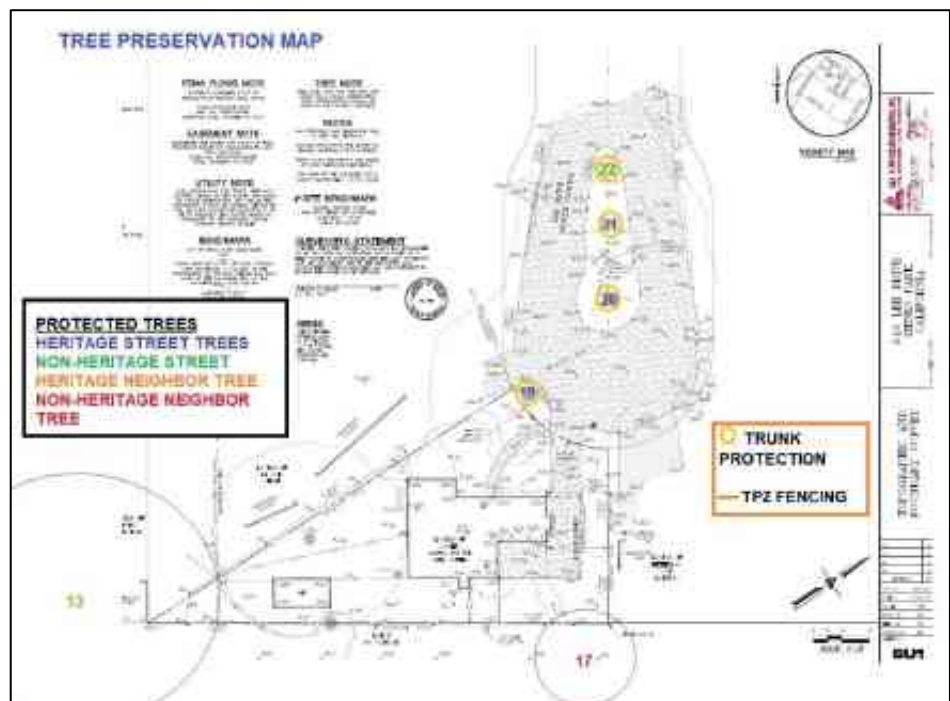
"...12. Where it is not possible to reroute pipes or trenches, bore beneath the dripline of the tree. Do not bore less than 3-inches below the surface of the soil to avoid damage to small feeder roots." Boring is also not recommended, as this is replacement of existing lines.

"...13. Avoid the following conditions. DO NOT:

- Cut, break, skin, or bruise roots, branches, or trunks without authorization from the City Arborist;
- Allow fires under and adjacent to trees;
- Discharge exhaust into foliage;
- Direct runoff toward trees;
- Secure cable, chain, or rope to trees; and
- Apply soil sterilants under pavement near existing trees

ARBORIST INSPECTIONS

- The Project Arborist must provide periodic, on-site tree protection inspections during construction which:
- Occur at least once every four (4) weeks;
- Monitor the effectiveness of the Tree Protection Plan;
- Provide recommendations for any necessary additional care or treatment; and
- Will be followed by monthly construction monitoring reports emailed directly to the City Arborist.





Tree Protection & Mitigation Table

TREE ID	Common Name	Root Protection Measures	Canopy Mitigation Measures	Tree Protection Zone Barrier and/or Trunk Protection
13	Coast Live Oak	Hand-excavation within dripline	Minimal Pruning for Clearance, as needed. No more than 5% overall canopy reduction	Fence in place
14	Privet Species	Hand-excavation within dripline	Minimal Pruning for Clearance, as needed. No more than 5% overall canopy reduction	Fence in place
17	Chinese Pistache	Hand-excavation within dripline	Minimal Pruning for Clearance, as needed. No more than 5% overall canopy reduction	Fence in place
19	Coast Live Oak	Hand-excavation within dripline; Project Arborist Supervision as-needed during utility excavation; Root Pruning Permit Required for Roots over 2" Diameter; Mulch/Root Barrier Installation over bare soil	Minimal Pruning for Clearance, as needed. No more than 10% overall canopy reduction	Trunk Protection, due to limited open soil space
20	Coast Live Oak	N/A - Street Trees	Minimal Pruning for Clearance, as needed. No more than 5% overall canopy reduction	Fencing to be held 1 to 2 feet in from pavement; May need to use modified fencing in areas where large tree limbs are lower than 6 feet above grade. Trunk protection may be a better alternative.
21	Cork Oak	N/A - Street Trees	Minimal Pruning for Clearance, as needed. No more than 5% overall canopy reduction	Fencing to be held 1 to 2 feet in from pavement; May need to use modified fencing in areas where large tree limbs are lower than 6 feet above grade. Trunk protection may be a better alternative.
22	Cork Oak	N/A - Street Trees	Minimal Pruning for Clearance, as needed. No more than 5% overall canopy reduction	Trunk Protection, due to tree leaning below 6 feet above grade over pavement.



Appendix E - Assumptions and Limiting Conditions

1. Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is evaluated as though free and clear, under responsible ownership and competent management.
2. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
3. The consultant/appraiser shall not be required to give testimony or attend court by reason of this report, unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
4. Loss or alteration of any part of this report invalidates the entire report.
5. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant/appraiser.
6. Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without prior expressed written or verbal consent of the consultant/appraiser, particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society or institute or to any initial designation conferred upon the consultant/appraiser as stated in her qualifications.
7. This report and values expressed here in represent the opinion of the consultant, and the consultants fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
8. Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or Surveys.
9. Unless expressed otherwise: (1) Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and (2) the inspection is limited to visual examination of accessible items without dissection, Excavation, probing or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plant or property in question may not arise in the future.
10. Liability Clause: Trees are living things and as such are subject to failure, due to unforeseen conditions and/or circumstances beyond reasonable knowledge. D.R. Tree Consulting, LLC and arborist on staff is not liable for any tree and/or tree part failures resulting from said unforeseen causes, natural forces (including but not limited to) acts of God, severe weather events and/or other environmental influences.



Appendix F – Certificate of Performance

I, Dustie Rushing, certify to the best of my knowledge and belief:

1. I have personally inspected the tree(s) and/or the property referenced in this report and have stated my findings accurately;
2. I have no present or prospective interest in the tree(s) or property that are the subject of this report and have no personal interest or bias with respect to the parties involved;
3. That the analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and facts according to commonly accepted arboricultural practices and standards;
4. That the analysis, opinions and conclusions are limited only by the reported assumptions and limiting conditions, and that they are my personal, unbiased professional analysis, opinions and conclusions;
5. That no one provided significant professional assistance to the author, unless specified herein;
6. That my compensation is not dependent upon the reporting of a predetermined conclusion or opinion that favors my cause, my client or any other party / parties involved.

Signed:

Dustie Rushing

Dustie Rushing

ISA TRAQ #WE-10084A / RCA #890

Date:

December 2, 2025

Arborist Credentials:

2025 Registered Consulting Arborist #890, *American Society of Consulting Arborists (ASCA)*®

2018 ISA Tree Risk Assessment Qualification, *International Society of Arboriculture (ISA)*®

2013 Certified Arborist #WE-10084A, *International Society of Arboriculture (ISA)*®

2005 AS Degree in Horticulture, *Las Positas College*, Livermore, CA

949 Lee Development



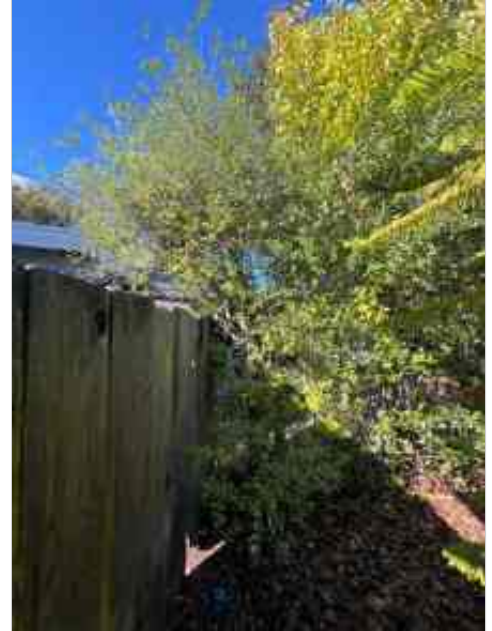
November 18, 2025

Ligustrum spp. ID# 1
Privet Species Tag# 1
Height: 15' DBH: 8"
Health: 60% - Fair



November 18, 2025

Ligustrum spp. ID# 9
Privet Species Tag# 9
Height: 15' DBH: 8"
Health: 0% - Dead



November 18, 2025

Pittosporum eugenioi... ID# 10
Lemonwood Tree Tag# 10
Height: 15' DBH: 10"
Health: 60% - Fair



Three stems 4" x 2" x 2"
Hedge Form



Decaying stump at the base, tree is nearly if not completely dead 3" x 2"
Hedge Form



Three main stems, approximately 2 feet above grade measure 6" x 4" x 4" - hedge form at 48 inches above grade
Hedge Form

949 Lee Development



November 18, 2025

Abies pinsapo ID# 11
Spanish Fir Tag# 11
Height: 16' DBH: 6"
Health: 40% - Poor



November 18, 2025

Abies pinsapo ID# 11
Spanish Fir Tag# 11
Height: 16' DBH: 6"
Health: 40% - Poor



November 18, 2025

Pinus radiata ID# 12
Monterey Pine Tag# 12
Height: 48' DBH: 40"
Health: 60% - Fair



Measured at 48 inches above grade



Measured at 48 inches above grade



Overall, good root flare no visible damage to surface roots, some bulging on the trunk. Included bark between two main stems starting at approximately 6 feet above grade up to main stem junction at approximately 15 feet above grade. Sap ooze from previously removed large limbs. PG&E house drop line through canopy has required extensive raising, leading to low LCR

of approximately 25%. Several dead branches in canopy, largest measuring 6" x 10 to 12 feet. Counted an additional seven approximately 3 to 4 inches diameter by 8 to 10 feet each; most of canopy is over neighboring property house 60% FEHR health 40% poor structure



949 Lee Development



November 18, 2025

<i>Pinus radiata</i>	ID# 12
Monterey Pine	Tag# 12
Height: 48'	DBH: 40"
Health: 60% - Fair	



Overall, good root flare no visible damage to surface roots, some bulging on the trunk. Included bark between two main stems starting at approximately 6 feet above grade up

A65



November 18, 2025

<i>Pinus radiata</i>	ID# 12
Monterey Pine	Tag# 12
Height: 48'	DBH: 40"
Health: 60% - Fair	



Overall, good root flare no visible damage to surface roots, some bulging on the trunk. Included bark between two main stems starting at approximately 6 feet above grade up



November 18, 2025

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to main stem junction at approximately 15 feet above grade. Sap ooze from previously removed large limbs. PG&E house drop line through canopy has required extensive raising, leading to low LCR of approximately 25%. Several dead branches in canopy, largest measuring 6" x 10 to 12 feet. Counted an additional seven approximately 3 to 4 inches diameter by 8 to 10 feet each; most of canopy is over neighboring property house 60% FEHR health 40% poor structure

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949 Lee Development



November 18, 2025

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Height: 48' DBH: 40"
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949 Lee Development

A67



November 18, 2025

Pinus radiata ID# 12
 Monterey Pine Tag# 12
 Height: 48' DBH: 40"
 Health: 60% - Fair



November 18, 2025

Quercus agrifolia ID# 13
 Coast Live Oak Tag# 13
 Height: 46' DBH: 25"..."
 Health: 60% - Fair



November 18, 2025

Quercus agrifolia ID# 13
 Coast Live Oak Tag# 13
 Height: 46' DBH: 25"..."
 Health: 60% - Fair



Overall, good root flare no visible damage to surface roots, some bulging on the trunk. Included bark between two main stems starting at approximately 6 feet above grade up to main stem junction at approximately 15 feet above grade. Sap ooze from previously removed large limbs. PG&E house drop line through canopy has required extensive raising, leading to low LCR of approximately 25%. Several dead branches in canopy, largest measuring 6" x 10 to 12 feet. Counted an additional seven approximately 3 to 4 inches diameter by 8 to 10 feet each; most of canopy is over neighboring property house
 60% FEHR health 40% poor structure



Overall healthy, green foliage throughout with very minimal deadwood. Edge of canopy extends approximately 20 feet into subject property (still not in development area) at its furthest point. Trunk is approximately 10 to 12 feet from subject property fence. Neighboring property trees



Overall healthy, green foliage throughout with very minimal deadwood. Edge of canopy extends approximately 20 feet into subject property (still not in development area) at its furthest point. Trunk is approximately 10 to 12 feet from subject property fence. Neighboring property trees

949 Lee Development



November 18, 2025

Ligustrum spp. ID# 14
Privet Species Tag# 14
Height: 12' DBH: 7"-...
Health: 60% - Fair



Two privet trees very close to fence
Neighboring property trees



November 18, 2025

Ligustrum spp. ID# 15
Privet Species Tag# 15
Height: 12' DBH: 7"-...
Health: 60% - Fair



Second of two privet's growing
through fence stump is on both side
sides of fence.
Both sides of fence



November 18, 2025

Ligustrum spp. ID# 15
Privet Species Tag# 15
Height: 12' DBH: 7"-...
Health: 60% - Fair



Second of two privet's growing
through fence stump is on both side
sides of fence.
Both sides of fence

949 Lee Development



November 18, 2025

Prunus salicina spp. ID# 16
Plum Species Tag# 16
DBH: 4"

Health: 60% - Fair



November 18, 2025

Pistacia chinensis ID# 17
Chinese Pistache Tag# 17
DBH: 7"-...

Health: 80% - Good



November 18, 2025

Araucaria heterophylla ID# 18
Norfolk Island Pine Tag# 18
DBH: 1"-6"

Health: 60% - Fair



On site trees below 6 inch diameter, including to document; not included in inventory, not physically tagging
Under 6" DBH



Neighboring property tree unable to view for accurate trunk measurement
canopy extends approximately 3 to 4 feet over fence
Neighboring property trees



Three Norfolk Island Pines all measuring less than 6 inches at 4 feet above grade
Three Norfolk Island Pines all measuring less than 6 inches at 4 feet above upgrade; On site trees below 6 inch diameter, including to document; not included in inventory, not physically tagging

949 Lee Development



November 18, 2025

Quercus agrifolia ID# 19
Coast Live Oak Tag# 19
Height: 45' DBH: 32"
Health: 40% - Poor



November 18, 2025

Quercus agrifolia ID# 19
Coast Live Oak Tag# 19
Height: 45' DBH: 32"
Health: 40% - Poor



November 18, 2025

Quercus agrifolia ID# 19
Coast Live Oak Tag# 19
Height: 45' DBH: 32"
Health: 40% - Poor



Somewhat excessive dead foliage throughout base of trunk approximately 2 feet from existing Watermain. Overall good trunk flare, large cavity on the north side of the tree where previous stem was is a main condition of concern; pavement against the roots on north side Cavity approximately 8 feet above grade with fungal bodies, decay and insect emergence holes present unable to



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access with probe due to height
measures approximately 12 inch
diameter
Trees on Lee Drive, including in
inventory, but not physically tagging

access with probe due to height
measures approximately 12 inch
diameter
Trees on Lee Drive, including in
inventory, but not physically tagging

access with probe due to height
measures approximately 12 inch
diameter
Trees on Lee Drive, including in
inventory, but not physically tagging



949 Lee Development



November 18, 2025

Quercus agrifolia ID# 19
Coast Live Oak Tag# 19
Height: 45' DBH: 32"
Health: 40% - Poor



November 18, 2025

Quercus agrifolia ID# 19
Coast Live Oak Tag# 19
Height: 45' DBH: 32"
Health: 40% - Poor



November 18, 2025

Quercus agrifolia ID# 19
Coast Live Oak Tag# 19
Height: 45' DBH: 32"
Health: 40% - Poor



Somewhat excessive dead foliage
throughout base of trunk
approximately 2 feet from existing
Watermain. Overall good trunk flare,
large cavity on the north side of the
tree where previous stem was is a
main condition of concern; pavement
against the roots on north side Cavity
A72



Somewhat excessive dead foliage
throughout base of trunk
approximately 2 feet from existing
Watermain. Overall good trunk flare,
large cavity on the north side of the
tree where previous stem was is a
main condition of concern; pavement
against the roots on north side Cavity



Somewhat excessive dead foliage
throughout base of trunk
approximately 2 feet from existing
Watermain. Overall good trunk flare,
large cavity on the north side of the
tree where previous stem was is a
main condition of concern; pavement
against the roots on north side Cavity

approximately 8 feet above grade with fungal bodies, decay and insect emergence holes present unable to access with probe due to height measures approximately 12 inch diameter
Trees on Lee Drive, including in inventory, but not physically tagging

approximately 8 feet above grade with fungal bodies, decay and insect emergence holes present unable to access with probe due to height measures approximately 12 inch diameter
Trees on Lee Drive, including in inventory, but not physically tagging

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Trees on Lee Drive, including in inventory, but not physically tagging



949 Lee Development



November 18, 2025

Quercus agrifolia ID# 20
Coast Live Oak Tag# 20
Height: 45' DBH: 43"
Health: 60% - Fair



November 18, 2025

Quercus agrifolia ID# 20
Coast Live Oak Tag# 20
Height: 45' DBH: 43"
Health: 60% - Fair



November 18, 2025

Quercus agrifolia ID# 20
Coast Live Oak Tag# 20
Height: 45' DBH: 43"
Health: 60% - Fair



Also has somewhat excessive, dead foliage, and branches throughout root crown is buried. Located in Central median
A73



Also has somewhat excessive, dead foliage, and branches throughout root crown is buried. Located in Central median



Also has somewhat excessive, dead foliage, and branches throughout root crown is buried. Located in Central median

Trees on Lee Drive, including in inventory, but not physically tagging

Trees on Lee Drive, including in inventory, but not physically tagging

Trees on Lee Drive, including in inventory, but not physically tagging



949 Lee Development



November 18, 2025

Quercus agrifolia ID# 20
Coast Live Oak Tag# 20
Height: 45' DBH: 43"
Health: 60% - Fair



November 18, 2025

Quercus agrifolia ID# 20
Coast Live Oak Tag# 20
Height: 45' DBH: 43"
Health: 60% - Fair



November 18, 2025

Quercus agrifolia ID# 20
Coast Live Oak Tag# 20
Height: 45' DBH: 43"
Health: 60% - Fair



Also has somewhat excessive, dead foliage, and branches throughout root crown is buried. Located in Central median

Trees on Lee Drive, including in inventory, but not physically tagging



Also has somewhat excessive, dead foliage, and branches throughout root crown is buried. Located in Central median

Trees on Lee Drive, including in inventory, but not physically tagging



Also has somewhat excessive, dead foliage, and branches throughout root crown is buried. Located in Central median

Trees on Lee Drive, including in inventory, but not physically tagging

949 Lee Development



November 18, 2025

Quercus suber ID# 21
Cork Oak Tag# 21
Height: 45' DBH: 35"
Health: 60% - Fair



November 18, 2025

Quercus suber ID# 21
Cork Oak Tag# 21
Height: 45' DBH: 35"
Health: 60% - Fair



November 18, 2025

Quercus suber ID# 21
Cork Oak Tag# 21
Height: 45' DBH: 35"
Health: 60% - Fair



Multi stem with included bark between two main stems Junction at approximately 3 feet above grade north stem 18 inches south stem 22 inches at 48 inches above grade root crown buried some dead wood in upper canopy canopy somewhat off balance but overall healthy Evidence of damage to large stem over driveway, likely hit by a trucks, but closing off and healing well Measured



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35 inch diameter at 12 inches above grade
Trees on Lee Drive, including in inventory, but not physically tagging

35 inch diameter at 12 inches above grade
Trees on Lee Drive, including in inventory, but not physically tagging

35 inch diameter at 12 inches above grade
Trees on Lee Drive, including in inventory, but not physically tagging



949 Lee Development



November 18, 2025

Quercus suber ID# 21
Cork Oak Tag# 21
Height: 45' DBH: 35"
Health: 60% - Fair



November 18, 2025

Quercus suber ID# 22
Cork Oak Tag# 22
Height: 18' DBH: 10"
Health: 80% - Good



November 18, 2025

Quercus suber ID# 22
Cork Oak Tag# 22
Height: 18' DBH: 10"
Health: 80% - Good



Multi stem with included bark between two main stems Junction at approximately 3 feet above grade north stem 18 inches south stem 22 inches at 48 inches above grade root crown buried some dead wood in upper canopy canopy somewhat off balance but overall healthy Evidence of damage to large stem over



Heavily suppressed by other cork oak, but overall good condition, despite corrected, lean on trunk Trees on Lee Drive, including in inventory, but not physically tagging



Heavily suppressed by other cork oak, but overall good condition, despite corrected, lean on trunk Trees on Lee Drive, including in inventory, but not physically tagging

driveway, likely hit by a trucks, but closing off and healing well Measured 35 inch diameter at 12 inches above grade

Trees on Lee Drive, including in inventory, but not physically tagging



949 Lee Development



November 18, 2025

<i>Quercus suber</i>	ID# 22
Cork Oak	Tag# 22
Height: 18'	DBH: 10"
Health: 80% - Good	



Heavily suppressed by other cork oak, but overall good condition, despite corrected, lean on trunk
Trees on Lee Drive, including in inventory, but not physically tagging

Attachment A Exhibit E – Conditions of Approval

LOCATION: 949 Lee Drive	PROJECT NUMBER: PLN2025-00022	APPLICANT: Roi Omer	OWNER: Roi Omer
PROJECT CONDITIONS: 1. The use permit and variance shall be subject to the following standard conditions: a. The applicant shall be required to apply for a building permit within one year from the date of approval (by August 10, 2027) for the use permit to remain in effect. b. Development of the project shall be substantially in conformance with the plans prepared by Margaret Wimmer consisting of 26 plan sheets, dated received June 23, 2026 and approved by the Planning Commission on August 10, 2026, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by DR Tree Consulting, dated December 2, 2025. i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application. j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim,			

Attachment A Exhibit E – Conditions of Approval

LOCATION: 949 Lee Drive	PROJECT NUMBER: PLN2025-00022	APPLICANT: Roi Omer	OWNER: Roi Omer
PROJECT CONDITIONS: action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings. k. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application. 2. The use permit and variance shall be subject to the following project-specific conditions: a. Simultaneous with the submittal of a complete building permit application, the applicant shall provide revised plans for the removal and replacement of the asphalt parking strip and construction of a 3-foot concrete valley gutter along the entire project frontage, subject to review and approval by the Engineering Division. b. Final approval of the use permit and variance is subject to granting by the City Council of a variance from the Subdivision Ordinance to reduce the Subdivision Ordinance required front setback. Denial of the variance that requires redesign of the approved project to comply with the Subdivision Ordinance front setback requirement may result in a requirement for a use permit revision if the revised project is no longer in substantial conformance with the plans associated with the approved use permit.			



City of Menlo Park
Location Map
949 LEE DRIVE



Scale: 1:4,000

Drawn By: CRT

Checked By: CDS

Date: 8/10/2026

Sheet: 1

949 Lee Drive – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,002 sf	5,002 sf	7,000 sf min
Lot width	65 ft	65 ft	65 ft min
Lot depth	79.1 ft	79.1 ft	100 ft min
Setbacks			
Front	23.8 ft	17 ft	20 ft min*
Rear	10 ft	9.9 ft	20 ft min
Side (left)	23.8 ft	17.4 ft	10% of minimum lot width, minimum 5 feet
Side (right)	6.5 ft	5.4 ft	
Building coverage	1,407.1 sf	1,106 sf	1,750 sf max
	28.1 %	22.1 %	35 % max
FAL (Floor Area Limit)	2,798.4 sf	1,106 sf	2,800 sf max
Square footage by floor	1,351.3 sf/1 st	849 sf/1 st	
	1,217.3 sf/2nd	127 sf/car port	
	228.3 sf/garage	130 sf/accessory building	
	55.8 sf/porches		
	1.5 sf/attic > 5 feet		
Square footage of buildings	2,854.2 sf	1,106 sf	
Building height	25.9 ft	12.8 ft	28 ft max
Parking	1 covered, 1 uncovered space	1 covered	None required per AB 2097
Note: Areas shown highlighted indicate a nonconforming or substandard situation			
Trees	Heritage trees 2**	Non-Heritage trees 17	New trees 5
	Heritage trees 1 proposed for removal	Non-Heritage trees 17 proposed for removal	Total Number of trees 6

*This represents the Zoning Ordinance front setback. The required front setback per the Subdivision Ordinance is approximately 25.25 feet.

**Of these trees, one is located on the subject property, and one is a street tree.