



REGULAR MEETING AGENDA

Date: 3/23/2026
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

How to participate in the meeting

- Access the live meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:
zoom.us/join – Meeting ID# 846 9472 6242
- Access the meeting real-time via telephone (listen only mode) at:
(669) 900-6833
Regular Meeting ID # 846 9472 6242
Press *9 to raise hand to speak
- Submit a written comment online up to 1-hour before the meeting start time:
planning.commission@menlopark.gov*
Please include the agenda item number related to your comment.

*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

Subject to change: The format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the city website menlopark.gov. The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information (menlopark.gov/agendas).

Regular Meeting

- Call To Order**
- Roll Call**
- Reports and Announcements**
- Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The

Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the February 23, 2026 Planning Commission meeting ([Attachment](#))
- E2. Approval of minutes from the March 9, 2026 Planning Commission meeting ([Attachment](#))

F. Public Hearing Items

- F1. Use Permit/Hao Wang/2031 Santa Cruz Ave.:
Consider and adopt a resolution to approve a use permit to demolish an existing single-story, single-family residence and detached garage and construct a new two-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban) zoning district and determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. The project includes an attached ADU (accessory dwelling unit), which is a permitted use and not subject to discretionary review. ([Staff report #26-005-PC](#))
- F2. Architectural Control and Sign Review/Amal Karimi/1215 El Camino Real:
Consider and adopt a resolution to approve an architectural control permit revision to replace exterior materials and colors to modernize the existing building, remove the existing tower element from the roof, reconfigure the existing storefronts including a new straight and full-height storefront along the parking lot, and square off the recessed entry of an existing building at 1215 El Camino Real in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposal also includes a request for sign review for one internally illuminated sign on the building facade facing Oak Grove Ave. and one internally illuminated sign on the building facade facing El Camino Real which both feature lettering greater than 18 inches in height. Determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. ([Staff report #26-006-PC](#))

G. Public Meeting Item

- G1. 2025 General Plan Annual Progress Report/City of Menlo Park:
Consider and adopt a resolution recommending the City Council accept the 2025 General Plan Annual Progress Report, including progress implementing the Housing Element and Environmental Justice Element; the General Plan Annual Progress Report is not considered a project under CEQA. ([Staff report #26-007-PC](#)) **Continued from the meeting of March 9, 2026**

H. Informational Items

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: April 13, 2026
- Regular Meeting: April 27, 2026

I. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or before, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.gov. Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

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REGULAR MEETING DRAFT MINUTES

Date: 2/23/2026
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Andrew Ehrich called the meeting to order at 7:01 p.m.

B. Roll Call

Present: Andrew Ehrich (Chair), Ross Silverstein (Vice Chair), Katie Behroozi, Linh Dan Do, Katie Ferrick, Jennifer Schindler

Absent: Misha Silin

Staff: Matthew Ball, Assistant Planner; Corinna Sandmeier, Principal Planner; Marian Sleiman, City Attorney's Office; Brian Toy, Associate Planner

C. Reports and Announcements

Principal Planner Sandmeier said staff had no updates to report.

D. Public Comment

Chair Ehrich opened public comment and closed public comment as no persons requested to speak.

E. Consent Calendar

Chair Ehrich opened public comment on this item and closed public comment as no persons requested to speak.

Commissioner Do asked that the items on the Consent Calendar be voted on separately.

E1. Approval of minutes from the December 15, 2025 Planning Commission meeting ([Attachment](#))

ACTION: Motion and second (Do, Schindler) to approve the minutes from the December 15, 2025 Planning Commission meeting; passes 5-0 with Commissioner Do abstaining and Commissioner Silin absent.

E2. Approval of minutes from the January 12, 2026 Planning Commission meeting ([Attachment](#))

ACTION: Motion and second (Schindler, Behroozi) to approve the minutes from the January 12, 2026 Planning Commission meeting; passes 6-0 with Commissioner Silin absent.

F. Public Hearing Item

F1. Use Permit/Angan Das/636 Cambridge Ave.:

Consider and adopt a resolution to approve a use permit to demolish an existing single-story single-family residence and construct two new two-story single-family residences, each with an attached one-car garage, on a substandard lot with regard to minimum lot width in the R-2 (Low-Density Apartment) zoning district. The proposal would also include two attached Accessory Dwelling Units (ADUs), one for each proposed single-family residence, which is a permitted use and not subject to discretionary review. Additionally, there are three heritage trees proposed for development-related removal. Determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. ([Staff report #26-002-PC](#))

Associate Planner Toy said staff had no updates to the written report.

Tito Das spoke on behalf of the project, noting Jeannie Kester, the lead designer, was unable to attend due to illness.

Replying to Commissioner Silverstein as to why the parcel was not exempt from parking requirements per AB 2097, staff indicated the AB 2097 exemption for parking is based on Caltrain station proximity.

Commissioner Schindler referred to the study session on updates to the ADU ordinance and confirmed with staff that based on the definition of an attached ADU in the proposed ordinance that the ADUs proposed in this item were correctly applied with staff clarifying that the proposed ADUs were considered attached because of their size and that they were non-state mandated structures.

Chair Ehrich opened the public hearing and closed the public hearing as no persons requested to speak.

Commission comment included support for more housing units but a desire for four functioning units versus two units with ADUs, a desire for less pavement and potential use of pavers or other permeable materials versus asphalt, desire for no artificial turf, some concern with the kitchen layout on the two-bedroom unit as opposed to the one-bedroom unit, and requests for staff clarifications about internal access, separate utilities, and future subdivision. Discussion ensued about whether a variance could be used to allow for reduced parking, a request to review the meaning of major transit stop and encouragement of future discussion about types of landscape, soft-and hard-scape solutions.

ACTION: Motion and second (Schindler/Do) to adopt a resolution approving the item as presented; passes 6-0 with Commissioner Silin absent.

G. Informational Items

G1. Future Planning Commission Meeting Schedule

- Regular Meeting: March 9, 2026

Planner Sandmeier said the agenda for the March 9th meeting would include a single-family home project, a commercial project and the annual progress report on the General Plan.

- Regular Meeting: March 23, 2026

Planner Sandmeier said the agenda for the March 23rd meeting was not finalized.

Commissioner Silverstein said the Planning Commission was informed it would receive an item on updating the zoning code for substandard lots. Planner Sandmeier said she would look into that and provide an update at a later date.

Chair Ehrich said similarly during a previous meeting under informational items he reported on correspondence with staff that a study session with updates to the SB 9 ordinance as well as evaluation of substandard lots was planned for the first quarter of 2026, and asked if that would be on March 23rd agenda.

Planner Sandmeier said staff was looking at the ADU ordinance update potentially for March 23rd and a study session on SB 9 potentially on April 13th.

H. Adjournment

Chair Ehrich adjourned the meeting at 8:23 p.m.

Staff Liaison: Corinna Sandmeier. Principal Planner

Recording Secretary: Brenda Bennett



REGULAR MEETING DRAFT MINUTES

Date: 3/9/2026
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

A. Call To Order

Vice Chair Ross Silverstein called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Ross Silverstein (Vice Chair), Katie Behroozi, Linh Dan Do, Katie Ferrick, Jennifer Schindler, Misha Silin

Absent: Andrew Ehrich (Chair)

Staff: Matthew Ball, Assistant Planner; Calvin Chan, Senior Planner; Monica Roy, Planning Technician; Corinna Sandmeier, Principal Planner

C. Reports and Announcements

Principal Planner Sandmeier said the City Council at its March 10th meeting would hold a study session on the Slow Streets Program and its implementation process.

Commissioner Schindler reported on feedback she had received from City staff including the City Attorney regarding whether the Planning Commission, individually or as a whole, could take positions on local ballot measures; and if so, what would be the process for doing so, and noted an email response from Community Development Director Chow shared with members of the Planning Commission.

Vice Chair Silverstein said he and Chair Ehrich had been communicating with staff regarding the City's interpretation of AB 2097 and staff had agreed to look into it further.

D. Public Comment

Vice Chair Silverstein opened public comment and closed public comment as no persons requested to speak.

E. Consent Calendar

None

F. Public Hearing Item

- F1. Use Permit/Thomas James Homes/365 Arden Rd.:
Consider and adopt a resolution to approve a use permit to demolish an existing single-story, single-family residence to construct a new two-story, single-family residence with an attached

garage on a substandard lot with regard to minimum lot area and lot width in the R-1-S (FG) Single Family Suburban Residential (Felton Gables) zoning district at 365 Arden Rd., and determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. The project includes an attached accessory dwelling unit (ADU), which is a permitted use and not subject to discretionary review. (Staff report #26-003-PC)

Assistant Planner Ball said staff had no updates to the written report.

Hannah Chu, Thomas James Homes, spoke on behalf of the project.

Vice Chair Silverstein opened the public hearing.

Public Comment:

- Bob Ryder, a neighbor, expressed his concern about privacy with the windows being placed along the staircase.

Vice Chair Silverstein closed the public hearing.

Commissioner Ferrick said regarding the neighbor's concern that the privacy screening of the landscape plan seemed excellent. She asked about the potential for partial frosting of the windows.

Ms. Chu said they would prefer not to frost windows 6 and 7 as they would bring light into the home and as the stairwell landing was not a high-traffic place and with the 23 feet of setback and landscape screening they believed privacy would be maintained.

Commission discussion ensued about the windows and generally there was consensus that they would not impact privacy due to the setback and landscape screening.

ACTION: Motion and second (Silverstein/Schindler) to adopt a resolution approving the item as submitted; passes 6-0 with Commissioner Ehrich absent.

- F2. Use Permit Revision/Atria Health and Research Institute/333 Middlefield Rd.:
Consider and adopt a resolution to approve a use permit revision to operate a medical office at an existing commercial office building that is substandard with regard to the minimum parking requirement in the C-1 (Administrative and Professional, Restrictive) zoning district at 333 Middlefield Road, and determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. (Staff report #26-004-PC)

Senior Planner Chan said staff had no additions to the written report.

Seema Otoya, Head of West Coast Expansion for Atria Health and Research Institute, spoke on behalf of the project.

Vice Chair Silverstein opened the public hearing and closed it as no persons requested to speak.

Commission comment included support for the use permit revision and appreciation for new employment and medical service opportunities in the city. Commission comment also included

highlighting ongoing/upcoming development projects in the area and encouragement for the applicant and staff to coordinate with project representatives to minimize potential community disturbances.

ACTION: Motion and second (Schindler/Behroozi) to adopt a resolution approving the item as submitted; passes 6-0 with Commissioner Ehrich absent.

G. Public Meeting Item

- G1. 2025 General Plan Annual Progress Report/City of Menlo Park:
Consider and adopt a resolution recommending the City Council accept the 2025 General Plan Annual Progress Report, including progress implementing the Housing Element and Environmental Justice Element; the General Plan Annual Progress Report is not considered a project under CEQA. ***Continue to the meeting of March 23, 2026***

ACTION: Motion and second (Silverstein/Schindler) to continue the item at the request of staff to the March 23, 2026 meeting; passes 6-0 with Commissioner Ehrich absent.

H. Informational Items

- H1. Future Planning Commission Meeting Schedule

- Regular Meeting: March 23, 2026

Planner Sandmeier said the March 23rd agenda would have an architectural control application for 1215 El Camino Real, a single-family home project and the General Plan Annual Progress Report.

- Regular Meeting: April 13, 2026

Planner Sandmeier said staff aims to bring the ADU Ordinance update to the April 13th meeting.

Planner Sandmeier said in April staff also plans to schedule a study session on updates to the SB 9 ordinance and a study session on substandard lots in single-family districts.

I. Adjournment

Vice Chair Silverstein adjourned the meeting at 7:46 p.m.

Staff Liaison: Corinna Sandmeier, Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date:

3/23/2026

Staff Report Number:

26-005-PC

Public Hearing:

Consider and adopt a resolution to approve a use permit to demolish an existing single-story, single-family residence and detached garage and construct a new two-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district and determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. The project includes an attached ADU (accessory dwelling unit), which is a permitted use and not subject to discretionary review.

Recommendation

Staff recommends that the Planning Commission adopt a resolution to approve a use permit to demolish an existing single-story, single-family residence and detached garage and construct a new two-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district. The proposal would also include an attached ADU (accessory dwelling unit), which is a permitted use and not subject to discretionary review. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

Background

Site Location

The subject property is located at 2031 Santa Cruz Ave. Using Santa Cruz Ave. in the north-south orientation, the subject property is located on the east side of Santa Cruz Ave. near the intersection of Santa Cruz Ave. and Alameda De Las Pulgas. A location map is included as Attachment B.

The property is zoned R-1-U and is bordered by properties also in the R-1-U zone on all three sides. The properties across the street on the west side of Santa Cruz Ave. are in unincorporated San Mateo County.

Analysis

Project Description

The subject property is currently occupied by a single-story, single-family residence and detached garage. The existing single-family residence was built in 1946 and is approximately 980 square feet. The existing detached garage is approximately 414 square feet.

The lot is substandard with regard to minimum lot width and minimum lot area. The lot has a width of 50 feet where 65 feet is required and an area of 5,625 square feet where 7,000 square feet is required. A use permit is required to construct a new two-story home on a substandard lot.

The applicant proposes to demolish the existing single-story, single-family residence and detached garage and construct a new two-story, single-family residence with four bedrooms, 3.5 bathrooms and an attached two-car garage, which provides the two compliant parking spaces for the new residence. The new residence would have an attached 316 square-foot ADU, which would exceed the floor area limit (FAL) for the lot by 315 square feet. Two parking spaces for the ADU are depicted in the driveway although only one is required. The proposed ADU and FAL exceedance are permitted and not subject to discretionary review.

The existing single-story, single-family residence on the property is nonconforming with regard to the left side setback, as there is an existing 4.25-foot setback where 5 feet is required. The proposed two-story, single-family home would comply with all required setbacks, removing the nonconforming structure currently on the property and replacing it with a conforming structure.

The proposed two-story, single-family residence includes a gable intrusion into the daylight plane along the right side. Gables and dormers may intrude into the daylight plane of a lot that is 10,000 square feet or less with a required side setback between five feet and eight feet. The permitted intrusion decreases on an even gradient from 10 feet in the case of a five-foot required side setback to no permitted intrusion in the case of an eight-foot required side setback or greater. The gable or dormer must not extend beyond a triangle described as follows:

- The base of the triangle is the line formed by the intersection of the building wall with the daylight plane;
- The aggregate length of the bases of all triangles intruding into a daylight plane shall not exceed thirty feet (30'); and
- The triangle must be entirely within the maximum building height.

The proposed gable intrusion is two feet, three inches, which is less than the maximum permitted intrusion of 10 feet for a lot with a required side setback of five feet. The length of the base of the triangle intruding into the daylight plane is 17 feet, five inches, which is less than the 30-foot maximum length of the bases of all triangles intruding into the daylight plane. The daylight plane intrusion and triangle can be found on Sheets A3.0 and A3.1 of the plan set, included as Exhibit A to Attachment A.

Design and Materials

The proposed two-story single-family residence would be a contemporary Craftsman style and blend clean modern lines with warm, durable materials to harmonize with the residential character of Santa Cruz Ave.

The exterior materials would include fiber cement lap siding with metal frame windows. The applicant proposes white siding with contrasting black metal frame windows. The roof material would be gray galvanized standing-seam metal roofing. The entry and garage would consist of a wood single-entry door with sidelights and transom, and a white steel extended panel garage door, respectively. A perspective rendering of the proposed residence can be found on Sheet A0.2 of the plan set, included as Exhibit A to Attachment A.

All second-floor windows would have a minimum sill height of three feet, and all first-floor windows would have a minimum sill height of two feet. The side and rear property lines of the site would have a seven-foot-high wood fence, which would have the potential to alleviate any privacy concerns related to the sill height of windows on the first floor. The portion of the fence within the 20-foot front setback would be limited to four feet, pursuant to condition of approval 2a. The driveway would be moved from the right side of the lot to the left side of the lot. The site plan currently shows pavers in the public-right-of-way although recommended condition of approval 2b would require revised plans with the submittal of the building permit to comply with City standards for all improvements in the public right-of-way. A new lawn area is proposed in the front of the lot and new planting areas on the sides and rear. Additionally, there would be an uncovered deck and patio area in the rear of the lot.

The streetscape along Santa Cruz Ave. consists of single-family residences located in unincorporated San Mateo County along the west side of the street and single-family residences located in the City of Menlo Park on the east side of the street. The neighboring property to the north at 2025 Santa Cruz Ave. is a two-story single-family residence that was granted a use permit in 2012 for the development of a two-story single-family residence located on a substandard lot with regard to lot area and lot width. The neighboring property to the south at 2035 Santa Cruz Ave. is the last property within the City of Menlo Park municipal boundary along Santa Cruz Ave. in the southerly direction and was granted a use permit in 2023 for the development of a two-story single-family residence located on a substandard lot with regard to lot area and lot width. The residence at 2035 Santa Cruz Ave. is currently under construction. The neighboring properties on both sides of 2031 Santa Cruz Ave. have been redeveloped in the recent past with two-story residences, so while there would be a change in the streetscape, this change would align with recent development in the vicinity and keep with the character of the neighborhood.

Trees and Landscaping

The applicant submitted an arborist report (Attachment A, Exhibit C), detailing the species, size, and conditions of on-site and nearby trees. A total of three trees were assessed, including two heritage trees (trees #1 and 3 in the table below). There is one on-site heritage tree (tree #1, a 50-inch Monterey pine) that has already been removed under Criterion 3 (tree health rating). Therefore, there was no appeal period for the heritage tree removal permit. The mitigation plan for the heritage tree removal is the payment of a \$5,000 in-lieu fee because the planned rebuild of the property would significantly reduce the available yard space. The new construction footprint, along with required setbacks, utilities, and access areas, leaves no feasible location to accommodate replacement trees of the required size without creating conflicts with the structure or site functionality. The City Arborist reviewed and approved the heritage tree removal permit and the in-lieu fee has already been paid. One non-heritage tree, tree #2, a 14-inch Olive, has also already been removed for the installation of a new property line fence.

To protect the heritage trees and non-heritage trees on and off site, the arborist report outlines requirements for tree protection fencing during construction as well as necessary pre- and post-construction measures. All recommended tree protection measures identified in the arborist report would be implemented and ensured as part of condition 1h.

ID #	Species	Trunk diameter	Condition	Status	Removal or retention	Location
1	Monterey Pine	50	Poor	Heritage	Remove	On-site
2	Olive	14	Fair	Non-heritage	Remove	Property Line
3	Blue Oak	22.5	Good-Fair	Heritage	Retain	On-site

Correspondence

The applicant indicates they conducted neighborhood outreach. The project description letter details outreach to 705, 725, and 745 Stanford Ave., 8, 10, and 12 Cardinal Ct., and 2021, 2025, 2042, 2043 Santa Cruz Ave. The applicant stated that no comments were received from neighbors. Staff has not received any direct correspondence regarding the proposed project.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with the overall neighborhood. The area immediately surrounding the project site along Santa Cruz Ave. consists of single-family residences that are both single-story and two-story structures. The neighboring properties along both sides of the project site have both recently been redeveloped with two-story residences. The proposal would meet all Zoning Ordinance requirements. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New construction or conversion of small structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Draft Planning Commission Resolution approving the Use Permit
 - Exhibits to Attachment A
 - A. Project Plans
 - B. Project Description Letter
 - C. Arborist Report
 - D. Conditions of Approval
- B. Location Map
- C. Data Table

Report prepared by:
Brian Toy, Associate Planner

Report reviewed by:
Corinna Sandmeier, Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2026-0XX**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT REQUEST TO DEMOLISH AN EXISTING SINGLE-STORY, SINGLE-FAMILY RESIDENCE AND DETACHED GARAGE AND CONSTRUCT A NEW TWO-STORY SINGLE-FAMILY RESIDENCE, ON A SUBSTANDARD LOT WITH REGARD TO LOT WIDTH AND LOT AREA, IN THE R-1-U ZONING DISTRICT, AT 2031 SANTA CRUZ AVENUE.**

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit to demolish an existing single-story, single-family residence and detached garage and construct a new two-story, single-family residence on a substandard lot with regard to minimum lot width and lot area, in the R-1-U (Single-Family Urban Residential) zoning district, (collectively, the “Project”) from Hao Wang (“Applicant”) and Fei Cheng (“Owner”), located at 2031 Santa Cruz Avenue (APN 074-092-250) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the Single-Family Urban Residential (R-1-U) zoning district, which supports single-family residential uses; and

WHEREAS, the Property is substandard with regard to minimum lot width and lot area, in the R-1-U zoning district; and

WHEREAS, two-story residences are allowed to be constructed on a substandard lot, subject to the granting of a use permit; and

WHEREAS, the proposed Project complies with all objective standards of the R-1-U district; and

WHEREAS, the proposed Project was reviewed by the Engineering Division and found to be in compliance with City standards; and

WHEREAS, the Applicant submitted an arborist report, attached hereto as Exhibit C, prepared by Michelia Arboriculture, LLC, which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance, and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review under Class 3 (Section 15303, "New construction or conversion of small structures") of the current California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on February 23, 2026, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of a use permit for the construction of two new two-story residences on a substandard lot is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-U zoning district and the General Plan because two-story residences are allowed to be constructed on substandard lots subject to granting of a use permit.
 - b. The proposed residence would include the required number of off-street parking spaces because two parking spaces would be required at a minimum, and two covered parking spaces are provided in an attached garage.

- c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code, and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the new residences would be located in a multi-family neighborhood.

Section 4. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2025-00043, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 5. Environmental Review. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review under Class 3 (Section 15303, "New construction or conversion of small structures") of the current California Environmental Quality Act (CEQA) Guidelines

Section 6. Severability. If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Principal Planner of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on March 23, 2026, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this ____ day of March, 2026.

PC Liaison Signature

Corinna Sandmeier

Principal Planner
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Arborist report
- D. Conditions of approval

GRAPHIC SYMBOLS

17

ABBREVIATIONS

A.S.F.	ABOVE SUB FLOOR
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ATTN.	ATTENTION
BATHRM.	BATHROOM
BLDG.	BUILDING
BLKG.	BLOCKING
BD.	BOARD
CAB.	CABINETRY
CL.	CENTER LINE
CLG.	CEILING
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CP.	CENTER POINT
C.T.	CERAMIC TILE
DIA.	DIAMETER
DBL.	DOUBLE
DN.	DOWN
DWGS.	DRAWINGS
E.A.	EACH
E.J.	EXPANSION JOINT
ELEV.	ELEVATION
EQ.	EQUAL
EXIST'G	EXISTING
EXT.	EXTERIOR
F.B.O.	FURNISHED BY OWNER
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STRUCTURE
FIN.	FINISH
FLR.	FLOOR
GAUGE	GUAGE
GALV.	GALVANIZED
GL.	GLASS
GLU-LAM.	GLUE LAMINATED
GWB	GYPSSUM WALL BOARD
HOWR	HARDWARE
H.M.	HOLLOW METAL
H.P.	HIGH POINT
HORIZ.	HORIZONTAL
HT.	HEIGHT
I.D.	INSIDE DIMENSION
J.B.	JUNCTION BOX
JT.	JOINT
LAM.	LAMINATED
LAV.	LAUNDRATORY
L.P.	LOW POINT
MECH.	MECHANICAL
MIN.	MINIMUM
MR	MOISTURE RESISTANT
MFL	METAL
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
NTS	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIMENSION
O.H.	OVERHEAD
OPNG	OPENING
OPP.	OPPOSITE
PL.	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWOOD	PLYWOOD
PREFAB	PREFABRICATED
PT.	POINT
PTD.	PAINTED
QTY.	QUANTITY
R	RISER
RAD.	RADIUS
R.D.	ROOF DRAIN
REF.	REFERENCE
REG.	REGISTER
REINF.	REINFORCING
REQ'D	REQUIRED
RET.	RETURN
RM	ROOM
R.O.W.	RIGHT OF WAY
R.W.L.	RAIN WATER LEADER
SCHED.	SCHEDULE
SIM.	SIMILAR
SQ.	SQUARE
S.M.D.	SEE MECHANICAL DRAWINGS
S.S.D.	SEE STRUCTURAL DRAWINGS
S-STL.	STAINLESS STEEL
STD.	STANDARD
STL	STEEL
SUSP.	SUSPENDED
T	TREAD
T.B.D.	TO BE DETERMINED
T.O.	TOP OF
T.O.P.	TOP OF PARAPET
T.O.C.	TOP OF CONCRETE
T.O.W.	TOP OF WALL
THK.	THICK
VAR.	VARIABLE
VCT	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD
W.C.	WATER CLOSET
WD	WOOD

9

GENERAL NOTES & CONDITIONS

C O N T R A C T

GENERAL CONDITIONS: AIA Document A201, General Conditions for the Performance of the Contract, is hereby incorporated into these drawings and shall be considered as part of the requirements for the work.

EXISTING CONDITIONS: Conditions shown on the drawings are as shown on the original drawings or as observed on the site, but their accuracy is not guaranteed. Contractor shall verify all dimensions and conditions at the site. All discrepancies shall be reported to architect prior to proceeding with the work.

THE CONSTRUCTION DOCUMENTS: are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.

PERMITS: The contractor shall obtain and pay for all fees and permits relating to the project except for the General Building Permit/Plan Check Fees, which is the responsibility of the Tenant.

EXAMINATION OF THE SITE: and portions thereof which will affect this work shall be made immediately by the Contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work. No allowance shall be made for any extra expense to which he may be due because of failure or neglect on his part to make such examinations. Any omissions or omissions, etc. shall be reported to the Architect before proceeding with any work.

WORK PERFORMED: All work listed, shown or implied on any construction document shall be supplied and installed by the Contractor except where noted. The Contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance to manufacturers requirements. Work required under this Contract shall include all labor, materials, equipment, etc., necessary to complete the project. All materials shall be new and unused, unless specifically noted, and be of a quality acceptable by industry standards.

ANY ERRORS, OMISSIONS, OR CONFLICTS: found in the various parts of the construction documents shall be brought to the attention of the Architect and the Tenant before proceeding with the work.

ARCHITECT: Where referenced in notes, Architect shall be HW Architecture. Client shall be referred to as "Tenant."

QUESTIONS: All questions regarding project other during bidding phase or during construction shall be directed to the Architect, HW Architecture, at (951) 464-9364.

C O N S T R U C T I O N

SCHEDULE OF CONSTRUCTION: Contractor shall provide Architect and Tenant with a complete cost breakdown and schedule of construction for this project prior to commencement of work.

BUILDING CODES: All construction work, architectural, mechanical, plumbing, electrical, etc., shall conform to the 2025 Edition of the California Building Code and the latest edition of all governing codes and regulations as adopted by the local agencies. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.

CONSTRUCTION DOCUMENTS: The Contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The Contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.

DETAILS: Details shown are typical. Similar details apply in similar conditions.

DIMENSIONS: All dimensions on construction drawings are to face of structure, e.g., face of stud (F.O.S.), or face of concrete (F.O.C.) unless otherwise noted to be the Center Line of a mullion, a partition, or a column line, etc., or to Face of Finish for clear dimensions. Vertical dimensions are to top of plate or top of subfloor in section or elevation unless otherwise noted.

All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of the Architect. Contractor shall not scale drawings. Questions regarding dimensions shall be brought to the attention of the Architect or Tenant prior to any start of work.

Where locations of windows and doors are not dimensioned they shall be centered on the wall or placed two stud widths from adjacent wall as indicated on the drawings.

Window sizes and door head heights are nominal dimensions. Refer to manufacturer for actual opening sizes.

5

PROVIDED: The use of the word "provided" in connection with any item specified is intended to mean that such item shall be furnished, installed, and connected where so required, except as noted.

MATERIALS: All materials for use on a project shall be stored within the project site.

PROTECTION OF NEW MATERIALS: Contractor shall protect new materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public as required during the period of construction. Damage to new materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with Architect and/or Tenant prior to commencement of work.

SUBSTITUTIONS: Substitutions, revisions or changes must have approval by the architect prior to proceeding with the work.

MATERIAL TRANSITIONS: All changes in floor materials occur at centerline of door or framed opening unless otherwise indicated on the drawings.

DAMAGE: The Contractor shall repair or replace any surface or items damaged by construction to the satisfaction of the Architect and Tenant.

PATCHING: Properly prepare all surfaces for receiving the specified finishes including patching of surfaces altered by construction. On patched areas or areas where a finish is not specified, the finish shall match adjacent material in construction, color, and texture.

WATERPROOFING: Sealant, caulking, and flashing, etc., locations shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendations and standard industry and building practices.

VENTILATION: All attics, rafter spaces, soffits, crawl spaces, etc., shall be fully ventilated.

WOOD BACKING: Provide wood backing for all towel bars, etc.

INSULATION: Install batt insulation between studs and joists at all exterior walls, ceilings, and floors where exposed, except where shown on the drawings. Verify with Title 24 Report for compliance when appropriate.

ELECTRICAL, MECHANICAL AND PLUMBING: All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the National Board of Fire Underwriters, the Presidio Fire Marshall, The Safety Orders of the Division of Industrial Safety, and any applicable state or local laws and ordinance. Nothing on these drawings is to be construed to permit work not conforming to these codes. Any questions regarding installations shall be brought to the Architect for clarification.

CONSTRUCTION DEBRIS: The Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting in any way, finished areas in or outside the job site.

CONTRACTOR'S PRESENCE: Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the Contractor's behalf, continuously on site during working hours.

C L O S E O U T

REVIEW PROJECT: Contractor shall review project with Architect and/or Tenant to ensure that all requirements of the contract documents have been followed.

CERTIFICATES AND NOTICES: Contractor shall obtain all required certificates and notices.

CLEAN AND READY FOR USE: All work performed shall be clean and ready for use.

PUNCHLIST: Upon SUBSTANTIAL COMPLETION, the CONTRACTOR shall compile a project punch list noting any corrections or omissions for review by the architect and Tenant or Tenant's representative. Architect's acceptance will be cause for final payment, unless specifically determined otherwise by Tenant.

WARRANTIES: The Contractor shall guarantee that the project will be free of defects of workmanship and materials for a period of one year from the date of acceptance from the owner. No work defective in construction or quantity or deficient in any requirement of the drawings or notes will be acceptable in consequence of the Tenant's or Architect's failure to discover or point out defects or deficiencies during construction. Defect of workmanship or materials revealed within a period of one year from the date of acceptance shall be replaced by work conforming with the intent of the contract at no cost to the Tenant. No payment, partial or final, shall be construed as acceptance of defective work or improper materials.

HW ARCHITECTURE

20111 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
howang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND CORRECTIONS AND INSTRUMENTS OF SERVICE PREPARED BY THE CONSULTANT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON AND PROPRIETARY RIGHTS IN ANY INSTRUMENTS OF SERVICE.

2031 SANTA CRUZ
2031 SANTA CRUZ AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
FEI CHENG
2031 SANTA CRUZ AVE
MENLO PARK
CALIFORNIA
94025

FOR PLANNING PERMIT
DATE FEB 23 2025
SCALE AS NOTED
DRAWN BY HW-A3
JOB NUMBER
SEAL
REVISIONS
A-2025

GENERAL NOTES

A0.1



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THEREIN.

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CALIFORNIA
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PROPERTY OWNERS
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2031 SANTA CRUZ AVE
MENLO PARK
CALIFORNIA
94025

FOR _____
PLANNING PERMIT _____
DATE _____
FEB 23 2025 _____
SCALE _____
AS NOTED _____
DRAWN BY _____
DWG NO _____
JOB NUMBER _____
SHEET _____
REVISIONS _____

PERSPECTIVE RENDERING

A0.2



1 PERSPECTIVE RENDERING, FACING SANTA CRUZ AVE
Scale: N/A



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hbowang@hw-arch.com
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2031 SANTA CRUZ

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MENLO PARK
CALIFORNIA
94025

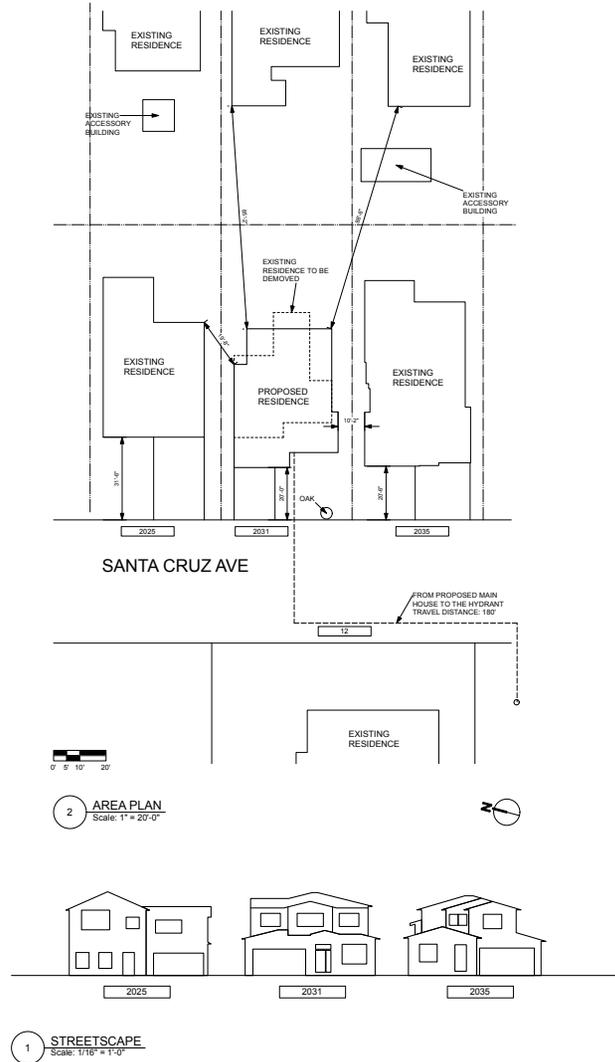
PROPERTY OWNERS

FEI CHENG
2031 SANTA CRUZ AVE
MENLO PARK
CALIFORNIA
94025

FOR _____
PLANNING PERMIT _____
DATE _____
FEB 23 2025 _____
SCALE _____
AS NOTED _____
DRAWN BY _____
HW & H _____
JOB NUMBER _____
SHEET _____
REVISIONS _____

AREA PLAN & STREETSCAPE

A0.3



IMPERVIOUS AREA WORKSHEET

Page 1 of 2

Return this completed form, with plan set, to the City of Menlo Park Engineering Division.

Date:	12/12/2025	APN:	074-092-250
Property Address:	2031 Santa Cruz Ave, Menlo Park, CA 94025		
Project Description:	DEMO THE EXISTING SINGLE-FAMILY HOUSE AND THE DETACHED GARAGE - REMOVE AN EXISTING PINE TREE IN THE REAR YARD - CONSTRUCT A NEW 2-STORY SINGLE-FAMILY HOUSE WITH AN ATTACHED ADU		
Contact Name:	Hao Wang		
Contact Telephone Number:	925-464-9364		
Contact Email:	haowang@hw-arch.com		
Title And Sheet of Submitted Drawing used For Calculations:	A2.1-B (N) SITE PLAN SQUARE-FOOTAGE CALCULATION PLAN		
Land Use (Circle One):	<input checked="" type="radio"/> Residential <input type="radio"/> Commercial <input type="radio"/> Industrial <input type="radio"/> Professional <input type="radio"/> Roadway		
Drainage Basin (Circle One):	<input checked="" type="radio"/> Adheron Creek <input type="radio"/> San Francisco Creek <input type="radio"/> San Francisco Bay <small>(See the Hydrology Report Requirements for a Drainage Basin map.)</small>		
I certify that the calculations below accurately reflect the proposed changes and final impervious surfaces for the above project.			
Calculations Performed By (Print):	Hao Wang		
Title:	Architect		
Calculations Performed By (Signature):	<i>HAO WANG</i>		
Date:	12/12/2025		

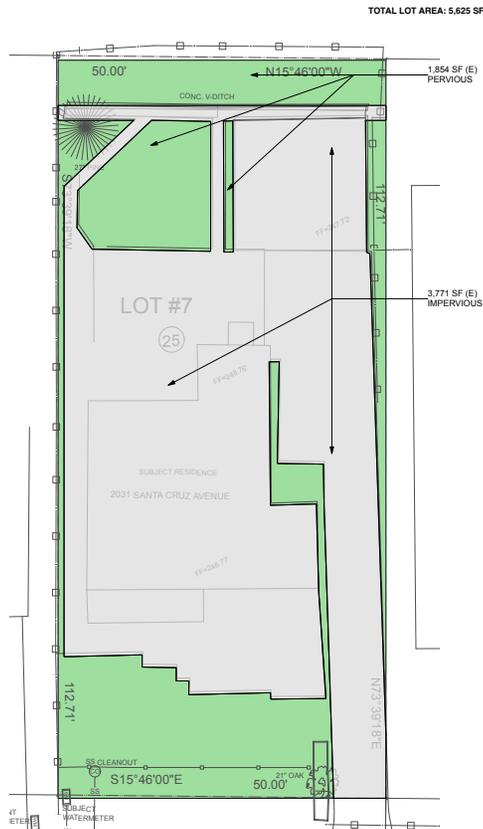
Y:\sig\314\Administration\Development Services\Single Lot\G&D Guidelines\Attachments\Impervious Area Worksheet.doc Page 11

IMPERVIOUS AREA WORKSHEET

Page 2 of 2

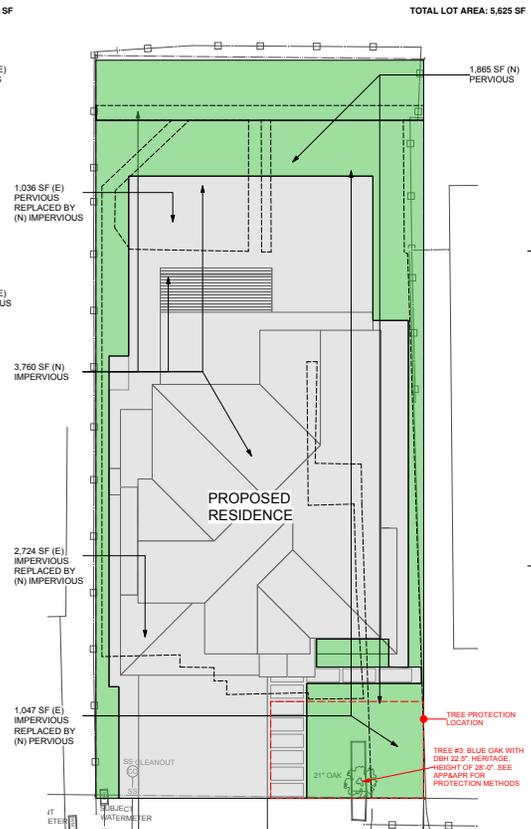
IMPERVIOUS AREA CALCULATION			
Total Area of Parcel	=	A	5,625 sq. ft.
Existing Pervious Area	=	B	1,854 sq. ft.
Existing Impervious Area	=	C	3,771 sq. ft.
Existing % Impervious	=	$C \div A \times 100 = D$	67 %
Existing Impervious Area To Be Replaced W/ New Impervious Area	=	E	2,724 sq. ft.
Existing Pervious Area To Be Replaced W/ New Impervious Area	=	F	1,036 sq. ft.
New Impervious Area (Creating and/or Replacing)	=	E + F = G	3,760 sq. ft.
If G is greater than 10,000 square feet, a hydrology report shall be submitted to Engineering.			
Existing Impervious Area To Be Replaced W/ New Pervious Area	=	H	1,047 sq. ft.
Net Change In Impervious Area	=	F - H = I	-11 sq. ft.
<small>Input negative (-) number if the F (net change) is negative</small>			
Proposed Pervious Area	=	B - I = J	1,865 sq. ft.
Proposed Impervious Area	=	C + I = K	3,760 sq. ft.
Verify that J + K = A			
Proposed % Impervious	=	$K \div A \times 100 = L$	66.8 %

Y:\sig\314\Administration\Development Services\Single Lot\G&D Guidelines\Attachments\Impervious Area Worksheet.doc Page 12



SANTA CRUZ AVE

2 (E) SITE PLAN
Scale: 1/8" = 1'-0"



SANTA CRUZ AVE

1 (N) SITE PLAN / ROOF PLAN
Scale: 1/8" = 1'-0"



HW ARCHITECTURE

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2031 SANTA CRUZ AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
FEI CHENG
2031 SANTA CRUZ AVE
MENLO PARK
CALIFORNIA
94025

FOR PLANNING PERMIT
DATE: FEB 23 2026
SCALE: AS NOTED
DRAWN BY: SHW/SL
JOB NUMBER: 2504
REVISIONS:

(N) SITE PLAN
SQUARE-FOOTAGE
CALCULATION PLAN

A0.4



2011 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9364

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PROPERTY OWNERS
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CALIFORNIA
94025

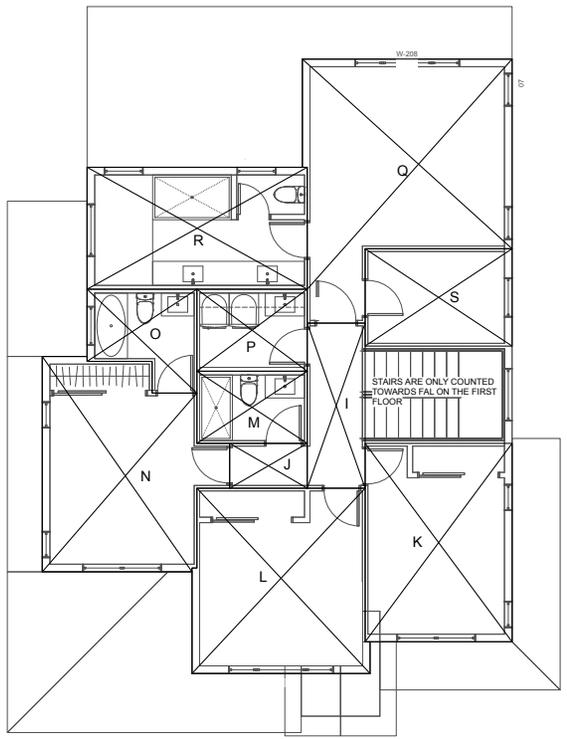
FOR _____
PLANNING PERMIT _____
DATE _____
FEB 23 2025 _____
SCALE _____
AS NOTED _____
DRAWN BY _____
HW & S _____
JOB NUMBER _____
SHEET _____
REVISIONS _____

(N) FLOOR AREA & BUILDING COVERAGE

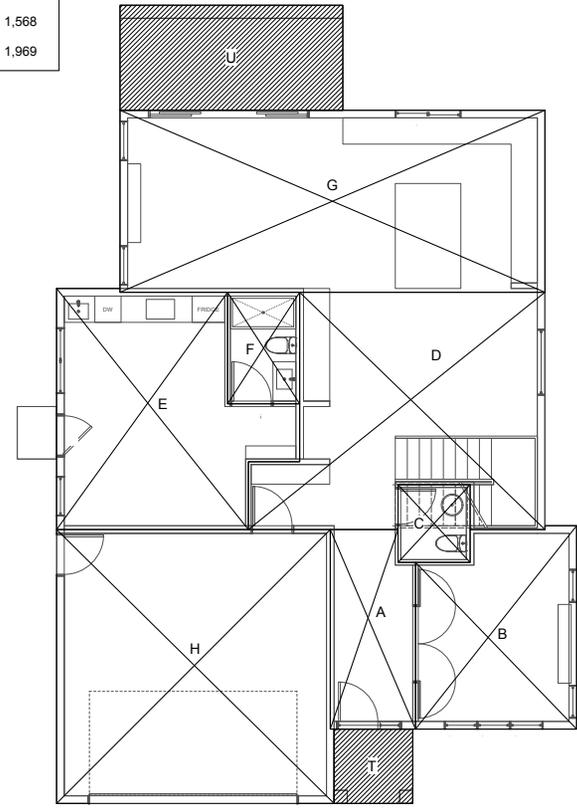
A0.5

*ACTUAL SF: THE ACTUAL SQUARE FOOTAGE IS BASED ON THE COMPUTING CALCULATION OF THE ACTUAL SHAPE OF THE SPACE. IT IS NOT DIRECTLY COMPUTED BY THE LARGEST LENGTH AND WIDTH OF THE SPACE NOTED ON THE DIMENSIONS

FLOOR AREA LIMIT CALCULATION			AREA			BUILDING COVERAGE CALCULATION		
AREA	DIMENSIONS	ACTUAL SF	AREA	DIMENSIONS	ACTUAL SF	AREA	DIMENSIONS	ACTUAL SF
A	15'x6.8'	96	O	8'4"x7'11"	54	E - ADU	16'x17.25'	270
B	15'x11'	177	P	8'5"x6'3"	53	F - ADU	5'x8'	46
C	5.5'x6'	33	Q	16'x20'1"	254	T - PORCH	6'x5'8"	34
D	18'x21'	340	R	16'9"x9'4"	156	U - DECK	8'x37'3"x4'10"x13'7"	136
G	32'x13'	450	S	11'2"x7'5"	83			
H - GARAGE	20'x21'.85'	438				ADU (E+F)		316
I	4'5"x12'7"	55	TOTAL FLOOR AREA		2,799	1ST FLOOR (A+B+C+D+G+H)		1,534
J	5'11"x3'5"	20	FLOOR AREA LIMIT		2,800	TOTAL BUILDING COVERAGE (A+B+C+D+G+H+T)		1,568
K	11'2"x16'2"	169				MAX. ALLOWED = (5,625 X 35%)		1,969
L	13'7"x14'1"	185						
M	8'5"x5'6"	46						
N	12'x16'5"	190						



6 2ND FLOOR SQUARE-FOOTAGE CALCULATION PLAN
Scale: 1/4" = 1'-0"



5 1ST FLOOR SQUARE-FOOTAGE CALCULATION PLAN
Scale: 1/4" = 1'-0"

BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 7 OF BLOCK 7 OF THE MAP OF "UNIVERSITY PARK",
 PORTION OF RECORD SURVEY MAP, FILED AT, MAP BOOK 4, PAGE 28
 SAN MATEO COUNTY RECORDS
 CITY OF MENLO PARK, SAN MATEO COUNTY, CALIFORNIA

AUGUST 2025

BASIS OF SURVEY

THE OWNER'S DEED, ALONG WITH THE FOLLOWING MAPS
 UNIVERSITY PARK PORTN. OF RSM 4/28

PROJECT BENCHMARK

SET NAIL ON CENTERLINE OF SANTA CRUZ AVENUE
 TAKEN AS AN ASSUMED DATUM WITH AN ELEVATION
 OF 250.00' AS SHOWN.

NOTES

- UTILITY INFORMATION IS COMPILED FROM SURFACE FEATURES AND RECORD DATA, ACCURACY AND COMPLETENESS IS NOT GUARANTEED.
- THERE ARE NO KNOWN HORIZONTAL & VERTICAL CURVES WITHIN 300' OF SUBJECT PROPERTY.
- ELEVATIONS ARE BASED ON PROJECT BENCH MARK AS SHOWN.

PUBLIC ADVISORY

THE MAP WAS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE COUNTY OF SAN MATEO AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE COUNTY OF ALAMEDA THAT THIS MAP AND THE SURVEY INFORMATION ON WHICH IS BASED IS CORRECT, ACCURATE, AND CURRENT, NOR THAT THE COUNTY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE COUNTY, INCLUDING ALLEGED OR ACTUAL DISCREPANCIES, INACCURACIES, DEFICIENCIES, AND ERRORS.

BASIS OF BEARINGS:

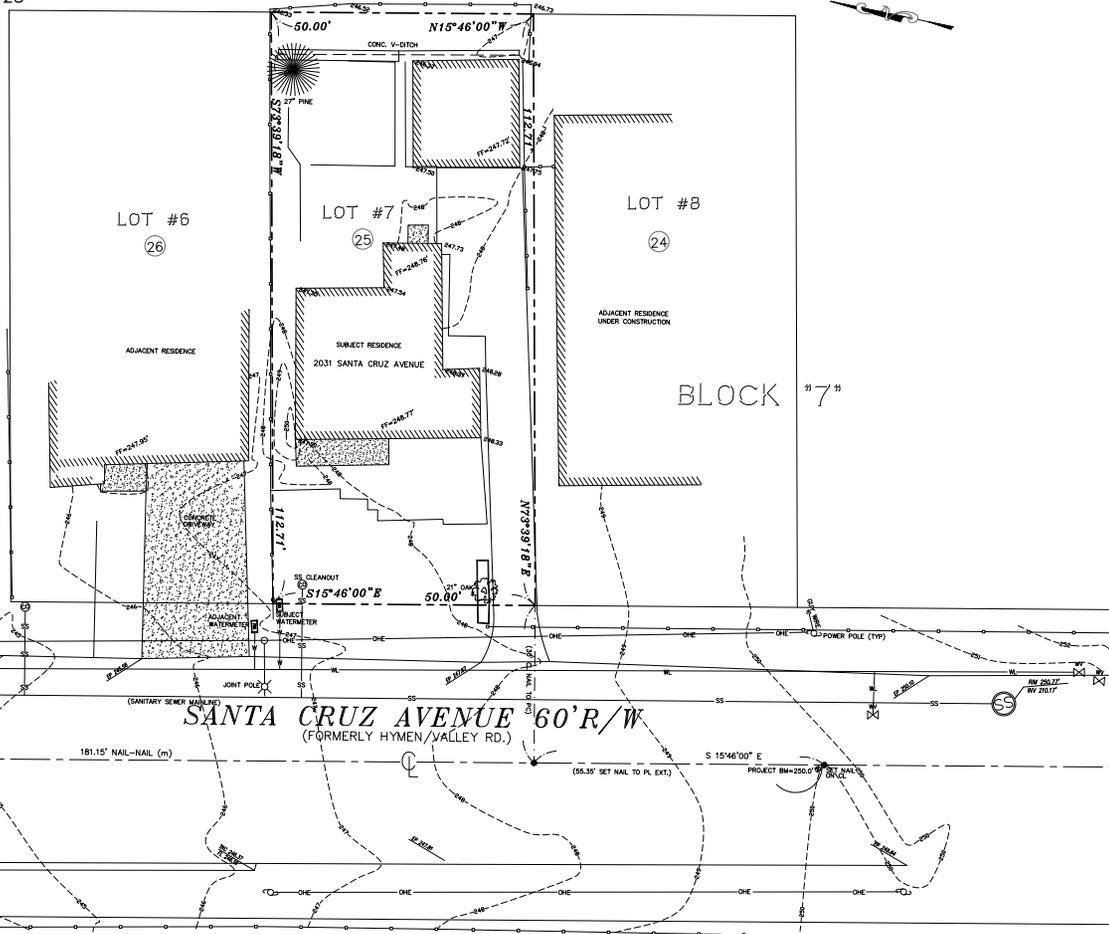
NO CITY MONUMENTS WERE FOUND IN THE AREA. THE CENTERLINE OF SANTA CRUZ AVENUE, BETWEEN THE SHOWN SET NAILS TAKEN AS AS S15°46'00"E PER (C.M. 28).

LEGEND:

- EXISTING PROPERTY LINE
- - - OLD LOT LINES
- - - SUBDIVISION LINES
- STREET CENTER LINE
- EXISTING WOOD FENCE
- EXISTING CYCLONE FENCE
- WROUGHT IRON FENCE
- ASSESSOR'S LOT NO.
- CONCRETE WALK
- SUBDIV. LOT NO.
- BUILDING WALL

ABBREVIATIONS:

- PL PROPERTY LINE
- PC PROPERTY CORNER
- LN LINE
- MON MONUMENT
- EXT EXTENSION
- TC TOP OF CURB
- FL FLOW LINE
- SS SANITARY SEWER
- SD STORM DRAIN
- MH MAN HOLE
- (?) RECORD INFORMATION
- OVERHEAD ELECTRIC
- ONE
- TRC TOP ROLLING CURVE



OAK DELL DRIVE 60'R/W

SURVEYOR'S STATEMENT

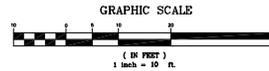
THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF **FEI CHENG** IN JULY 2025.

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH AND THAT THE GRADES SHOWN HEREON ARE BASED ON CITY OF SAN MATEO DATUM.

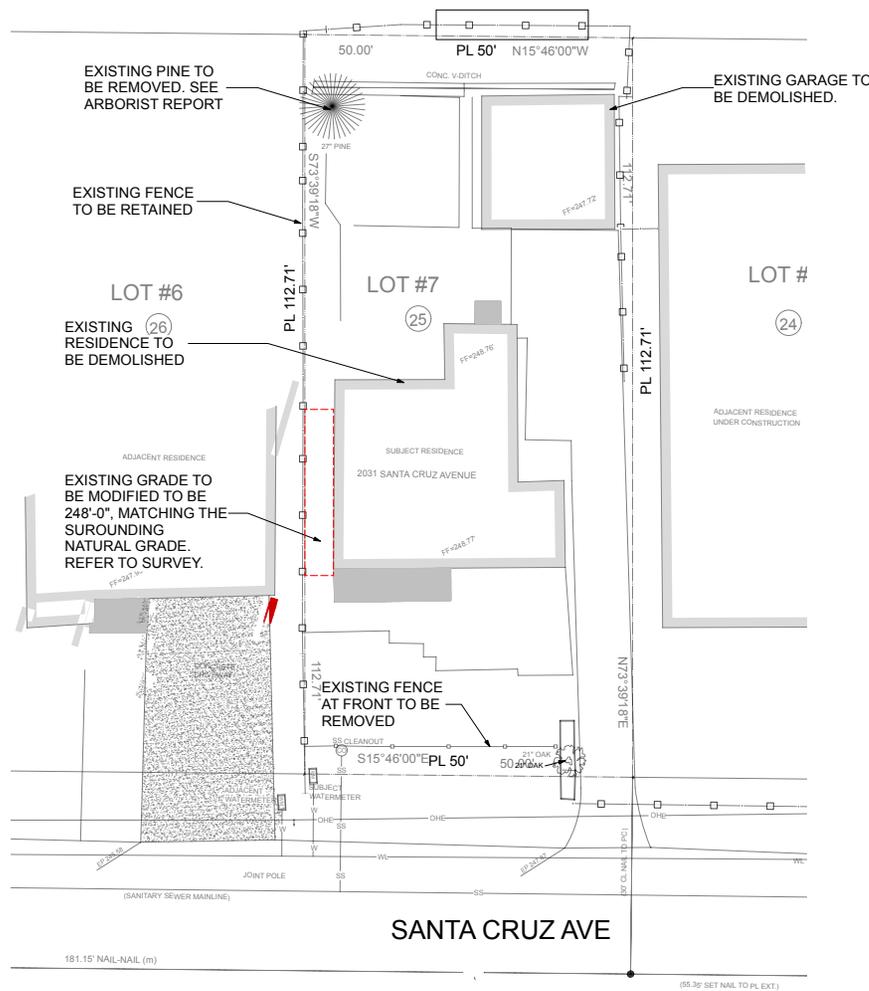
I FURTHER STATE ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE LAND SURVEYORS ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A RECORD OF SURVEY BE FILED.

Hendrik Van De Pol
 DATE: 08/26/2025
 HENDRIK VAN DE POL, R.C.E. 15472
 EXPIRATION DATE: MARCH 31, 2027



SCALE: 1"=10' SHEET 1 OF 1



1 (E) SITE PLAN
Scale: 1/8" = 1'-0"



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CALIFORNIA
94025

FOR	_____
PLANNING PERMIT	_____
DATE	_____
FEB 23 2025	_____
SCALE	_____
AS NOTED	_____
DRAWN BY	_____
HW & S	_____
JOB NUMBER	_____
SEEA	_____
REVISIONS	_____

(E) SITE PLAN

A1.0



EXISTING MAIN HOUSE LEFT



EXISTING MAIN HOUSE FRONT



2 STREET VIEW
Scale: Actual Size



EXISTING MAIN HOUSE RIGHT



EXISTING MAIN HOUSE REAR



EXISTING GARAGE FRONT



EXISTING GARAGE LEFT



1 FRONT VIEW
Scale: Actual Size



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PLANNING PERMIT _____
DATE _____
FEB 23 2025 _____
SCALE _____
AS NOTED _____
DRAWN BY _____
REV & AS _____
JOB NUMBER _____
SHEET _____
REVISIONS _____

(E) ELEVATIONS
PHOTOGRAPHS

A1.1

Tree Protection Legend

- ① Tree tag numbers
- 🌳 Canopy dripline by arborist
- 📝 Tree inventory notes, for reference only
- 🛡️ Tree protection recommendations
- 🔗 Temporary protection fencing
- ⊗ Non-surveyed tree locations by arborist (not to scale)
- ✗ Proposed tree removals
- 🚶 Anticipated high traffic area requiring protection

Required English & Spanish signage; attach to tree protection fencing

WARNING TREE PROTECTION AREA

ONLY AUTHORIZED PERSONNEL MAY ENTER THIS AREA

No excavation, trenching, material storage, cleaning, equipment access, or dumping is allowed behind this fence.

Do not remove or relocate this fence without approval from the project arborist. This fencing must remain in its approved location throughout demolition and construction.

Project Arborist contact information:

Name: _____
 Business: _____
 Phone number: _____

ADVERTENCIA: ÁREA DE PROTECCIÓN DE ÁRBOLES

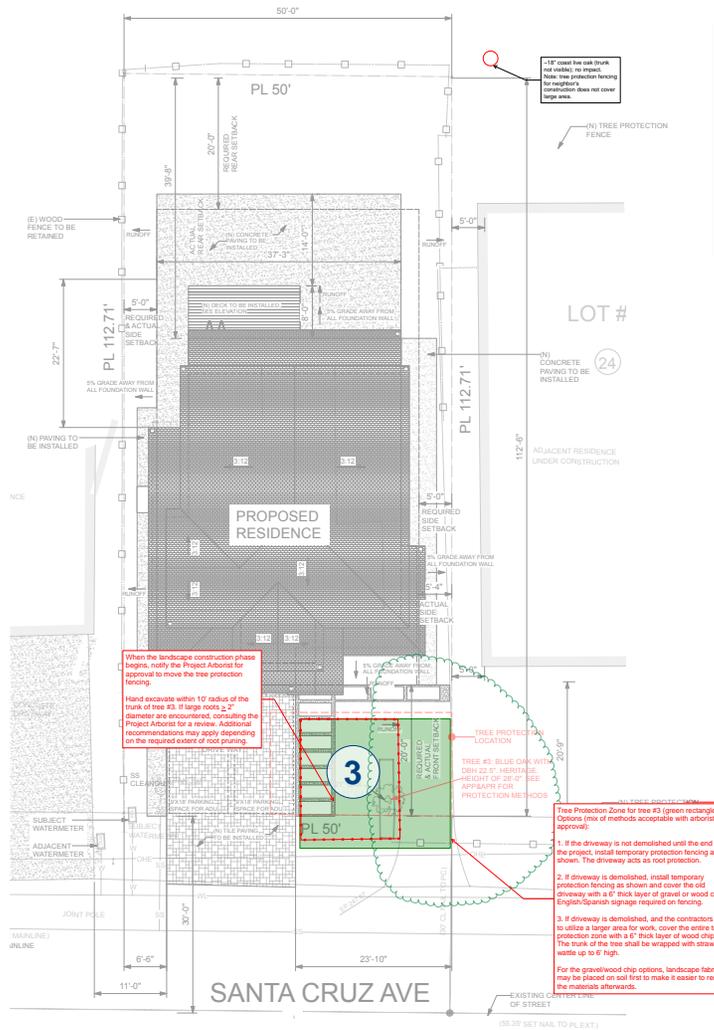
SÓLO EL PERSONAL AUTORIZADO PUEDE INGRESAR A ESTA ÁREA

No se permite la excavación, zanjas, almacenamiento de materiales, limpieza, acceso de equipos, o vertido de residuos detrás de esta cerca.

No retire ni realíe esta cerca sin la aprobación del arborista del proyecto. Esta cerca debe permanecer en su ubicación aprobada durante todo el proceso de demolición y construcción.

Información de contacto del arborista de este proyecto:

Nombre: _____
 Empresa: _____
 Número de teléfono: _____



ID	Species	DBH (in)	Status	Height (ft)	Health	Structure	Drillings (NE/SW, ft)	Appraised Value	Notes & Impact	Actions
1	Monterey pine (Pine) (redlist)	50	Heritage							Removed with permit HTR2025-00138
2	Olive (Olea europaea)	+14	Co-owner?							Removed for new property line fence
3	Blue oak (Quercus douglas)	22.5	Heritage	28	Good-Fair	Fair-Poor	0, 20, 24, 15	\$4,790.00	Pruned in several directions with 5 cuts, especially north and northwest. 7\"/>	

Tree Protection Recommendations
 PLEASE NOTE: Once the project is approved with the tree protection recommendations outlined in this report, any changes to the protection measures must be approved by the City Arborist.

- Design Phase**
- Locate utilities outside of the Tree Protection areas noted on the Tree Protection Plan (i.e. fenced or green highlighted areas).
 - Avoid grading or disturbance within the driplines of tree #3. If disturbance is needed, consult the Project Arborist for recommendations and provide updated plans for arborist review.

- Pre-Demolition Phase**
- Inform all contractors and subcontractors of the significance of protecting the trees, as damages will be evaluated based on their appraised value. A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
 - Inform the Project Arborist of the start date of the project. The City of Menlo Park requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations throughout construction.
 - The City of Menlo Park requires 6' tall chain link fencing mounted on 6' tall, 2\"/>

- Demolition & Construction Phase**
- Demolish the driveway by hand within 3' of the trunk of tree #3.
 - Hand excavate along the proposed walkways within 10' of the trunk of tree #3; consult arborist if roots ≥ 2\"/>

TREE PROTECTION PLAN
For 2031 Santa Cruz Ave, Menlo Park
 September 10, 2025 (revised December 15, 2025)
 By Jennifer Tso, BCMA #WE-10270B
 Michelia Arboriculture, LLC
 925-515-1362 | jennifer@micheliarborist.com

Drawn on site plan by HW Architecture
 (November 24, 2025); trees #1 & 2 removed.



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SHEET
REVISIONS

TREE PROTECTION
RECOMMENDATIONS

TPR

Proposed Issues at 2031 Santa Cruz Ave, Menlo Park September 10, 2025 (revised December 10, 2025)
0114-001 Page 6



HUMAN TREE PROTECTION AREA
ONLY AUTHORIZED PERSONNEL MAY ENTER THIS AREA

No excavation, trenching, material storage, chaining, equipment access, or dumping is allowed within this area.

Do not remove or relocate this fence without approval from the project arborist. This fencing must remain in its approved location throughout demolition and construction.

Project arborist contact information:
Name: Jennifer Tsao
Phone Number: 925-515-1362

ADVERTENCIA: AREA DE PROTECCIÓN DE ÁRBOLES
SÓLO EL PERSONAL AUTORIZADO PUEDE INGRESAR A ESTA AREA

No se permite la excavación, zanjas, almacenamiento de materiales, reparación, acceso de equipo, o vertido de materiales dentro de esta zona.

No retirar ni reubicar esta cerca sino la aprobación del arborista del proyecto. Esta cerca debe permanecer en su ubicación aprobada durante todo el proceso de demolición y construcción.

Información de contacto del arborista de este proyecto:
Nombre: Jennifer Tsao
Número de teléfono: 925-515-1362

Figure 2. English and Spanish signage must be attached to the tree protection fencing.

Michalee Architecture, LLC | 520-515-1362 | jennifer@micheelarchitecture.com

Proposed Issues at 2031 Santa Cruz Ave, Menlo Park September 10, 2025 (revised December 10, 2025)
0114-001 Page 7

Demolition & Construction Phase

- Demolish the driveway by hand within 3' of the trunk of tree #3.
- Hand excavate along the proposed walkways within 10' of the trunk of tree #3; consult arborist if roots \geq 2" diameter are encountered. Additional recommendations may be provided based on root encroachment.
- In general, if root or branch pruning is needed, the pruning must be supervised by the Project Arborist.
- At any time, if damage occurs to any tree, immediately consult the Project Arborist for recommendations on how to mitigate the damage.
- When construction is completed but before fencing is removed, contact the City Arborist for a final inspection.

A Tree Protection Plan accompanies this report. If it is missing, please email me for a copy. Should you have any questions or need clarification, please reach out at any time.

Sincerely,

Jennifer Tsao, Michalee Arboriculture, LLC
Board Certified Master Arborist #WE-10270B
Registered Consulting Arborist #879
925-515-1362 | jennifer@micheelarborist.com

Michalee Architecture, LLC | 520-515-1362 | jennifer@micheelarchitecture.com

Proposed Issues at 2031 Santa Cruz Ave, Menlo Park September 10, 2025 (revised December 10, 2025)
0114-001 Page 8

Tree Protection Recommendations

PLEASE NOTE: Once the project is approved with the tree protection recommendations outlined in this report, any changes to the protection measures must be approved by the City Arborist.

Design Phase

- Locate utilities outside of the Tree Protection areas noted on the Tree Protection Plan (i.e. fenced or green highlighted areas).
- Avoid grading or disturbance within the driplines of tree #3. If disturbance is needed, consult the Project Arborist for recommendations and provide updated plans for arborist review.

Pre-Demolition Phase

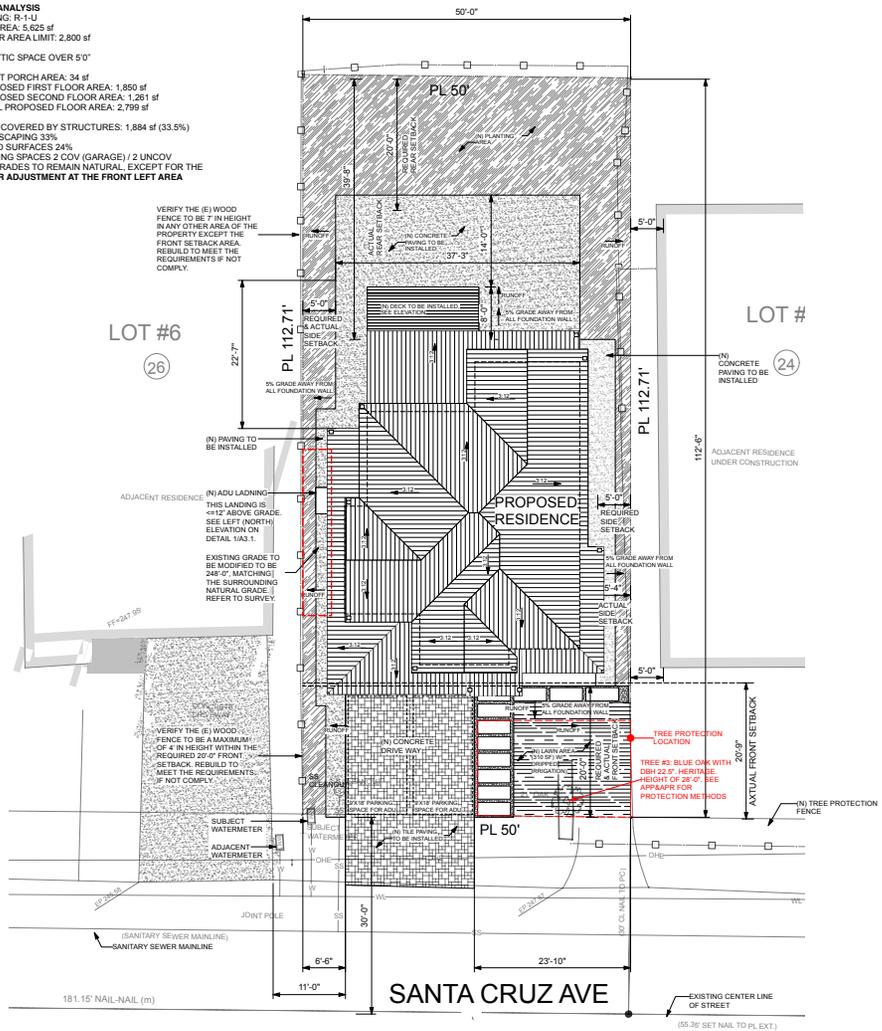
- Inform all contractors and subcontractors of the significance of protecting the trees, as damages will be evaluated based on their appraised value. A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
- Inform the Project Arborist of the start date of the project. The City of Menlo Park requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations throughout construction.
- The City of Menlo Park requires 6' tall chain link fencing mounted on 8' tall, 2" diameter galvanized posts, driven 24" into the ground and spaced no more than 10' apart. Signage must be attached to the temporary tree protection fencing to clarify its purpose. The City's signs are attached as an exhibit (Figure 2).
 - For tree #3, a mix of options may be used – refer to the Tree Protection Plan for the Tree Protection Zone where these protection measures apply.
 - If the driveway is not demolished until the end of the project, install temporary protection fencing around the front landscape area.
 - If driveway is demolished, install temporary fencing and cover the old driveway with a 6" thick layer of gravel or wood chips.
 - If driveway is demolished, and the contractors need a larger area for work, cover the entire Tree Protection Zone with a 6" thick layer of wood chips. The trunk of the tree shall be wrapped with straw wattle up to 6' high.
 - For the gravel/wood chip options, landscape fabric may be placed on soil first to make it easier to remove the materials.
 - Once completed, the Project Arborist must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- The tree protection measures are to remain as is throughout the project. To modify the protection measures, contact the Project Arborist to submit a request in writing to the City. Only the City Arborist can authorize removal of the protection measures at the end of the project.

Michalee Architecture, LLC | 520-515-1362 | jennifer@micheelarchitecture.com

SITE ANALYSIS
 ZONING: R-1-U
 LOT AREA: 5,625 sf
 FLOOR AREA LIMIT: 2,800 sf
 NO ATTIC SPACE OVER 5'0"

FRONT PORCH AREA: 34 sf
 PROPOSED FIRST FLOOR AREA: 1,850 sf
 PROPOSED SECOND FLOOR AREA: 1,261 sf
 TOTAL PROPOSED FLOOR AREA: 2,799 sf

LAND COVERED BY STRUCTURES: 1,884 sf (33.5%)
 LANDSCAPING 13%
 PAVED SURFACES 24%
 PARKING SPACES 2 COV (GARAGE) / 2 UNCOV
 ALL GRADES TO REMAIN NATURAL, EXCEPT FOR THE
 MINOR ADJUSTMENT AT THE FRONT LEFT AREA



1 (N) SITE PLAN / ROOF PLAN
 Scale: 1/8" = 1'-0"

FRONTAGE IMPROVEMENTS

- All existing cracked or damaged features along the property frontage must be repaired in kind. All frontage improvement work shall be in accordance with the latest version of the City Standard Details. <https://www.menlopark.org/211/Standard-Details>
- Any frontage improvements which are damaged as a result of construction will be required to be replaced.
- An encroachment permit from the Engineering Division is required prior to any construction activities in the public right of way.



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PLANNING PERMIT	_____
DATE	FEB 23 2025
SCALE	AS NOTED
DRAWN BY	_____
CHK BY	_____
JOB NUMBER	_____
SEA	_____
REVISIONS	_____

(N) SITE PLAN / ROOF PLAN

A2.0



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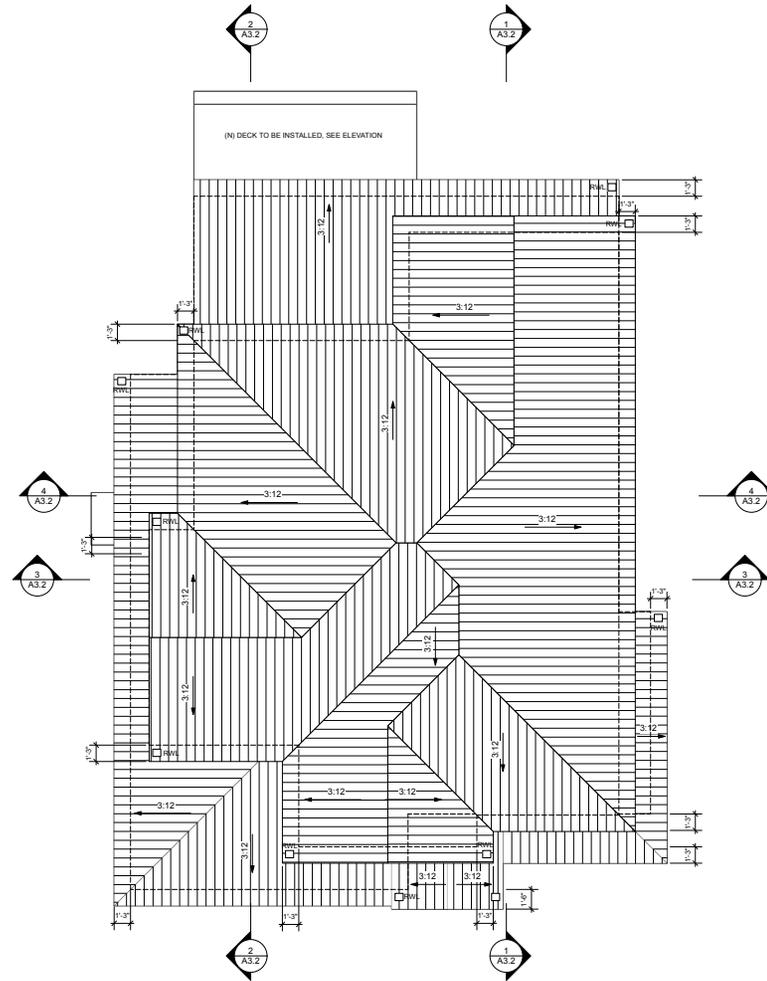
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SCALE _____
AS NOTED _____
DRAWN BY _____
CHK BY _____
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(N) ROOF PLANS

A2.1



1 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"



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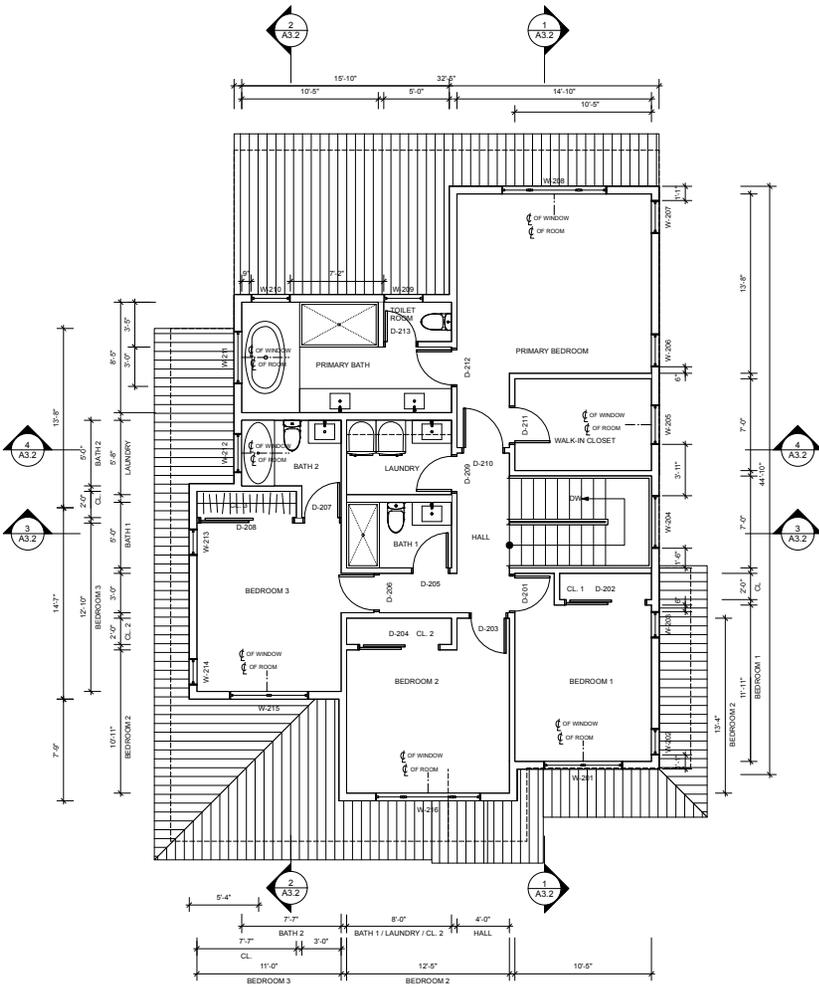
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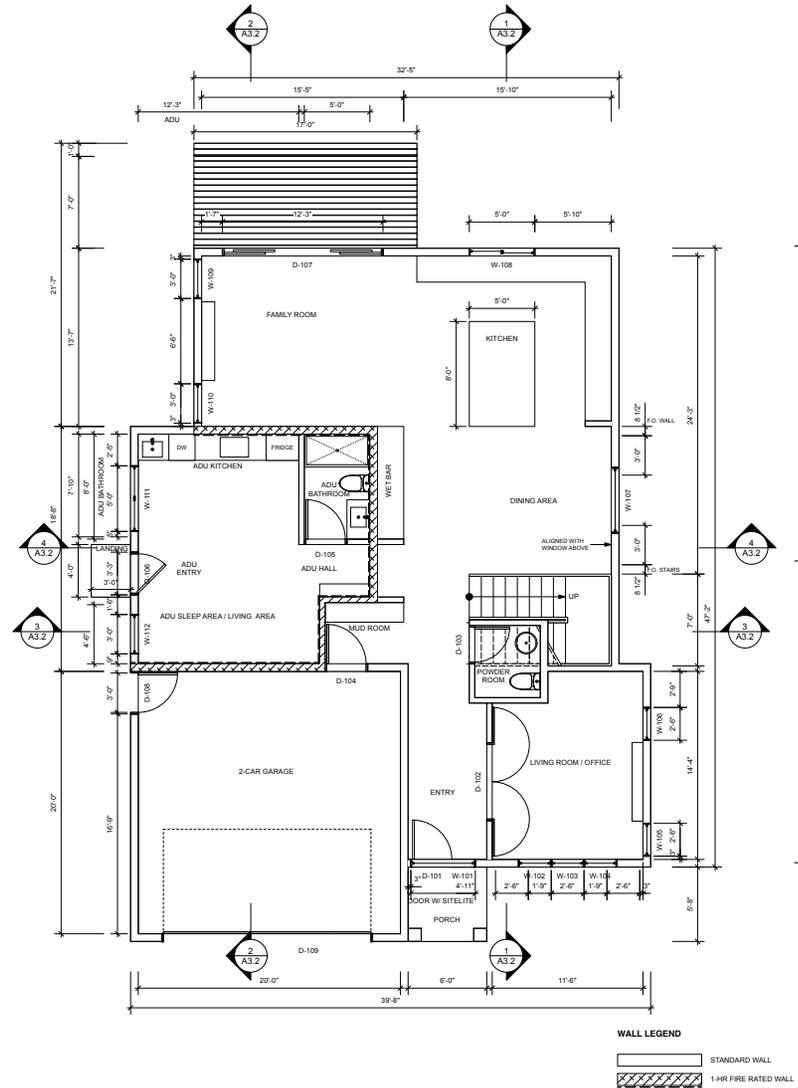
(N) FLOOR PLANS

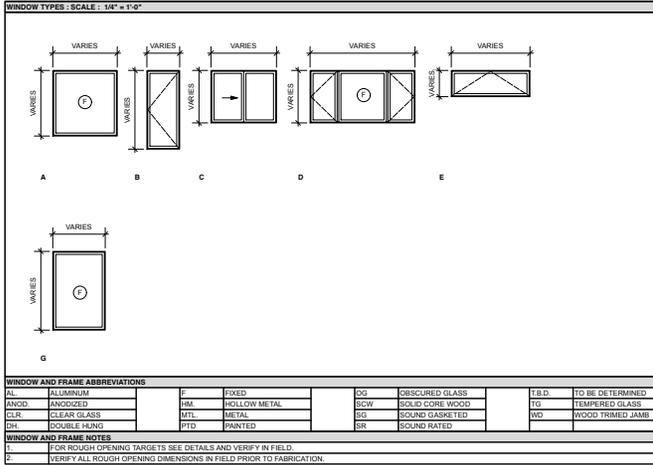
A2.2

2 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

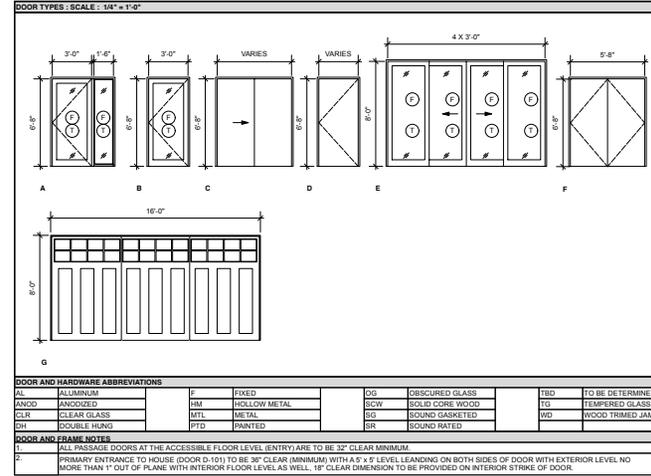


1 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"





10 WINDOW LEGEND



11 DOOR LEGEND

WINDOW NO.	ROOM NAME - NO.	ROUGH OPENING		NOMINAL OPENING		SILL HEIGHT A.F.F.	TYPE	OPERATION	FRAME		GLAZING		REMARKS
		WIDTH	HEIGHT	WIDTH	HEIGHT				MATERIAL	GLASS TYPE	STC	FILM	
FIRST FLOOR													
W-101	ENTRY			5'-0"	7'-8"	SEE ELL.	A	FIXED	ALUM.	CLR.	-	-	
W-102	LIVING ROOM / OFFICE			3'-6"	8'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-103	LIVING ROOM / OFFICE			3'-6"	8'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-104	LIVING ROOM / OFFICE			2'-6"	8'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-105	LIVING ROOM / OFFICE			2'-6"	8'-0"		B	CASEMENT	ALUM.	CLR.	-	-	EGRESS
W-106	LIVING ROOM / OFFICE			2'-6"	8'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-107	DINING AREA			3'-0"	8'-0"		A	FIXED	ALUM.	CLR.	-	-	
W-108	KITCHEN			5'-0"	4'-6"		C	SLIDING	ALUM.	CLR.	-	-	
W-109	FAMILY ROOM			3'-0"	8'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-110	FAMILY ROOM			3'-0"	8'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-111	ADJ. KITCHEN			5'-0"	4'-0"		C	SLIDING	ALUM.	CLR.	-	-	
W-112	ADJ. SLEEP / LIVING AREA			3'-0"	4'-0"		B	CASEMENT	ALUM.	CLR.	-	-	EGRESS
SECOND FLOOR													
W-201	BEDROOM 1			3'-0"	4'-0"		D	SLIDING	ALUM.	CLR.	-	-	EGRESS
W-202	BEDROOM 1			2'-0"	4'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-203	BEDROOM 1			2'-0"	2'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-204	STAIRS			4'-0"	8'-0"		G	FIXED	ALUM.	CLR.	-	-	
W-205	WALK-IN CLOSET			2'-6"	4'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-206	PRIMARY BEDROOM			2'-6"	4'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-207	PRIMARY BEDROOM			2'-6"	4'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-208	PRIMARY BEDROOM			8'-0"	4'-0"		D	CASEMENT + FIXED + CASEMENT	ALUM.	CLR.	-	-	2'-0" CASEMENT TO BE EGRESS
W-209	PRIMARY BATH			3'-0"	3'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-210	PRIMARY BATH			3'-0"	3'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-211	PRIMARY BATH			2'-0"	2'-0"		C	FIXED	ALUM.	CLR.	-	-	
W-212	BATH 2			2'-0"	2'-0"		C	HINGED	ALUM.	CLR.	-	-	
W-213	BEDROOM 3			3'-0"	4'-0"		B	CASEMENT	ALUM.	CLR.	-	-	EGRESS
W-214	BEDROOM 3			3'-0"	2'-0"		B	CASEMENT	ALUM.	CLR.	-	-	
W-215	BEDROOM 3			8'-0"	4'-0"		C	SLIDING	ALUM.	CLR.	-	-	
W-216	BEDROOM 2			8'-0"	4'-0"		D	CASEMENT + FIXED + CASEMENT	ALUM.	CLR.	-	-	2'-0" CASEMENT TO BE EGRESS

12 WINDOW SCHEDULE

DOOR NO.	ROOM NAME - NO.	ROUGH OPENING		NOMINAL SIZE		DOOR STYLE		GLAZING	FRAME MATERIAL	FILM	FIRE / SOUND RATING	REMARKS
		WIDTH	HEIGHT	WIDTH	HEIGHT	TYPE	MATERIAL					
FIRST FLOOR												
D101	ENTRY			3'-0"	8'-8"	A	ALUM.	TG. CLR.	ALUM.	-	-	W/ 1/8" SIELITE
D102	LIVING ROOM / OFFICE			3'-6"	8'-8"	F	WOOD	-	WOOD	-	-	
D103	POWDER ROOM			2'-6"	8'-8"	D	WOOD	-	WOOD	-	-	
D104	MUD ROOM			3'-0"	8'-8"	D	WOOD	-	WOOD	-	-	
D105	ADJ. BATHROOM			3'-0"	8'-8"	D	WOOD	-	WOOD	-	-	
D106	ADJ. ENTRY			3'-0"	8'-8"	B	ALUM.	TG. CLR.	ALUM.	-	-	
D107	FAMILY ROOM			4 X 3'-0"	8'-0"	E	ALUM.	TG. CLR.	ALUM.	-	-	SLIDING
D108	GARAGE			3'-0"	8'-8"	D	WOOD	-	WOOD	-	-	
D109	GARAGE			18'-0"	3'-0"	G	STEEL	-	STEEL	-	-	
SECOND FLOOR												
D201	BEDROOM 1			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D202	BEDROOM 1			8'-0"	8'-8"	C	WOOD	-	WOOD	-	-	
D203	BEDROOM 2			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D204	BEDROOM 2			8'-0"	8'-8"	C	WOOD	-	WOOD	-	-	
D205	BATH 1			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D206	BEDROOM 3			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D207	BATH 2			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D208	BEDROOM 3			8'-0"	8'-8"	C	WOOD	-	WOOD	-	-	
D209	LAUNDRY			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D210	PRIMARY BEDROOM			3'-0"	8'-8"	D	WOOD	-	WOOD	-	-	
D211	WALK-IN CLOSET			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D212	PRIMARY BATH			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	
D213	TOILET ROOM			2'-8"	8'-8"	D	WOOD	-	WOOD	-	-	

13 DOOR SCHEDULE



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PROPERTY OWNERS
FEI CHENG
2031 SANTA CRUZ AVE
MENLO PARK
CALIFORNIA
94025

FOR
PLANNING PERMIT
DATE
FEB 23 2025
SCALE
AS NOTED
DRAWN BY
HW & A
JOB NUMBER
SERIAL
REVISIONS

WINDOW & DOOR
SCHEDULES

A2.3



20111 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
hbowang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS,
COMPUTER FILES, FIELD DATA, NOTES AND
CORRECTIONS AND INSTRUMENTS
PREPARED BY THE CONSULTANT AS
INSTRUMENTS OF SERVICE SHALL REMAIN
THE PROPERTY OF THE CONSULTANT. THE
CONSULTANT SHALL RETAIN ALL COMMON
LAW OR STATUTORY RIGHTS RESERVED
THEREIN.

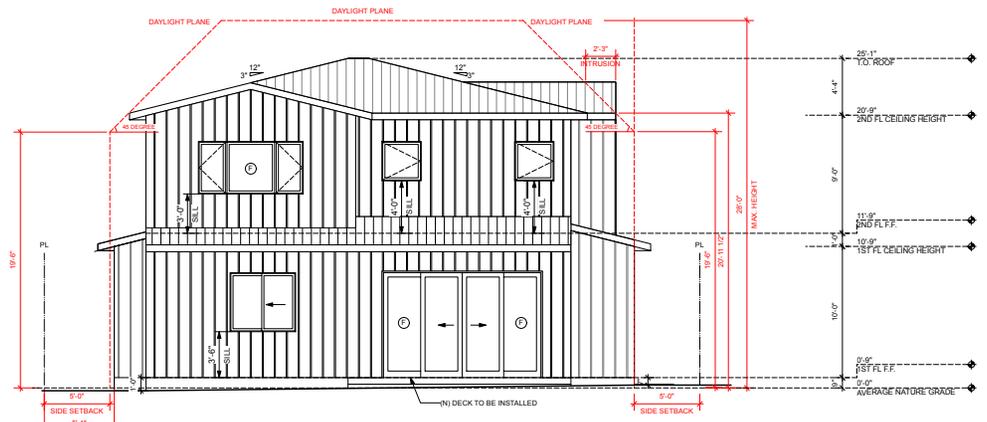
2031 SANTA CRUZ
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CALIFORNIA
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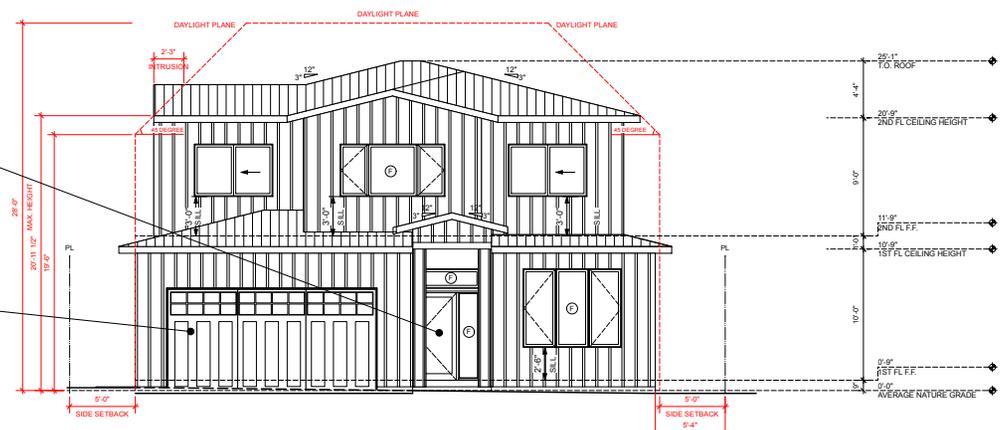
FOR
PLANNING PERMIT
DATE
FEB 23 2025
SCALE
AS NOTED
DRAWN BY
CHK & LS
JOB NUMBER
SERIAL
REVISIONS

(N) ELEVATIONS

A3.0



2 REAR (EAST) ELEVATION
Scale: 1/4" = 1'-0"



1 FRONT (WEST) ELEVATION
Scale: 1/4" = 1'-0"



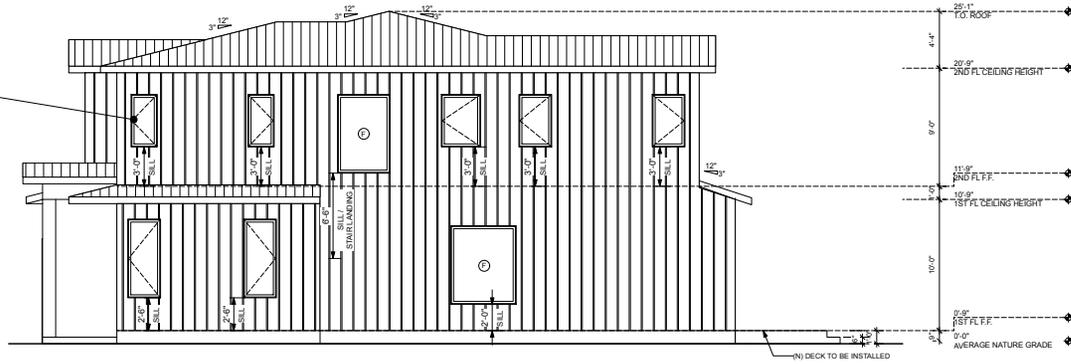
ENTRY DOOR - WOOD SINGLE DOOR WITH
SIDELITES AND TRANSOM



GARAGE DOOR - WHITE BRIDGEPORT
STEEL EXTENDED PANEL GARAGE DOOR
WITH WINDOWS



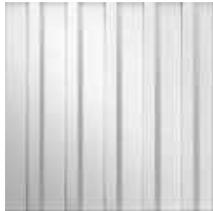
WINDOWS - BLACK METAL (NO GRID)



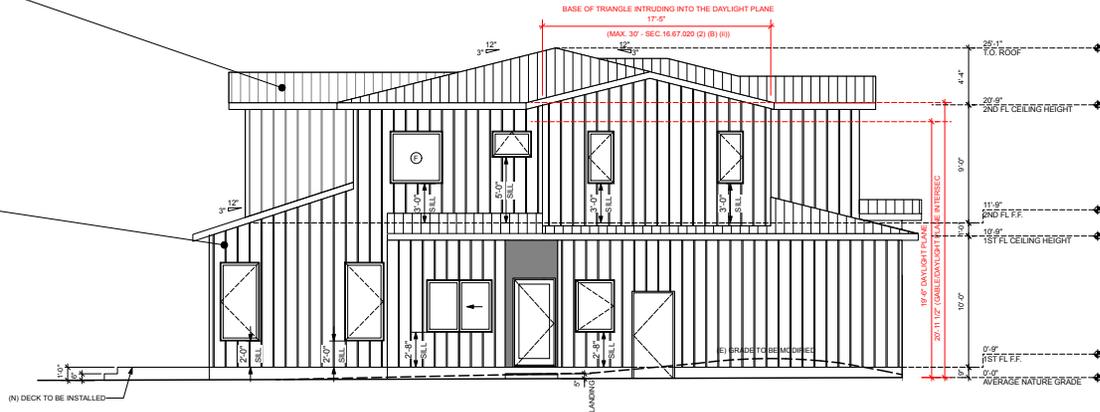
2 RIGHT (SOUTH) ELEVATION
Scale: 1/4" = 1'-0"



METAL ROOF PANEL - GRAY GALVANIZED STEEL



EXTERIOR WALL SIDING - ARCTIC WHITE
JAMES HARDIE



1 LEFT (NORTH) ELEVATION
Scale: 1/4" = 1'-0"



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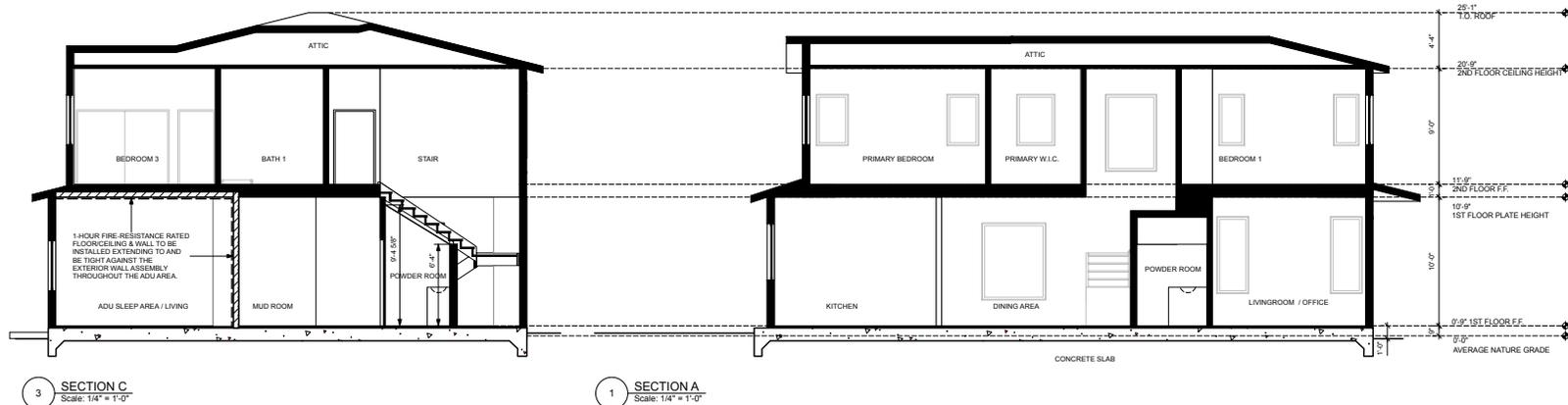
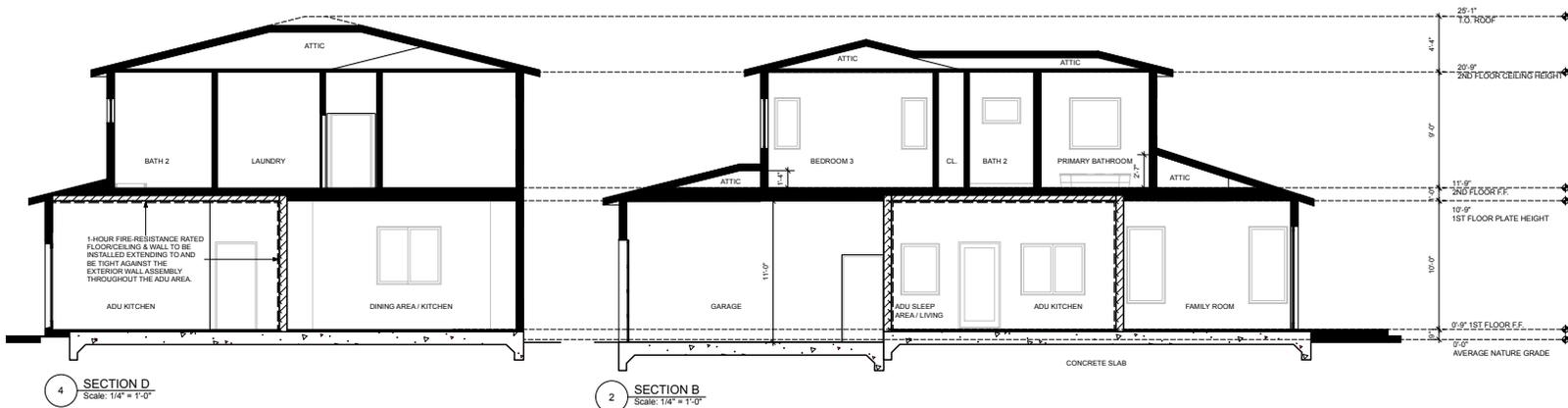
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AS NOTED
DRAWN BY
HW ARCH
JOB NUMBER
SERIAL
REVISIONS

(N) ELEVATIONS

A3.1

 1-HR FIRE RATED FLOOR/CEILING



PROJECT DESCRIPTION LETTER

Project Name: Fei Residence – New Single-Family Home with Attached ADU

Project Address: 2031 Santa Cruz Ave, Menlo Park, CA 94025

Prepared By:

Hao Wang, AIA, LEED AP BD+C

HW Architecture

20111 Stevens Creek Blvd, Cupertino, CA 95014

T: (925) 464-9364 | E: haowang@hw-arch.com

Purpose of the Proposal

The owners propose to replace the existing single-story home and detached garage on the property with a thoughtfully designed, two-story single-family residence and an attached accessory dwelling unit (ADU). The project will create a modern, functional, and energy-efficient home that better meets the needs of the owners' growing family and aligns with the character of the neighborhood.

Scope of Work

- Demolition: Remove the existing house, detached garage, and one pine tree in the rear yard (per arborist report).
- New Construction: Build a 3,115 SF two-story single-family home (1st floor 1,096 SF + garage 438 SF + 2nd floor 1,265 SF = 2,799 SF main house + 316 SF attached ADU).
- Site Work: Construct new driveway and walkways, provide two covered parking spaces (in garage) for the main house and two uncovered spaces for the ADU, and install new landscaping.

Architectural Style, Materials, and Construction

The proposed home is designed in a contemporary craftsman style, blending clean modern lines with warm, durable materials to harmonize with the residential character of Santa Cruz Ave.

- Exterior Materials: Arctic White fiber cement lap siding (James Hardie), black metal frame windows, and black galvanized standing-seam metal roofing.
- Entry & Garage: Wood single entry door with sidelites and transom, white steel paneled garage door with transom.
- Construction: Light-steel-frame Type II construction on concrete slab, complying with 2025 CBC, CRC, and Menlo Park municipal codes.

Basis for Site Layout

The site design respects the required R-1-U zoning setbacks (20' front, 20' rear, 5' sides) and the daylight plane requirements. The new house is centered on the lot to maintain appropriate side yard separation and preserve the rhythm of the streetscape. The front porch and entry are oriented toward Santa Cruz Ave to create a welcoming pedestrian presence.

Existing and Proposed Uses

- Existing Use: Single-family house with detached garage (built in 1946).
- Proposed Use: New single-family residence with an attached ADU, entirely for residential use.

Outreach to Neighboring Properties

The property owners have shared the project concept with immediate neighbors and received supportive feedback. The proposed design was developed with consideration for privacy (e.g., careful window placement), daylight access, and neighborhood character.

Dated on November 5th, the property owner, Fei Cheng, contacted all neighboring properties listed below:

- **705, 725, 745 Stanford Avenue, Menlo Park, CA 94025**
- **8, 10, 12 Cardinal Court, Menlo Park, CA 94025**
- **2021, 2025, 2042, 2043 Santa Cruz Avenue, Menlo Park, CA 94025**

The photo of the outreach letter is attached to the following page.

No comment has been received so far.

Fei Cheng
2031 Santa Cruz Ave
Menlo Park, CA 94025
202-830-7998
fei.cheng916@gmail.com

Date: 11/5/2025

Subject: Neighborhood Outreach – Rebuilding of Primary Residence at 2031 Santa Cruz Ave

Dear Neighbor,

My name is **Fei Cheng**, and I live at **2031 Santa Cruz Avenue** in Menlo Park. I am writing to inform you, as part of the City of Menlo Park's neighborhood outreach process, that I plan to **rebuild my primary residence** at this address.

The proposed project is a **two-story single-family home with an attached accessory dwelling unit (ADU)**, totaling a little over **3,100 square feet**. The home will be built in a **traditional architectural style** and is intended for my family's long-term residence.

I have lived at this property since **2024**, and this rebuild is to improve our home for our own use.

Thank you for your understanding as we move through the city's permitting process and eventual construction. Please let me know if you have any questions.

Sincerely,
Fei Cheng
2031 Santa Cruz Ave
Menlo Park, CA 94025
202-830-7998
fei.cheng916@gmail.com

September 10, 2025 (revised December 15, 2025)

Fei Cheng
2031 Santa Cruz Ave
Menlo Park, CA 94025
202-830-7998 | fei.cheng916@gmail.com

Dear Fei,

This revised arborist report addresses your project at 2031 Santa Cruz Ave, Menlo Park. It is based on the following references:

- City of Menlo Park: Heritage Trees Ordinance (Chapter 13.24), Street Trees Ordinance (Chapter 13.20), Heritage Tree Ordinance Administrative Guidelines (companion document to the Ordinance), Heritage Tree Removal Permit Application, Arborist Report Requirements [for] Large Projects (2022, with email clarification from City Arborist on January 30, 2024)
- Email from City Arborist with additional report requirements on September 19, 2023 (re: admittance to approved consulting arborist list)
- Survey by Hendrik Van de Pol (August 2025)
- Site plan by HW Architecture (November 24, 2025)
- Site visit on September 3, 2025
- Heritage tree removal permit HTR2025-00138

This December 15, 2025 revision omits two trees that have been removed and adjusts the tree protection fencing/recommendations around the remaining tree. Changes are highlighted in red text.

Heritage Tree Definition

- Non-oak trees with trunk diameter $\geq 15''$ (circumference $\geq 47.1''$) at 54'' above grade.
- Oak trees (*Quercus* sp.) native to California with a trunk diameter $\geq 10''$ (circumference $\geq 31.4''$) at 54'' above grade: Coast live oak (*Quercus agrifolia*), Scrub oak (*Quercus berberidifolia*), Canyon live oak (*Quercus chrysolepis*), Blue oak (*Quercus douglasii*), Leather oak (*Quercus dumosa*), Englemann oak (*Quercus englmannii*), Oregon white oak (*Quercus garryanna*), Black oak (*Quercus kelloggii*), Valley oak (*Quercus lobata*), Shreve oak (*Quercus parvula* var. *shrevei*), Oracle oak (*Quercus x morehus*), Island oak (*Quercus tomentella*), Interior live oak (*Quercus wislizenii*)
- A tree or group of trees of significance that is specially designated by City Council (as of 2020, there were none per the Administrative Guidelines)
- Exemption: If the tree is under 12' tall, it is not a heritage tree.
- Multi-trunked trees are measured below the union. If the union is at or below grade, each trunk is considered a separate tree

Site & Project Summary

The property is located in Menlo Park, in a few neighborhoods west of Stanford University. The house and lot are both relatively small, with a 980 sq. ft. building on a 5,650 sq. ft. lot. The house sits in the middle of the property, with the driveway running along the south property line to a detached garage in the backyard. The front yard was landscaped with a lawn which is no longer irrigated, while the backyard contains a mix of small landscape areas and hardscape. The area between the garage and house is fully covered in concrete, which has been roughly poured or patched. A concrete V ditch runs parallel to the back property line, just behind the garage. In the front, power lines run above the street, resulting in topping and clearance pruning of the trees below.

The proposed project will demolish the garage, driveway, and house. In the place of the existing house, a larger house will be constructed with an attached garage on the northwest side. A new driveway will be placed on the north side of the property to connect to the garage. **A Heritage blue oak (*Quercus douglasii*) is growing in the front yard next to the driveway.** It may be slightly affected by demolition and can be easily protected during the construction process.

Assumptions & Limitations

Plans: The site plan did not include the location of the driveway; I approximated it on the Tree Protection Plan based on the location of the proposed garage. I also did not review grading, utility, drainage, or landscape plans, which can pose more tree impacts. Revisions to the report may be needed if those plans are required for the submittal.

The tree assessment provided by this report represents a snapshot in time of the trees' conditions. It is not possible for arborists to predict long-term tree condition. Changes in weather/climate or environmental alterations can present unexpected impacts on the health and stability of trees (e.g. storm events, severe drought or heat, landscaping, repairs, irrigation reduction, other changes especially on adjacent properties). Because of these reasons, it is also not possible for arborists to guarantee that trees will not fail. To live with trees means to accept a certain level of risk, which can only be fully eliminated by removing the trees.

Lastly, my evaluation of the post-construction tree condition is contingent on following the recommendations in this report. Deviations even for short periods could cause unknown impacts to the trees such that they become more likely to decline in the future. Even weekly monitoring by an arborist would not capture the day to day and hour to hour activities that could negatively impact the trees. It is the responsibility of the property owner and/or contractor to closely follow the recommendations to minimize tree impact and maximize tree health.

Tree Inventory Table

The tree inventory table includes individual tree data as required by the City of Menlo Park. The data is explained as follows:

ID #	# assigned to each tree, correlating with a metal tag affixed to their trunks. Off-site trees are not tagged if their trunks are not accessible from the property; tags may be applied to the property line fence if feasible.
Species	Common & botanical name
DBH	Diameter at Breast Height (4.5' above ground) in inches; trunk is measured with a diameter tape. For off-site or inaccessible trees, the trunk size may be visually estimated instead.
Status	Denotes whether the tree is a Street/City tree, Heritage Tree, or off-site tree
Height	Height, visually estimated or measured with a TruPulse 200L Rangefinder
Health	Health and vigor of the tree. Ratings are broken down into: <ul style="list-style-type: none">• Good: The tree is growing well with vigor appropriate for its age – canopy is full with good color. Pest or disease issues may be present but have low impact on the tree.• Fair: The tree is showing signs of stress, exhibited as sparseness of canopy, change in foliage color, and minor-moderate signs of pest or disease issues. It can recover as long as conditions naturally improve.• Poor: The tree is stressed with tip dieback; it is unable to overcome pest & disease issues. Immediate long-term intervention and care is needed to avoid decline to the point of non-recovery.• Very Poor: The tree has significant issues and has declined so far that it is unlikely to recover.• Dead: No life remains in the tree.
Structure	Architecture & defects of the tree. Ratings are broken down into: <ul style="list-style-type: none">• Good: The tree has ideal trunk & branch architecture.• Fair: Branch defects, poor attachments and decay may be present, but they can be mitigated with 1-2 pruning cycles (over 3-5 years).• Poor: Defects cannot be mitigated without long term management (10+ years); support systems like cabling and bolting may be needed in conjunction with pruning to reduce risk to the property.• Very Poor: The tree has significant issues that cannot be corrected and may be a hazard to the property.
Dripline	The canopy (“dripline”) radius is visually estimated in feet in each cardinal direction (north, east, south, west).
Appraised Value	An estimate of the value of each tree is obtained using the Trunk Formula Technique outlined in the 10 th Edition of the <u>Guide for Plant Appraisal</u> by the Council of Tree & Landscape Appraisers (CTLA). The cost to replace a perfect specimen of like-size is calculated, then depreciated by the subject tree’s current health, structure, form, factors that are inherent to the species and property, and external factors that are out of the property manager’s control.
Notes & Impact	Proximity to the project’s improvements, and the anticipated impact based on tree condition, species tolerance to disturbance, future longevity, etc.
Actions	Includes recommended actions based on impacts, including tree protection measures.

ID #	Species	DBH (in)	Status	Height (ft)	Health	Structure	Dripline (NESW, ft)	Appraised Value	Notes & Impact	Actions
1	Monterey pine (<i>Pinus radiata</i>)	50	Heritage							Removed with permit HTR2025-00138
2	Olive (<i>Olea europea</i>)	~14	Co-owned?							Removed for new property line fence
3	Blue oak (<i>Quercus douglasii</i>)	22.5	Heritage	28	Good-Fair	Fair-Poor	0, 20, 24, 15	\$4,790.00	Pruned in several directions with 5 stubs, especially north and northwest. 7" secondary branch cut back to scaffold. Asphalt driveway right up to trunk, with old lawn on other side. Overhead power lines resulting in crown reduction. Existing driveway to be demolished, proposed walkways within 7.5' and 14.6' from trunk.	Protect area highlighted in Tree Protection Plan with variety of methods: fencing, straw wattle, mulch, gravel, etc. If feasible keep the driveway throughout construction as root protection. Demolish driveway by hand within 3' of trunk. Hand excavate along proposed walkways within 10' of trunk; consult arborist if roots \geq 2" diameter are encountered. Additional recommendations may be provided based on root encroachment.

Tree Impact Discussion

The blue oak will be affected by demolition, which occurs next to its trunk (#3, Figure 1). Since the oak is in the front yard, there will be a lot of activity around it – both from vehicles and people. Foot traffic may seem harmless, but a high volume of walking can still compact soils. Compacted soil is difficult and expensive to mitigate, and its effects may not show up until years after construction is completed. The contractors are usually off the hook, and the property owner is left with a declining tree that may need to be removed. If the driveway can be left in place, it acts as a buffer against soil compaction. However, for efficiency, it will likely be removed at the same time as the house and garage. Several options can be used to protect the tree, depending on how much space the contractors need. If the landscape area can be fully enclosed, then fencing is the only tree protection material that is needed. If they need more space, a combination of fencing, wood chips/gravel, and/or straw wattle may be used to protect both the trunk and soil. The final method can be determined once the contractor has been selected. Additionally, the driveway extends right up to the trunk of the oak – if machinery is used to remove the asphalt, an accidental slip may result in trunk damage. For that reason, the demolition work within 3' of its trunk shall be done by hand. **New walkways were added in the front yard within 7.5' and 14.5' of the tree. Excavation of the closer walkway may encounter large roots – for that reason, the contractors should hand dig along the walkway when working within 10' radius of the trunk. If large roots are encountered, they should be reported to an arborist so recommendations can be provided for additional care and management.**

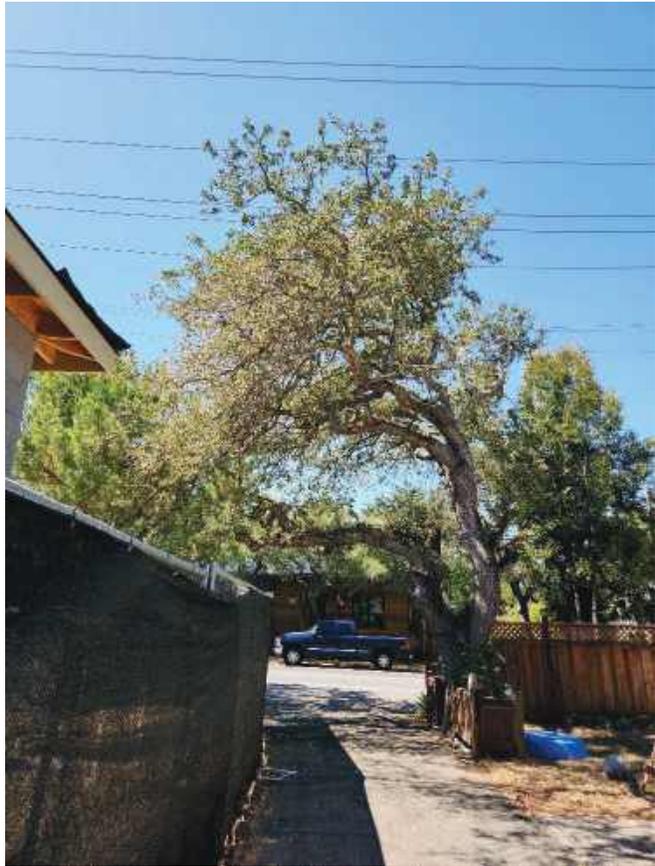


Figure 1. The driveway next to the blue oak (#3) will be demolished; afterwards, the driveway and landscape area should be protected from construction impacts. Various options are provided for the contractor's selection.

Tree Protection Recommendations

PLEASE NOTE: Once the project is approved with the tree protection recommendations outlined in this report, any changes to the protection measures must be approved by the City Arborist.

Design Phase

- Locate utilities outside of the Tree Protection areas noted on the Tree Protection Plan (i.e. fenced or green highlighted areas).
- Avoid grading or disturbance within the driplines of tree #3. If disturbance is needed, consult the Project Arborist for recommendations and provide updated plans for arborist review.

Pre-Demolition Phase

- Inform all contractors and subcontractors of the significance of protecting the trees, as damages will be evaluated based on their appraised value. A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
- Inform the Project Arborist of the start date of the project. The City of Menlo Park requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations throughout construction.
- The City of Menlo Park requires 6' tall chain link fencing mounted on 8' tall, 2" diameter galvanized posts, driven 24" into the ground and spaced no more than 10' apart. Signage must be attached to the temporary tree protection fencing to clarify its purpose. The City's signs are attached as an exhibit (Figure 2).
 - For tree #3, a mix of options may be used – refer to the Tree Protection Plan for the Tree Protection Zone where these protection measures apply:
 - If the driveway is not demolished until the end of the project, install temporary protection fencing around the front landscape area.
 - If driveway is demolished, install temporary fencing and cover the old driveway with a 6" thick layer of gravel or wood chips.
 - If driveway is demolished, and the contractors need a larger area for work, cover the entire Tree Protection Zone with a 6" thick layer of wood chips. The trunk of the tree shall be wrapped with straw wattle up to 6' high.
 - For the gravel/wood chip options, landscape fabric may be placed on soil first to make it easier to remove the materials.
 - Once completed, the Project Arborist must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- The tree protection measures are to remain as is throughout the project. To modify the protection measures, contact the Project Arborist to submit a request in writing to the City. Only the City Arborist can authorize removal of the protection measures at the end of the project.

Demolition & Construction Phase

- Demolish the driveway by hand within 3' of the trunk of tree #3.
- **Hand excavate along the proposed walkways within 10' of the trunk of tree #3; consult arborist if roots \geq 2" diameter are encountered. Additional recommendations may be provided based on root encroachment.**
- In general, if root or branch pruning is needed, the pruning must be supervised by the Project Arborist.
- At any time, if damage occurs to any tree, immediately consult the Project Arborist for recommendations on how to mitigate the damage.
- When construction is completed but before fencing is removed, contact the City Arborist for a final inspection.

A Tree Protection Plan accompanies this report. If it is missing, please email me for a copy. Should you have any questions or need clarification, please reach out at any time.

Sincerely,



Jennifer Tso, Michelia Arboriculture, LLC
Board Certified Master Arborist #WE-10270B
Registered Consulting Arborist #876
925-515-1362 | jennifer@micheliarborist.com



WARNING TREE PROTECTION AREA

ONLY AUTHORIZED PERSONNEL MAY ENTER THIS AREA

No excavation, trenching, material storage, cleaning, equipment access, or dumping is allowed behind this fence.

Do not remove or relocate this fence without approval from the project arborist. This fencing must remain in its approved location throughout demolition and construction.

Project Arborist contact information:

Name:
Business:
Phone number:

ADVERTENCIA: ÁREA DE PROTECCIÓN DE ÁRBOLES

SÓLO EL PERSONAL AUTORIZADO PUEDE INGRESAR A ESTA ÁREA

No se permite la excavación, zanjas, almacenamiento de materiales, limpieza, acceso de equipos, o vertido de residuos detrás de esta cerca.

No retire ni reubique esta cerca sin la aprobación del arborista del proyecto. Esta cerca debe permanecer en su ubicación aprobada durante todo el proceso de demolición y construcción.

Información de contacto del arborista de este proyecto:

Nombre:
Empresa:
Número de teléfono:

Figure 2. English and Spanish signage must be attached to the tree protection fencing.

Tree Protection Legend

- Tree tag numbers
- Canopy dripline by arborist
- Tree inventory notes, for reference only
- Tree protection recommendations
- Temporary protection fencing
- Non-surveyed tree locations by arborist (not to scale)
- Proposed tree removals
- Anticipated high traffic area requiring protection

Required English & Spanish signage; attach to tree protection fencing

WARNING TREE PROTECTION AREA

ONLY AUTHORIZED PERSONNEL MAY ENTER THIS AREA

No excavation, trenching, material storage, cleaning, equipment access, or dumping is allowed behind this fence.

Do not remove or relocate this fence without approval from the project arborist. This fencing must remain in its approved location throughout demolition and construction.

Project Arborist contact information:

Name:
Business:
Phone number:

ADVERTENCIA: ÁREA DE PROTECCIÓN DE ÁRBOLES

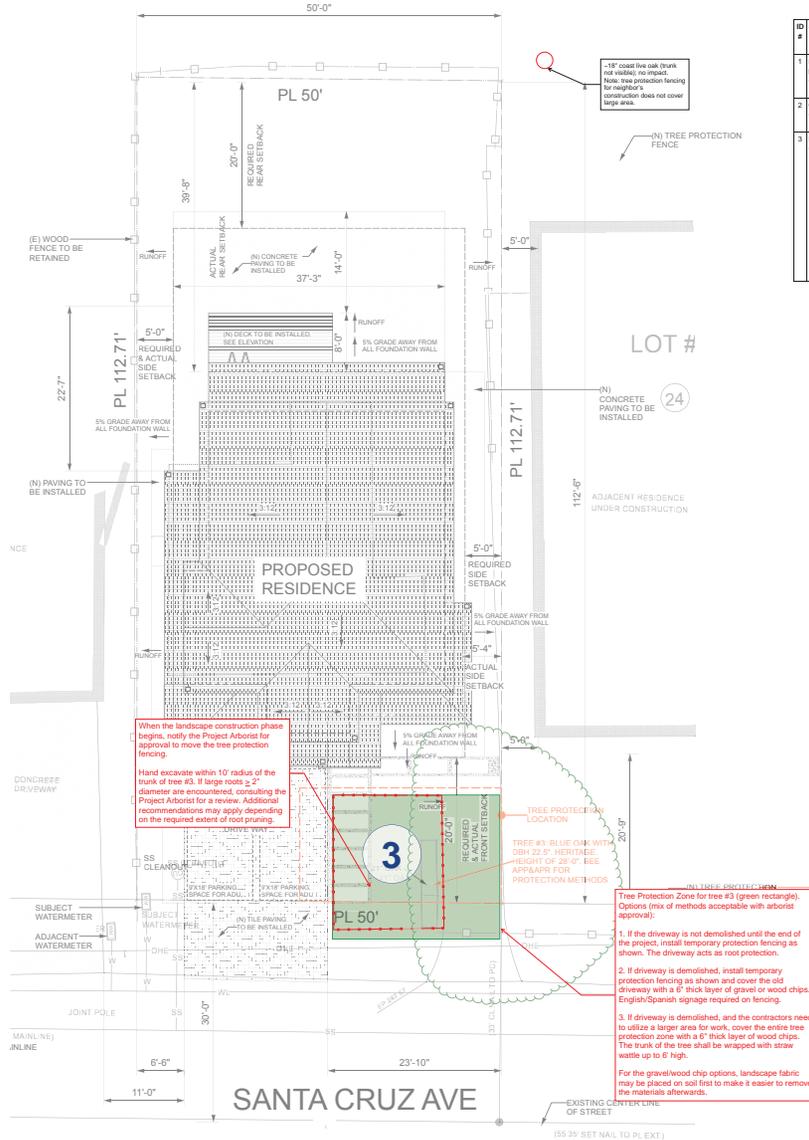
SÓLO EL PERSONAL AUTORIZADO PUEDE INGRESAR A ESTA ÁREA

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Información de contacto del arborista de este proyecto:

Nombre:
Empresa:
Número de teléfono:



ID #	Species	DBH (in)	Status	Height (ft)	Health	Structure	Origin (NEW/RT)	Appraised Value	Notes & Impact	Actions
1	Monterey pine (Pinus radiata)	50	Heritage							Removed with permit HTR2025-0018
2	Oak (Quercus douglas)	~14	Co-owned?							Removed for new property line fence
3	Blue oak (Quercus douglas)	22.5	Heritage	28	Good-Fair	Fair-Poor	0, 20, 24, 15	\$4,790.00	Pruned in several directions with 5' stubs, especially north and northwest. 7" secondary branch cut back to scaffold. Asphalt driveway right up to trunk, with old lawn on other side. Overhead power lines resulting in crown reduction. Existing driveway to be demolished, proposed walkways within 7.5' and 14.6' from trunk.	Protect area highlighted in Tree Protection Plan with variety of methods: fencing, straw waste, mulch, gravel, etc. If feasible keep the driveway throughout construction as root protection. Demolish driveway by hand within 3' of trunk. Hand excavate along proposed walkways within 10' of trunk, consult arborist if roots > 2" diameter are encountered. Additional recommendations may be provided based on root encroachment.

Tree Protection Recommendations

PLEASE NOTE: Once the project is approved with the tree protection recommendations outlined in this report, any changes to the protection measures must be approved by the City Arborist.

Design Phase

- Locate utilities outside of the Tree Protection areas noted on the Tree Protection Plan (i.e. fenced or green highlighted areas).
- Avoid grading or disturbance within the driplines of tree #3. If disturbance is needed, consult the Project Arborist for recommendations and provide updated plans for arborist review.

Pre-Demolition Phase

- Inform all contractors and subcontractors of the significance of protecting the trees, as damages will be evaluated based on their appraised value. A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
- Inform the Project Arborist of the start date of the project. The City of Menlo Park requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations throughout construction.
- The City of Menlo Park requires 6' tall chain link fencing mounted on 8' tall, 2" diameter galvanized posts, driven 24" into the ground and spaced no more than 10' apart. Signage must be attached to the temporary tree protection fencing to clarify its purpose. The City's signs are attached as an exhibit (Figure 5).
 - o For tree #3, a mix of options may be used – refer to the Tree Protection Plan for the Tree Protection Zone where these protection measures apply.
 - If the driveway is not demolished until the end of the project, install temporary protection fencing around the front landscape area.
 - If driveway is demolished, install temporary fencing and cover the old driveway with a 6" thick layer of gravel or wood chips.
 - If driveway is demolished, and the contractors need a larger area for work, cover the entire Tree Protection Zone with a 6" thick layer of wood chips. The trunk of the tree shall be wrapped with straw waste up to 6' high.
 - For the gravel/wood chip options, landscape fabric may be placed on soil first to make it easier to remove the materials.
 - o Once completed, the Project Arborist must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- The tree protection measures are to remain as is throughout the project. To modify the protection measures, contact the Project Arborist to submit a request in writing to the City. Only the City Arborist can authorize removal of the protection measures at the end of the project.

Demolition & Construction Phase

- Demolish the driveway by hand within 3' of the trunk of tree #3.
- Hand excavate along the proposed walkways within 10' of the trunk of tree #3; consult arborist if roots > 2" diameter are encountered. Additional recommendations may be provided based on root encroachment.
- In general, if root or branch pruning is needed, the pruning must be supervised by the Project Arborist.
- At any time, if damage occurs to any tree, immediately consult the Project Arborist for recommendations on how to mitigate the damage.
- When construction is completed but before fencing is removed, contact the City Arborist for a final inspection.

TREE PROTECTION PLAN

For 2031 Santa Cruz Ave, Menlo Park
 September 10, 2025 (revised December 15, 2025)
 By Jennifer Tso, BCMA #WE-10270B
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Drawn on site plan by HW Architecture
 (November 24, 2025); trees #1 & 2 removed.



LOCATION: 2031 Santa Cruz Ave.	PROJECT NUMBER: PLN2025-00043	APPLICANT: Hao Wang	OWNER: Fei Cheng
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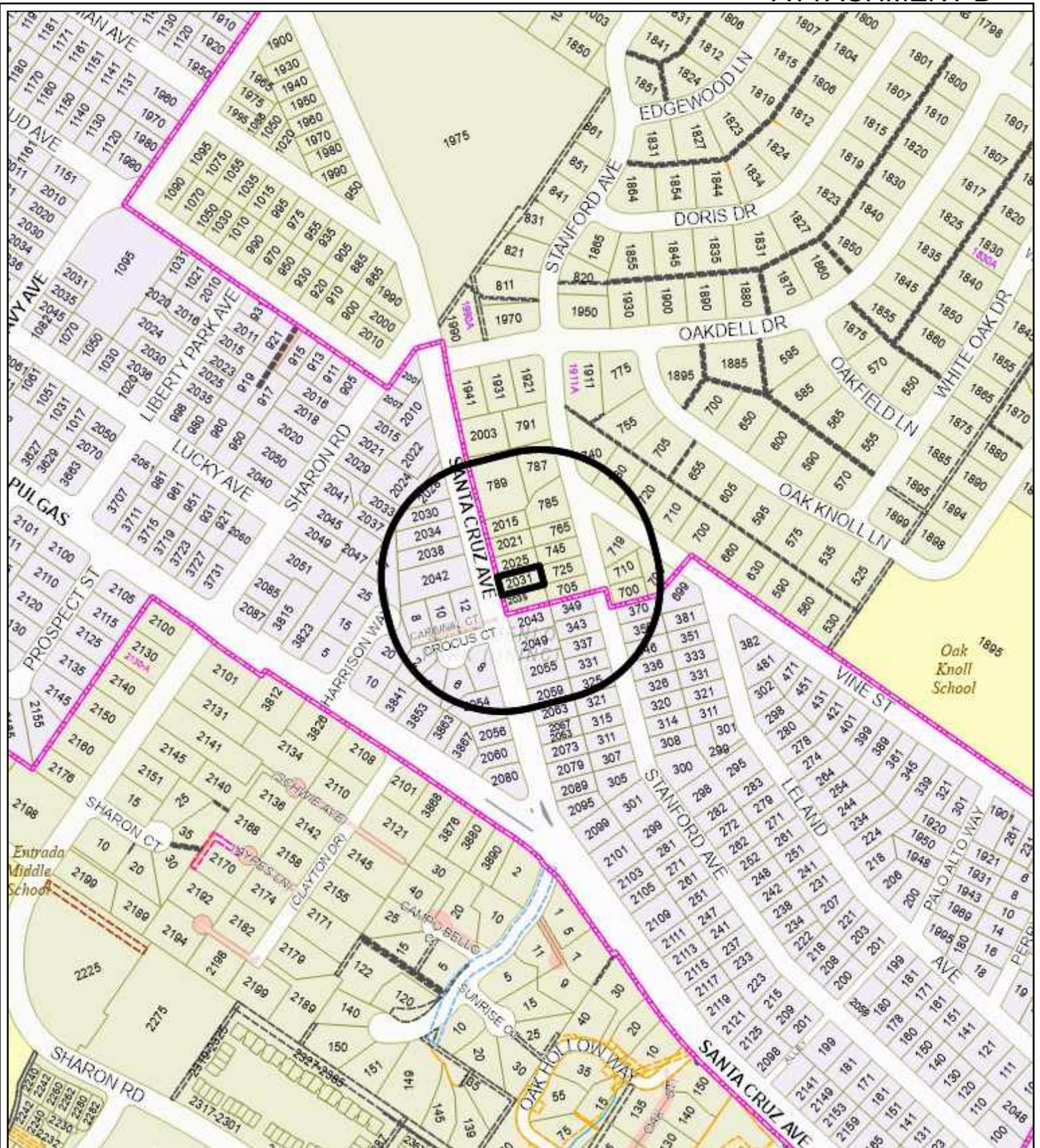
PROJECT CONDITIONS:

1. The use permit shall be subject to the following **standard** conditions:
 - a. The applicant shall be required to apply for a building permit within one year from the date of approval (by March 23, 2027) for the use permit to remain in effect.
 - b. Development of the project shall be substantially in conformance with the plans prepared by HW Architecture consisting of 20 plan sheets, dated received March 11, 2026, and approved by the Planning Commission on March 23, 2026, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Michelia Arboriculture, LLC dated December 15, 2025.
 - i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
 - j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

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PROJECT CONDITIONS:

- k. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application.
- 2. The use permit shall be subject to the following ***project-specific*** conditions:
 - a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing maximum fence heights of four feet within the front 20 feet of the property.
 - b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans demonstrating compliance with City standards for all improvements within the public right-of-way, subject to verification in the field by the City Engineer/inspector.



City of Menlo Park
 Location Map
 2031 Santa Cruz Avenue



2031 Santa Cruz – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,625 sf	5,625 sf	7,000.0 sf min.
Lot width	50.0 ft.	50.0 ft.	65.0 ft. min.
Lot depth	112.5 ft.	112.5 ft.	100.0 ft. min.
Setbacks			
Front	20.0 ft. (Main House) 40.0 ft. (ADU)	31.5 ft.	20.0 ft. min.
Rear	20.0 ft. (Main House) 33.6 ft. (ADU)	43.75 ft.	20.0 ft. min. 4.0 ft. min.
Side (left)	5.0 ft. (Main House) 5.0 ft. (ADU)	4.25 ft.	5.0 ft. min. 4.0 ft. min.
Side (right)	5.3 ft. (Main House) 26.1 ft. (ADU)	10.4 ft.	5.0 ft. min. 4.0 ft. min.
Building coverage	1,884.0 sf 33.5 %	1,394.0 sf 24.8 %	1,968.8 sf max. 35.0 % max.
FAL (Floor Area Limit)	3,115.0 sf* 42.3 %	1,394.0 sf 24.8 %	2,800.0 sf max. 49.8 % max.
Square footage by floor	1,096.0 sf/1 st main home 316.0 sf/1 st ADU 1,265.0 sf/2 nd main home 438.0 sf/garage	980.0 sf/1st 414.0 sf/detached garage	
Square footage of buildings	3,115.0 sf	1,394.0 sf	
Building height	25.1 ft.	15.0 ft.	35.0 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered per unit
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees			
Heritage trees	2**	Non-Heritage trees	1
Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	1***
		New Trees	0
		Total Number of Trees	1

* Includes the ADU, which is permitted to exceed the FAL.

** One heritage tree has already been removed with permit HTR2025-00138 due to poor health. The applicant proposed payment of an in-lieu fee, which was approved.

***One non-heritage tree has already been removed.



STAFF REPORT

Planning Commission

Meeting Date:

3/23/2026

Staff Report Number:

26-006-PC

Public Hearing:

Consider and adopt a resolution to approve an architectural control permit revision to replace exterior materials and colors to modernize the existing building, remove the existing tower element from the roof, reconfigure the existing storefronts including a new straight and full-height storefront along the parking lot, and square off the recessed entry of an existing building at 1215 El Camino Real in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposal also includes a request for sign review for one internally illuminated sign on the building facade facing Oak Grove Ave. and one internally illuminated sign on the building facade facing El Camino Real which both feature lettering greater than 18 inches in height. Determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities.

Recommendation

Staff recommends that the Planning Commission adopt a resolution approving an architectural control permit revision to replace exterior materials and colors to modernize the existing building, remove the existing tower element from the roof, reconfigure the existing storefronts including a new straight and full-height storefront along the parking lot, and square off the recessed entry of an existing building at 1215 El Camino Real in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district and approve a sign permit for one sign on the building facade facing Oak Grove Ave. and one sign on the building facade facing El Camino Real which both feature lettering greater than 18 inches in height. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings identified in Menlo Park Municipal Code (MPMC) Section 16.68.020 can be made for the proposed project.

Each sign review request is considered individually. The Planning Commission should consider whether

the signage complies with Menlo Park Municipal Code (MPMC) Chapter 16.92. The City has adopted Design Guidelines for Signs and the proposed signage would need to be considered for conformance with the adopted design guidelines and the appropriateness of deviating from the guidelines for lettering that would be greater in size than permitted by the Design Guidelines for Signs as well as internal illumination of letters and graphics, which does not strictly comply with the Design Guidelines for Signs. The Planning Commission may approve deviations from the Design Guidelines for Signs.

The architectural control permit revision and sign review should be comprehensively evaluated for neighborhood compatibility.

The Specific Plan includes one guiding principle that should be considered in evaluating the proposed project:

- Generate Vibrancy, particularly with regard to the Vision Goals of:
 - Revitalize underutilized parcels and buildings.
 - Expand shopping, dining, and neighborhood services to ensure a vibrant downtown.

The proposal appears to align with this guiding principle and associated vision goals as it is revitalizing a currently vacant building and expanding a neighborhood service (banking) to ensure a vibrant downtown.

The site has a Specific Plan Area General Plan land use designation and is located in the El Camino Real Mixed Use/Residential land use designation, which includes banks and financial institutions as permitted uses. The proposed exterior modifications to an existing commercial building appear to align with the goals of the General Plan, such as:

- Goal LU-3: Retain and enhance existing and encourage new neighborhood-serving commercial uses, particularly retail services, to create vibrant commercial corridors.
- Goal LU-5: Strengthen Downtown and the El Camino Real Corridor as a vital, competitive shopping area and center for community gathering, while encouraging preservation and enhancement of Downtown's atmosphere and character as well as creativity in development along El Camino Real.

Background

Site location

The subject property is located at 1215 El Camino Real. Using El Camino Real in the east-west orientation, the subject property is on the southwest corner of the intersection of El Camino Real and Oak Grove Ave. A location map is included as Attachment B.

The property is zoned SP-ECR/D (El Camino Real/Downtown Specific Plan) and is located within the El Camino Real North-West (ECR NW) sub-district. The property is bordered by properties in the El Camino Real North-West (ECR NW) sub-district to the immediate south. Properties along El Camino Real between Oak Grove Ave. and Valparaiso Ave. are also located within the El Camino Real North-West (ECR NW) sub-district. However, properties directly across El Camino Real to the north of the subject property are located within the El Camino Real North-East-Residential (ECR NE-R) sub-district. Properties to the northeast along El Camino Real are also zoned SP-ECR/D (El Camino Real/Downtown Specific Plan) and

are located within the Station Area East sub-district. Properties across Oak Grove Ave. to the southeast along El Camino Real are located within the Station Area West sub-district.

Previous approvals

The subject property was previously zoned C-4 (General Commercial, El Camino Real) and received a use permit and an architectural control permit for a bank with substandard parking on the site in July 1997.

Analysis

Project description

The project proposes exterior and interior modifications to an existing commercial building located at 1215 El Camino Real. The proposed changes are below:

- Replace exterior materials and colors to modernize the existing building. New materials and colors would include:
 - Aluminum cladding panels with beechwood finish between the existing wall and new windows along and between new windows on the façade facing Oak Grove Ave.
 - Aluminum composite metal with a custom color finish to match pantone 2387C (blue) as a panel along part of the Oak Grove Ave. façade as well as above all windows on both the Oak Grove Ave. and El Camino Real facades.
 - Metal base with basalt gray finish under the aluminum cladding and aluminum composite metal along the Oak Grove Ave. façade.
 - Aluminum storefront with clear anodized finish around all windows on both the Oak Grove Ave. and El Camino Real facades.
 - Aluminum composite metal with a brushed stainless finish on the posts around the covered entrance.
 - Glazed thin brick with a white mountain finish along all areas of both facades that are not covered by the other materials or windows as well as the existing columns along the southern property line of the site.
 - White paint on the exterior door and frame, existing wall, and existing upper cement plaster along the south façade.
 - Clear insulated tempered glazing on all windows.
- Remove the existing tower element from the roof.
- Replace the existing storefront along El Camino Real.
- Reconfigure the existing storefront along Oak Grove Ave to install a straight and full-height storefront.
- Square off the existing recessed entry.
- Reconfigure part of the parking lot, including moving the curb along the accessible space and location of landscaping.

The site currently consists of two buildings, which are the main bank building and accessory storage shed. The existing bank building is nonconforming with regard to the front, side facing a public right-of-way, and rear setbacks. The minimum required front and side setbacks facing a public right-of-way setback pursuant to the Specific Plan in this sub-district is five feet, and the maximum setback is eight feet. The existing bank building fronts along Oak Grove Ave and has a front setback of approximately 47 feet. The existing bank building has a side setback facing a public right-of-way along El Camino Real of

approximately zero feet. The minimum required rear setback pursuant to the Specific Plan in this sub-district is 20 feet, however, the existing building has a rear setback of approximately zero feet.

Pursuant to Menlo Park Municipal Code (MPMC) Section 16.80.120, existing buildings approved prior to the adoption of the El Camino Real/Downtown Specific Plan are exempt from the development standards of the Specific Plan and may undergo interior and/or exterior improvements to the existing building if there is no increase in the gross floor area (GFA). Per MPMC Section 16.04.325(C)(4), gross floor area excludes "Covered porches and covered balconies; provided, that at least one (1) end is open and unobstructed to the exterior except for columns or posts not more than twelve (12) inches in width and walls or railings not more than forty-four (44) inches in height." As the applicant proposes to reduce the width of the existing columns supporting the covered entry from approximately 36 inches to 12 inches, this area would now be excluded from GFA calculations. As such, the proposal would result in a reduction of GFA from 2,752 square feet to 2,671 square feet.

The existing site is also nonconforming with regard to open space. The minimum required open space percentage for the site pursuant to the Specific Plan in this sub-district is 20%, however, the existing site has an open space percentage of 10.5%. As the applicant proposes an open space percentage of 10.8% for the site, the proposal would make the site less nonconforming with regard to open space. Proposed changes to the Oak Grove Ave. and El Camino Real facades include replacement of the existing storefront and installation of a straight and full height storefront along the Oak Grove Ave. façade. Due to these changes, the proposed project would be required to meet the Specific Plan Standard E.3.5.02:

Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.

The proposed design would exceed this requirement and provide 50.4% transparency along the Oak Grove Ave. façade and 55.2% transparency along the El Camino Real façade. Proposed windows would have a security film installed, which meets the clear-glass requirements. Material specification sheets for the proposed security film are included as Attachment C.

Due to the proposed changes to the Oak Grove Ave. and El Camino Real facades, the proposed project would also be required to meet the Specific Plan Standard E.3.5.15:

Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches.

The proposed design would exceed this requirement, as windows on both the Oak Grove Ave. and El Camino Real facades would be recessed a minimum of nine inches from the building façade.

The proposed project would meet all applicable development regulations of the SP-ECR/D (El Camino Real/Downtown Specific Plan) and El Camino Real North-West (ECR NW) sub-district. The project plans and project description letter are included as Attachment A, Exhibits A and B, respectively.

Design and materials

The existing building features orange-brown columns along the Oak Grove façade near the entrance and towards the side of the building closest to the southern property line. The façade also features full-length windows that are not straight across but rather indent towards the building creating a triangular shape. The existing façade also features green awnings over these windows and a beige exterior above the windows. Along the El Camino Real façade, the existing building features the same orange-brown columns as the Oak Grove façade, full-length windows, green awnings, and beige exterior above the windows. However, this façade is straight across rather than indented. Finally, the existing building roof contains a tower element that is at the corner of the Oak Grove Ave. and El Camino Real facades. The existing elevations can be found on Sheet A.05 of the project plans.

The proposed exterior building modifications would feature new full-length windows along the Oak Grove Ave. façade and a modification to this façade to square it off so that it is straight across. The El Camino Real façade would also feature new full-length windows. The proposed exterior materials would be metal, aluminum, glass, and brick. The proposed exterior colors would be brown (beechwood), gray, white, and blue (custom Citibank color). The existing tower element on the building roof would be removed. The proposed elevations can be found on Sheet A.06 and proposed renderings on Sheet A.09 of the project plans.

There are existing columns and trellis proposed to remain in the southeast corner of the site, which can be seen in number 03 of Sheet A.05 of the project plans. As shown on the submitted boundary and topographic survey found on Sheet SV01 of the project plans, one of the columns encroaches into the public right-of-way. An encroachment agreement would be required for this column to remain, which would be implemented and ensured as part of condition 2a.

The Specific Plan includes a detailed set of design standards and guidelines. Compliance with the standards and guidelines is evaluated in the Specific Plan Standards and Guidelines Compliance Worksheet, which is included as Attachment A, Exhibit D. The standards and guidelines are intended to provide for a pleasant pedestrian experience with visual interest and continuity for storefronts.

Staff believes the proposed modifications to the existing building would be consistent with the diverse aesthetic of the surrounding neighborhood.

Sign review

The applicant is proposing to install new signage at the bank building, which would become a Citibank-branded business. To update the branding to generally match standard Citibank buildings, two new signs are proposed. Each new sign would be attached to the building, with one sign on the El Camino Real façade and one sign on the Oak Grove Ave. façade. Each sign would consist of the Citibank logo, which contains white lettering with a red semicircle connecting the dots of the two “i” letters in the Citibank name. Each sign would be 34 square feet for a total of 68 square feet of signage on the building, which is significantly less than the 100 square feet of signage allowed along the El Camino Real frontage and the 50 square feet allowed along the Oak Grove Ave. frontage.

Staff reviews a sign application for conformance with both the Zoning Ordinance regulations and the Design Guidelines for Signs. If the request meets the requirements in these documents, staff can approve

the sign application administratively. If, however, the sign request would potentially be incompatible with the Design Guidelines for Signs, the review of the application is forwarded to the Planning Commission for a general review of consistency with the Design Guidelines. In this case, the proposal would not be strictly compliant with one element of the Design Guidelines. Specifically, the proposed signs would not comply with the following item:

- B.4, which recommends that lettering between eight inches and 18 inches is considered generally acceptable;
- B.5, which recommends externally lit signs over internally illuminated signage.

The Design Guidelines for Signs are included as Attachment D.

Characters in the “Citibank” name on each proposed sign would exceed 18 inches in height, which would not strictly comply with item B.4 of the Guidelines. Certain letters in the “Citibank” name would be approximately 24 inches tall. Generally, the placement of the company name on the facades would be visible to properties on the north side of El Camino Real, west side of Oak Grove Ave., and potentially the south side of El Camino Real past the intersection with Oak Grove Ave. While there is currently no existing signage attached to the building, the previous tenant, First Republic Bank, had approved signage along the El Camino Real façade with letters a maximum of 14 inches in height and signage along the Oak Grove Ave. façade with letters a maximum of 18 inches in height. Directly across the street from the Oak Grove Ave. façade is a commercial building and directly across the street from the El Camino Real façade is a gas station and Jason’s Café. Although the lettering would have a greater height than the signage previously located on each building façade, staff believes the location of the property being surrounded by commercial uses with their own signage justifies the additional height in letter size.

The proposed signage would also not strictly comply with item B.5. of the Guidelines, which recommends externally lit signs over internally lit signs. This Guideline also recommends that when illumination occurs internally, the illumination of letters and graphics are preferred over the illumination of the background. Each sign would include LED internal illumination of individual letters and graphics (red arch) in the Citibank logo. The blue background would remain solid and would not be internally illuminated. Staff believes the individual illumination of the lettering and graphics of each sign is generally consistent with the Design Guidelines for Signs.

Parking and circulation

The existing site contains six parking spaces, one of which is an accessible space. The entrance to the parking lot is from El Camino Real and the exit is to Oak Grove Ave. The only proposed modification to the parking spaces is the location of the curb separating the accessible space from the building and the curb near the entrance to the parking lot from El Camino Real. The Transportation Division has reviewed the proposal and determined the backup distance provided for the accessible parking space is acceptable. The Building Division has conducted a preliminary review of the proposal for the accessible path of travel from the accessible space to the entry and determined the proposal is acceptable.

Assembly Bill (AB) 2097 prohibits public agencies from imposing any minimum parking requirement on any residential, commercial, or other development project located within ½ mile of a major transit stop. In this case, the City has determined AB 2097 applies because the development is within ½ mile of the

Menlo Park Caltrain Station. Therefore, no minimum parking requirements may be imposed.

Trees, landscaping, and open space

An Arborist report is not required for this project, however, the City Arborist reviewed the submitted plan set for conformance with Chapter 13.24, Heritage Trees, of the MPMC. The City Arborist identified one heritage tree on site that is very close to the building and may require pruning, which must be completed by a licensed, insured, and certified arborist consistent with the International Society of Arboriculture industry standards and the City of Menlo Park Heritage Tree Ordinance. If more than 25% of the heritage tree's crown must be pruned, the applicant must obtain a heritage tree pruning permit, which is noted on Sheet L1.0 of the plan set included as Attachment A, Exhibit A. The City Arborist also identified the need for standard trunk protection for two street trees along El Camino Real, which is also shown on Sheet L1.0 of the plan set. The City Arborist has reviewed the plan set and determined it meets requirements. All recommended tree protection measures identified in the plan set would be implemented and ensured as part of condition 1f.

As stated above, the existing site is nonconforming with regard to open space. The definition of open space per the Specific Plan is "the portion of the building site that is open, unobstructed and unoccupied, and otherwise preserved from development, and used for public or private use, including plazas, parks, walkways, landscaping, patios and balconies." Due to the proposed site changes including the addition of landscaping, the proposed project would be required to meet the Specific Plan Guideline E.3.6.07 or explain how this guideline cannot be met. Specific Plan Guideline E.3.6.07 states:

Landscaping of private open spaces should be attractive, durable, and drought resistant.

The proposed landscaping consists of Moonshine Yarrow, Blue Glow Agave, and Dwarf Mat Rush, all of which are durable and drought resistant, thereby complying with this guideline.

Correspondence

The applicant has not indicated that they have conducted neighborhood outreach. Staff has not received any direct correspondence regarding the proposed project.

Conclusion

Staff believes the proposed modifications to the existing building would be consistent with the diverse aesthetic of the surrounding neighborhood. The exterior modifications and signage proposed would provide an update to the building and be compatible and consistent with the Citibank brand identity. While the lettering would have a greater height than the signage previously located on each building façade, staff believes the location of the property being surrounded by commercial uses justify the additional height in letter size. The proposal would also meet or exceed all applicable Specific Plan Standards and Guidelines. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

EI Camino Real/Downtown Specific Plan Mitigation Monitoring and Reporting Program

Although the proposed project is categorically exempt, it must still comply with any applicable mitigation measures in the EI Camino Real/Downtown Specific Plan Mitigation Monitoring and Reporting Program (MMRP). The MMRP is included as Attachment A, Exhibit E. Applicable mitigation measures from the MMRP include but are not limited to:

- Mitigation Measure AIR-1a
- Mitigation Measure BIO-1a
- Mitigation Measure BIO-3a
- Mitigation Measure BIO-3b
- Mitigation Measure CUL-2b
- Mitigation Measure CUL-4
- Mitigation Measure GHG-1
- Mitigation Measure HAZ-3
- Mitigation Measure NOI-1a

Specific Plan Maximum Allowable Development

Per Section G.3, the Specific Plan establishes the maximum allowable net new development as follows:

Non-residential uses, including retail, office and hotel: 474,000 square feet.

This total is intended to reflect likely development throughout the Specific Plan area. As noted in the Plan, development in excess of these thresholds will require amending the Specific Plan and conducting additional environmental review.

If the project is approved and implemented, the Specific Plan Maximum Allowable Development would be revised to account for the net changes as follows:

Table 1: Specific Plan Totals		
	Dwelling Units	Commercial Square Footage
Existing	0	2,752
Proposed	0	2,671
Net Change	0	-81
% of Maximum Allowable Development	0	.017
Available Units & Commercial SF in SP if Project is Approved	527	409,396
Available Units & Commercial SF in SP if all Pending Projects are Approved	583	406,482

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Draft Planning Commission Resolution
 - Exhibits to Attachment A
 - A. Project Plans
 - B. Project Description Letter
 - C. Specific Plan Standards and Guidelines Compliance Worksheet
 - D. Conditions of Approval
 - E. MMRP
- B. Location Map
- C. Material Specification Sheets for Denovo Security Film
- D. Hyperlink: City of Menlo Park Design Guidelines for Signs – https://www.menlopark.gov/files/sharedassets/public/v/1/community-development/documents/building/sign-and-awning-design-guidelines_201402101531551631.pdf
- E. Data Table

Report prepared by:
 Brian Toy, Associate Planner

Report reviewed by:
Corinna Sandmeier, Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2026-0XX**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING (1) AN ARCHITECTURAL CONTROL PERMIT REVISION FOR EXTERIOR AND INTERIOR MODIFICATIONS TO AN EXISTING COMMERCIAL BUILDING AND LANDSCAPING, AND (2) APPROVING A SIGN REVIEW PERMIT FOR TWO INTERNALLY ILLUMINATED SIGNS WITH LETTERING GREATER THAN 18 INCHES IN HEIGHT AT 1215 EL CAMINO REAL IN THE SP-ECR/D (EL CAMINO REAL/DOWNTOWN SPECIFIC PLAN) ZONING DISTRICT**

WHEREAS, the City of Menlo Park (“City”) received an application requesting architectural control to modify the exterior and interior of an existing commercial building and landscaping, and sign review for two signs with lettering greater than 18 inches in height, in the SP-ECR/D zoning district (collectively, the “Project”), from Amal Karimi (“Applicant”) and Ciardella Properties LLC (“Owner”), located at 1215 El Camino Real (APN 071-103-460) (“Property”). The Project architectural control and sign review are depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the subject property was previously zoned C-4 (General Commercial, El Camino Real) and received a use permit and architectural control permit for a bank with substandard parking on the site in July 1997.

WHEREAS, any construction, alteration or remodeling of any building other than a single-family dwelling, duplex and accessory building, or for any structure, dwelling or duplex on land designated as a historic landmark site shall be considered by the Planning Commission; and

WHEREAS, the proposed Project would involve physical alterations to the exterior of an existing commercial building, as well as new landscaping, which would provide an update to the Oak Grove Ave. and El Camino Real frontages of the building while maintaining a balanced and consistent appearance; and

WHEREAS, the findings and conditions for the architectural control would ensure that all City requirements are applied consistently and correctly as part of the project’s implementation; and

WHEREAS, the proposed Project would incorporate internally illuminated signage lettering and graphics that would be more than 18 inches in height but would not generally be visible from residential uses; and

WHEREAS, the proposed Project was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance, and the plan set received dated March 9, 2026 (incorporated herein as Exhibit A) identifies adequate tree protection mitigation measures to protect heritage trees in the vicinity of the project; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000

et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require a determination regarding the Project's compliance with CEQA; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review under Class 1 (Section 15303, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, the Project shall comply with mitigation measures included in the El Camino Real/Downtown Specific Plan Mitigation Monitoring and Reporting Program (MMRP) (incorporated herein as Exhibit E) that are applicable to the Project; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on March 23, 2026, the Planning Commission fully reviewed, considered, and evaluated the whole of the record, including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the proposed Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Architectural Control Findings. The Planning Commission of the City of Menlo Park does hereby make the following findings:

The approval of the architectural control permit revision for exterior modifications to an existing commercial building and landscaping at 1215 El Camino Real is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.68.020:

1. That the general appearance of the structure is in keeping with character of the neighborhood, in that, the Project's modification to the northern building façade facing El Camino Real and eastern building façade facing Oak Grove Ave. will maintain a balanced and consistent appearance and will continue to keep with the character of the streetscape.
2. That the development will not be detrimental to the harmonious and orderly growth of the city, in that, the Project contains design modifications to an existing commercial building. The Project's design is generally consistent with all applicable requirements of the City of Menlo Park Municipal Code. The General Plan land use for the Property,

Specific Plan Area, is consistent with the existing and proposed uses on the site which include Banks and Financial Institutions in the El Camino Real Mixed Use/Residential land use designation. Therefore, the Project will not be detrimental to the harmonious and orderly growth of the city.

3. That the development will not impair the desirability of investment or occupation in the neighborhood, in that, the Project contains design modifications to an existing commercial building, which involves a use that is consistent with the applicable standards of the Zoning Ordinance for the project site. The Project is designed in a manner consistent with all applicable codes and ordinances. Therefore, the Project would not impair the desirability of investment or occupation in the neighborhood.
4. That the development provides adequate parking as required in all applicable city ordinances, in that, the Project does not modify existing adequate parking nor would the improvements increase parking need. Additionally, the City has determined Assembly Bill (AB) 2097 applies to the Project, which prohibits public agencies from imposing any minimum parking requirement on any residential, commercial, or other development project located within ½ mile of a major transit stop.
5. That the development is consistent with any applicable specific plan, in that, the Project is located in the El Camino Real North-West sub-district, which is subject to the El Camino Real/Downtown Specific Plan. The proposed Project is designed in a manner consistent with all applicable codes and ordinances, including the applicable standards and guidelines of the El Camino Real/Downtown Specific Plan (Exhibit C), as well as the General Plan goals and policies.

Section 3. Sign Review Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following findings:

The approval of a sign review permit to install two signs on an existing bank building is granted based on the following findings, which are made pursuant to the City of Menlo Park Design Guidelines for Signs:

1. Sign lettering larger than 18 inches may be considered for buildings, as the project's signage can be viewed primarily from other commercial buildings and is aesthetically harmonious with the overall building design.
2. Internally illuminated signs may be used, with illumination of letters and graphics preferred over the illumination of the background, which is the illumination format proposed. The proposed design would illuminate individual letters and graphics (red arch).

Section 4. Architectural Control Permit Revision and Sign Review Permit. The Planning Commission hereby approves the Architectural Control Permit Revision and Sign Review Permit PLN2025-00047, which Architectural Control Permit Revision and Sign Review Permit are depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Architectural Control Revision Permit and Sign Review Permit are conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 5. Environmental Review. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review under Class 1 (Section 15303, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines

Section 6. Severability. If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the proposed Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Principal Planner of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on March 23, 2026, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this ___ day of March 2026.

PC Liaison Signature

Corinna Sandmeier
Principal Planner
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Specific plan standards and guidelines compliance worksheet
- D. Conditions of approval
- E. MMRP



MENLO PARK

COMMUNITY HUB

PLANNING SET RESPONSES 3

02.23.2026

1215 El Camino Real
Menlo Park, CA 94025

GENSLER PROJECT NUMBER: 33.4388.001



COMMUNITY HUB

1215 El Camino Real
Menlo Park, CA 94025

Gensler

2101 Webster Street
Suite 2000
Oakland, CA 94612
United States

Tel 510.625.7400
Fax 510.625.7409

Date	Description
10.17.2025	PLANNING SET
1 01.08.2026	PLANNING SET RESPONSES
2 02.10.2026	PLANNING SET RESPONSES 2
3 02.23.2026	PLANNING SET RESPONSES 3

Seal / Signature

Project Name
MENLO PARK

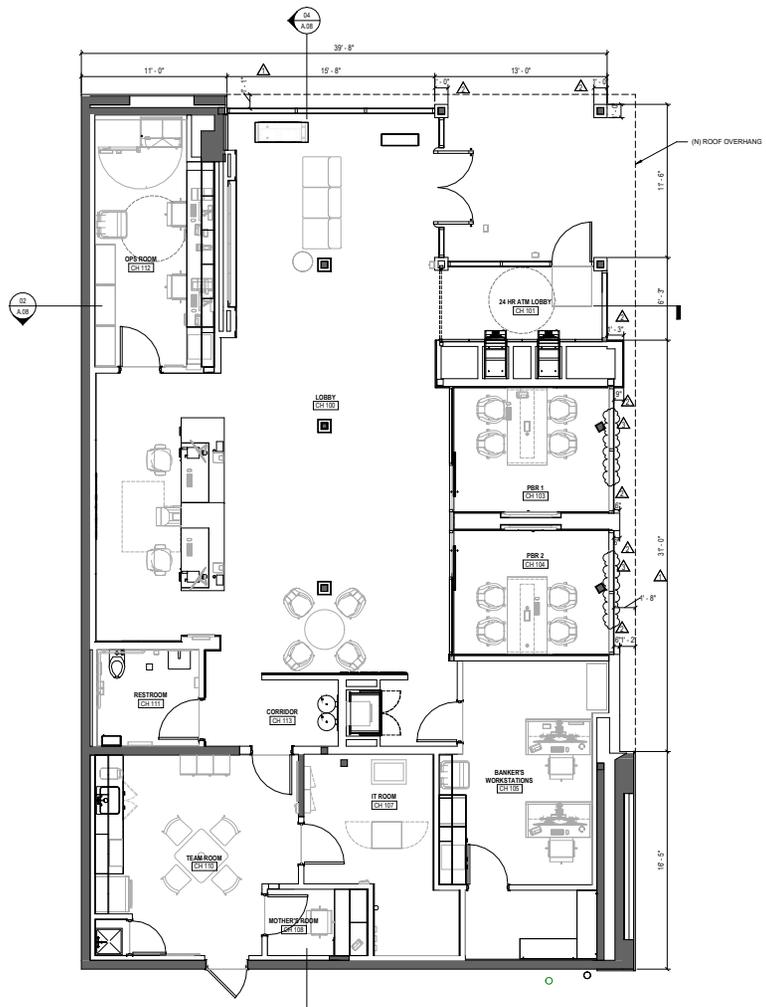
Project Number
33.4388.001

Description
FLOOR PLANS

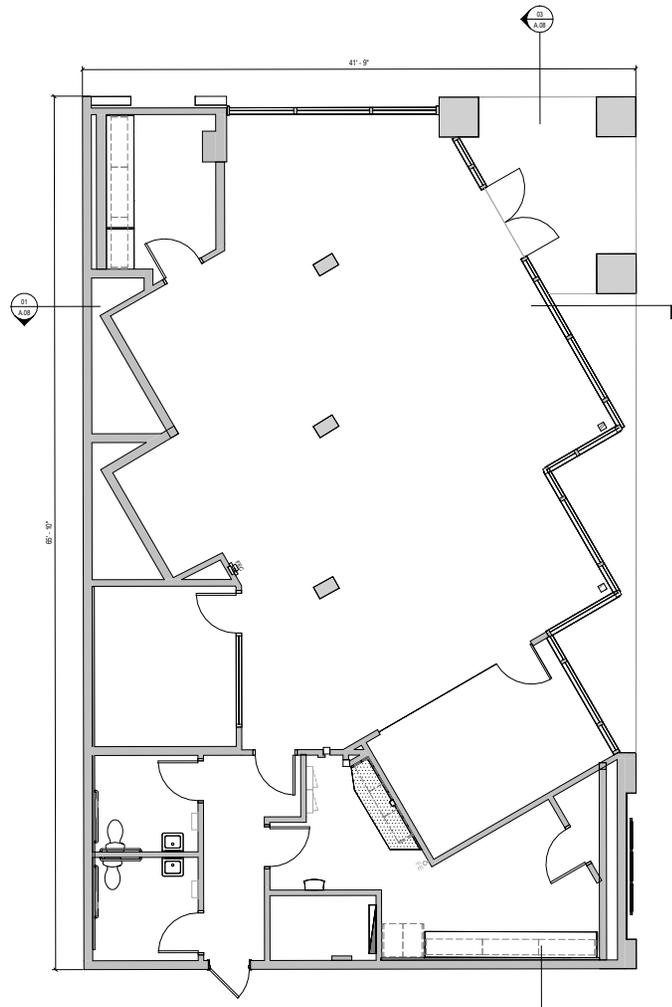
Scale
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A.03

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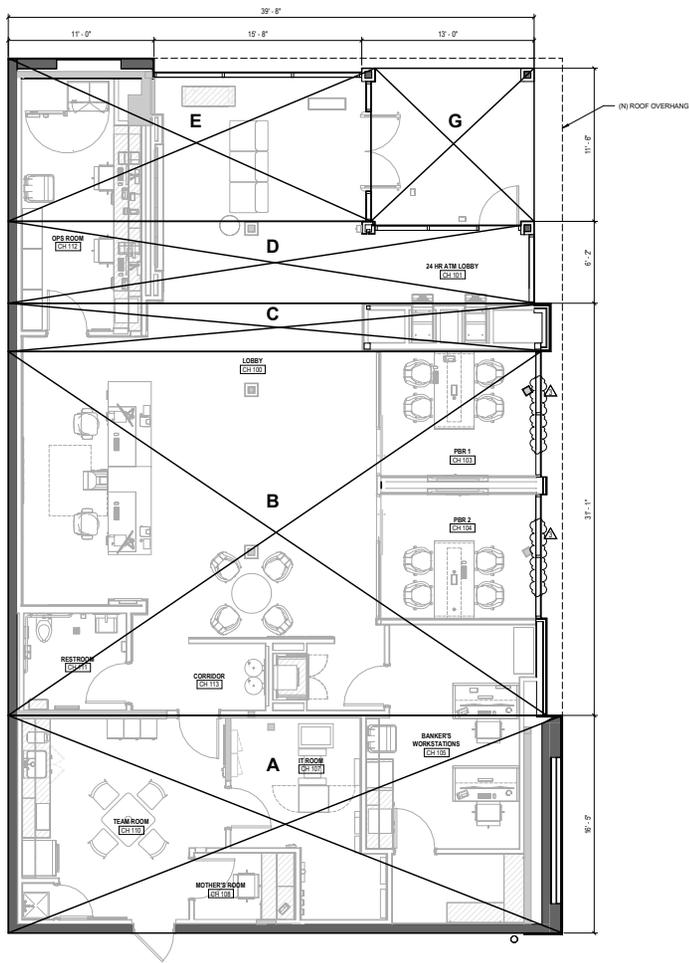


02 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



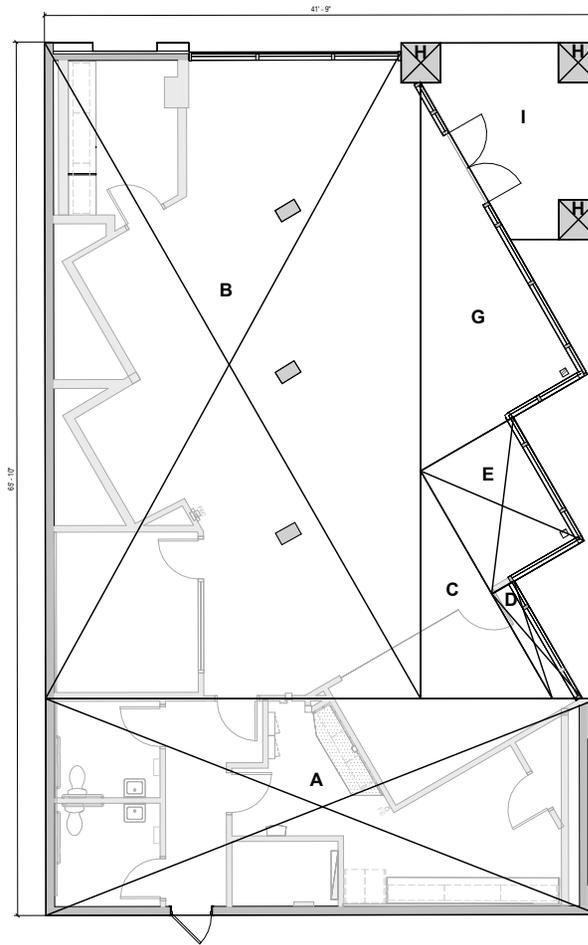
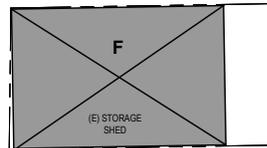
01 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

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AREA	DIMENSIONS	SF
A	16'-2" x 41'-10"	686
B	37'-8" x 40'-7"	1,106
C	3'-8" x 40'-11"	149
D	6'-2" x 39'-9"	243
E	12'-3" x 27'-3"	319
F (E) SHED	10'-6" x 16'-0"	168
TOTAL FLOOR AREA:		2,671

AREA	DIMENSIONS	SF
G	12'-6" x 11'-6"	147
FLOOR AREA		2,671
TOTAL BUILDING COVERAGE:		2,818



AREA	DIMENSIONS	SF
A	16'-3" x 41'-9"	671
B	49'-0" x 28'-0"	1,382
C	17'-2" x 9'-11" x 19'-10"	86
D	2'-0" x 10'-3"	19
E	8'-1" x 10'-0"	87
F (E) SHED	10'-6" x 16'-0"	168
G	14'-7" x 29'-3" x 28'-3"	184
H	3'-0" x 3'-0" (X3)	27
I	12'-0" x 11'-6"	147
TOTAL FLOOR AREA:		2,752

NOTE: BUILDING COVERAGE AREA IS EQUAL TO FLOOR AREA

citibank
COMMUNITY HUB
1215 El Camino Real
Menlo Park, CA 94025

Gensler
2101 Webster Street
Suite 2000
Oakland, CA 94612
United States
Tel: 510.625.7400
Fax: 510.625.7409

Date	Description
10.17.2025	PLANNING SET
1 01.08.2026	PLANNING SET RESPONSES
2 02.19.2026	PLANNING SET RESPONSES 2
3 02.23.2026	PLANNING SET RESPONSES 3

Seal / Signature

Project Name
MENLO PARK

Project Number
33.4388.001

Description
FLOOR AREA CALCULATION DIAGRAMS

Scale
1/4" = 1'-0"

A.03B

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02 PROPOSED FLOOR PLAN - AREA CALCULATION
SCALE: 1/4" = 1'-0"

01 EXISTING FLOOR PLAN - AREA CALCULATION
SCALE: 1/4" = 1'-0"



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Date	Description
10.17.2025	PLANNING SET
1 01.08.2026	PLANNING SET RESPONSES

Seal / Signature _____

Project Name
MENLO PARK

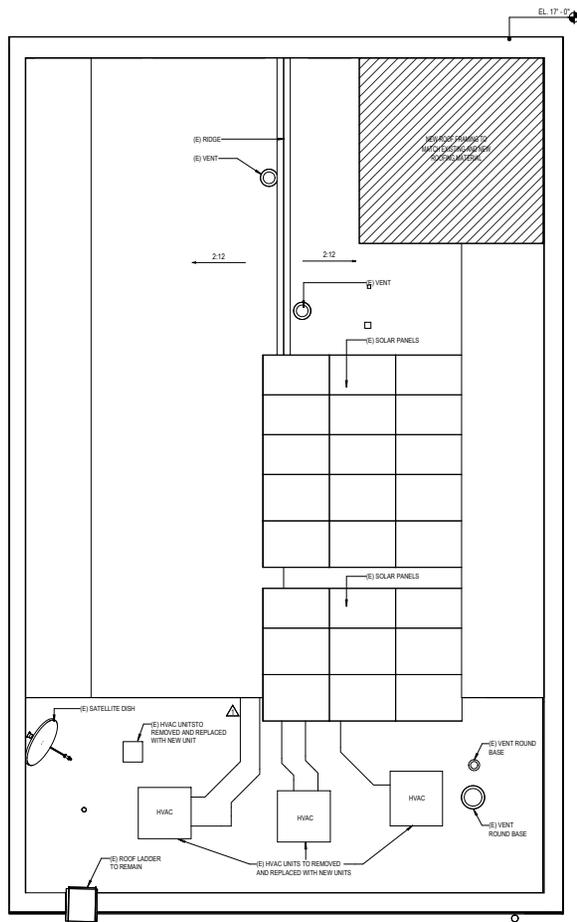
Project Number
33.4388.001

Description
ROOF PLAN

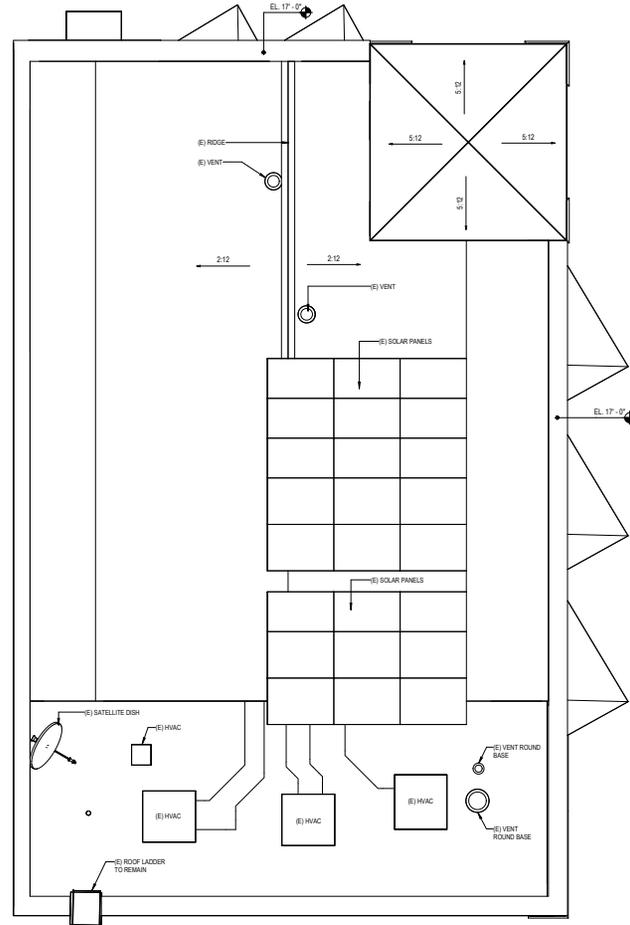
Scale
1/4" = 1'-0"

A.04

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02 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



01 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

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03 EXISTING COLUMNS AND TRELLISES
SCALE: NTS



01 EXISTING NORTH (FRONT) ELEVATION
SCALE: NTS



04 EXISTING SOUTH (REAR) ELEVATION
SCALE: NTS



02 EXISTING EAST (LEFT SIDE) ELEVATION
SCALE: NTS



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Tel: 510.825.7400
Fax: 510.825.7400

Date	Description
10.17.2025	PLANNING SET

Seal / Signature

Project Name
MENLO PARK

Project Number
33.4388.001

Description
EXISTING ELEVATIONS

Scale
As indicated

A.05

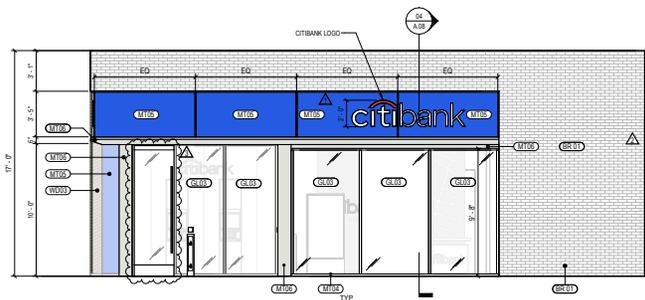
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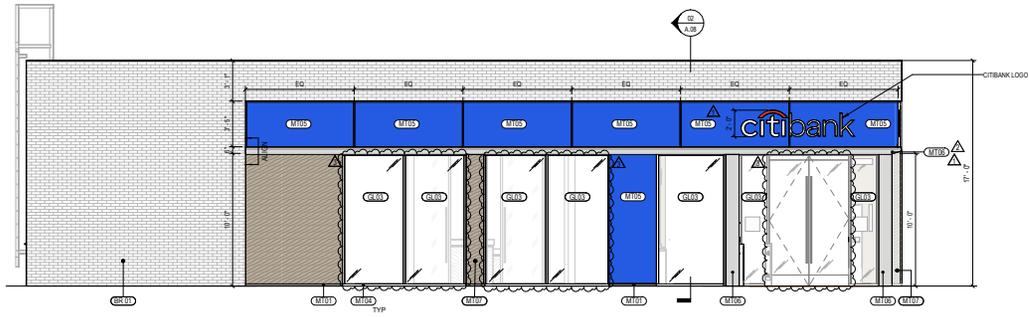
FACADE TRANSPARENCY

NORTH FACADE (10'-0" A.F.F.)
 FACADE AREA: 418.8 SF
 TRANSPARENT AREA: 231.2 SF
 TRANSPARENCY AREA: 55.2%

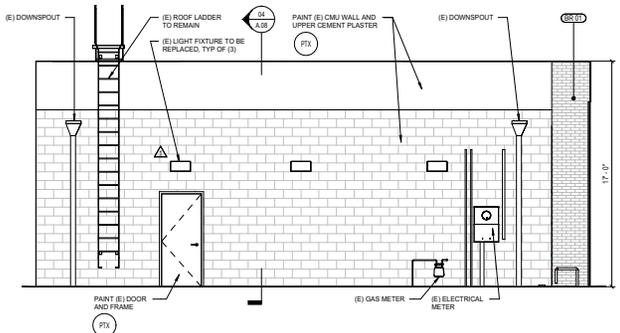
EAST FACADE (10'-0" A.F.F.)
 FACADE AREA: 619.9 SF
 TRANSPARENT AREA: 319.3 SF
 TRANSPARENCY AREA: 50.4%



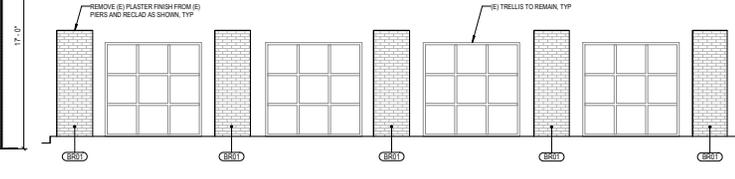
01 PROPOSED NORTH (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"



02 PROPOSED EAST (LEFT SIDE) ELEVATION
 SCALE: 1/4" = 1'-0"



04 PROPOSED SOUTH (REAR) ELEVATION
 SCALE: 1/4" = 1'-0"



03 PROPOSED NORTH (FRONT) ELEVATION OF EXISTING COLUMNS AND TRELLISES
 SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

W003	ALUMINUM CLADDING PANELS MFR: LONGSBOND - PANELBOARD FINSH: BEECHWOOD
M101	METAL BASE FINSH: RAL 702 BASALT GRAY
M104	ALUMINUM STOREFRONT FINSH: CLEAR ANODIZED
M105	ALUMINUM COMPOSITE METAL MFR: ALUCOBOND PLUS FINSH: CUSTOM COLOR TO MATCH PANTONE 2387C
M106	ALUMINUM COMPOSITE METAL MFR: ALUCOBOND PLUS FINSH: BRUSHED STAINLESS
BR01	GLAZED THIN BRICK MFR: FIRECLAY TILE - BRICK FINSH: WHITE MOUTAIN SIZE: 2 1/2" X 1 1/2" (NORMAN)
PTX	WHITE PAINT MFR: DUNN EDWARDS FINSH: DE6128 ANTIQUE PAPER
GL03	CLEAR INSULATED TEMPERED GLAZING





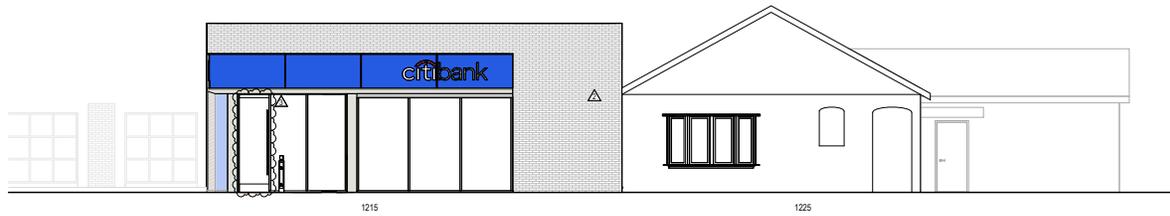
COMMUNITY HUB

1215 El Camino Real
Menlo Park, CA 94025

Gensler

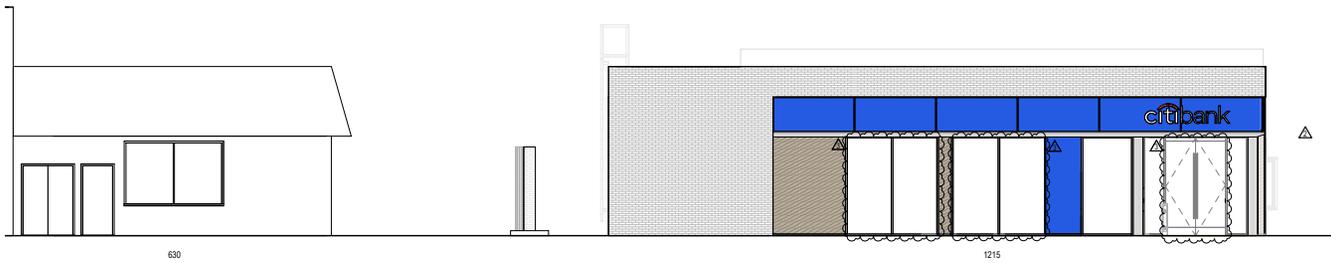
2101 Webster Street
Suite 2000
Oakland, CA 94612
United States

Tel 510.825.7400
Fax 510.825.7409



01 STREETScape OF NORTH ELEVATION (FRONT) ALONG EL CAMINO REAL

SCALE: 3/16" = 1'-0"



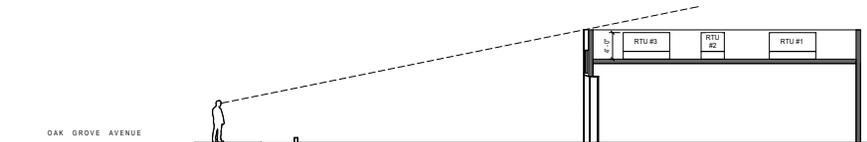
02 STREETScape OF EAST ELEVATION (LEFT SIDE) ALONG OAK GROVE AVE

SCALE: 3/16" = 1'-0"



03 LINE OF SIGHT FROM EL CAMINO REAL

SCALE: 1/8" = 1'-0"



04 LINE OF SIGHT FROM OAK GROVE AVE

SCALE: 1/8" = 1'-0"

Date	Description
10.17.2005	PLANNING SET
1 01.08.2006	PLANNING SET RESPONSES
2 02.12.2006	PLANNING SET RESPONSES 2
3 02.23.2006	PLANNING SET RESPONSES 3

Seal / Signature _____

Project Name
MENLO PARK

Project Number
33.4388.001

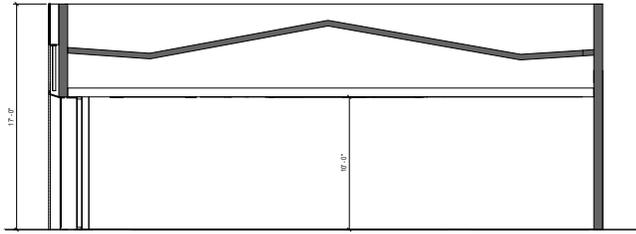
Description
STREETScape AND LINE OF SIGHT
DIAGRAMS

Scale
As indicated

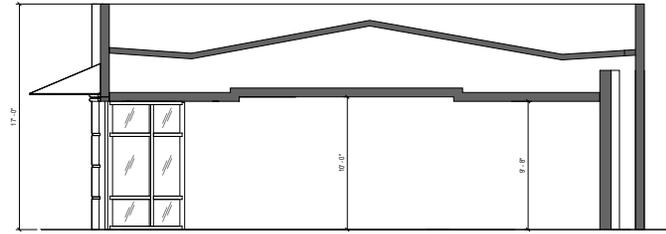
A.07

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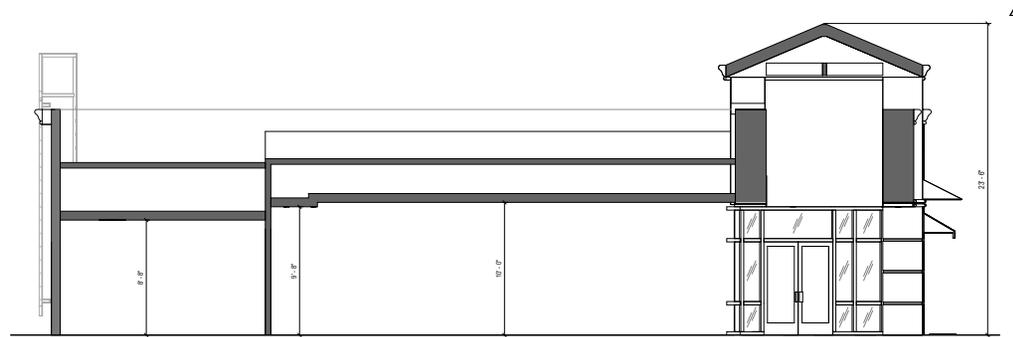
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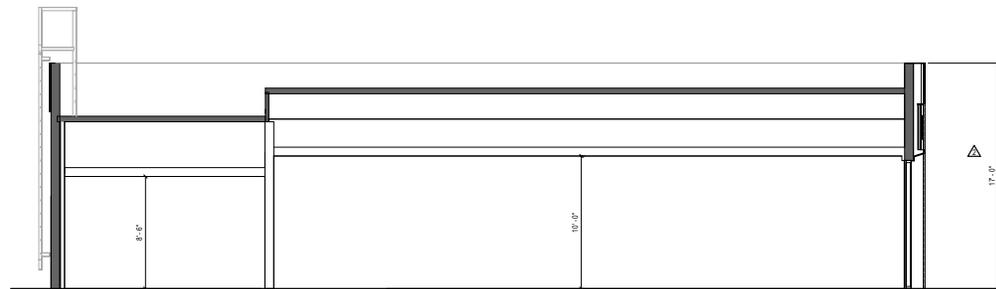
02 PROPOSED TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



01 EXISTING TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



03 EXISTING LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



04 PROPOSED LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



COMMUNITY HUB

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Menlo Park, CA 94025

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2101 Webster Street
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Oakland, CA 94612
United States
Tel: 510.625.7400
Fax: 510.625.7400

△ Date	Description
10.17.2005	PLANNING SET
1 01.08.2006	PLANNING SET RESPONSES
2 02.13.2006	PLANNING SET RESPONSES 2

Seal / Signature

Project Name
MENLO PARK

Project Number
33.4388.001

Description
SECTIONS

Scale
1/4" = 1'-0"

A.08

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01 PROPOSED RENDERING



03 PROPOSED RENDERING OF EAST (LEFT SIDE) ELEVATION



02 PROPOSED RENDERING OF NORTH (FRONT) ELEVATION



COMMUNITY HUB

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Menlo Park, CA 94025

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2101 Webster Street
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United States
Tel: 510.825.7400
Fax: 510.825.7400

△ Date	Description
10.17.2025	PLANNING SET
2. 02.13.2026	PLANNING SET RESPONSES 2
3. 02.23.2026	PLANNING SET RESPONSES 3

Seal / Signature _____

Project Name
MENLO PARK

Project Number
33.4388.001

Description
COLOR RENDERINGS

Scale
As indicated

A.09

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2101 Webster Street Tel 510.625.7400
Suite 2000 Oakland, CA 94612 Fax 510.625.7499
United States

Date	Description
10.17.2025	PLANNING SET

Scale 1:1000

Project Name

MENLO PARK

Project Number

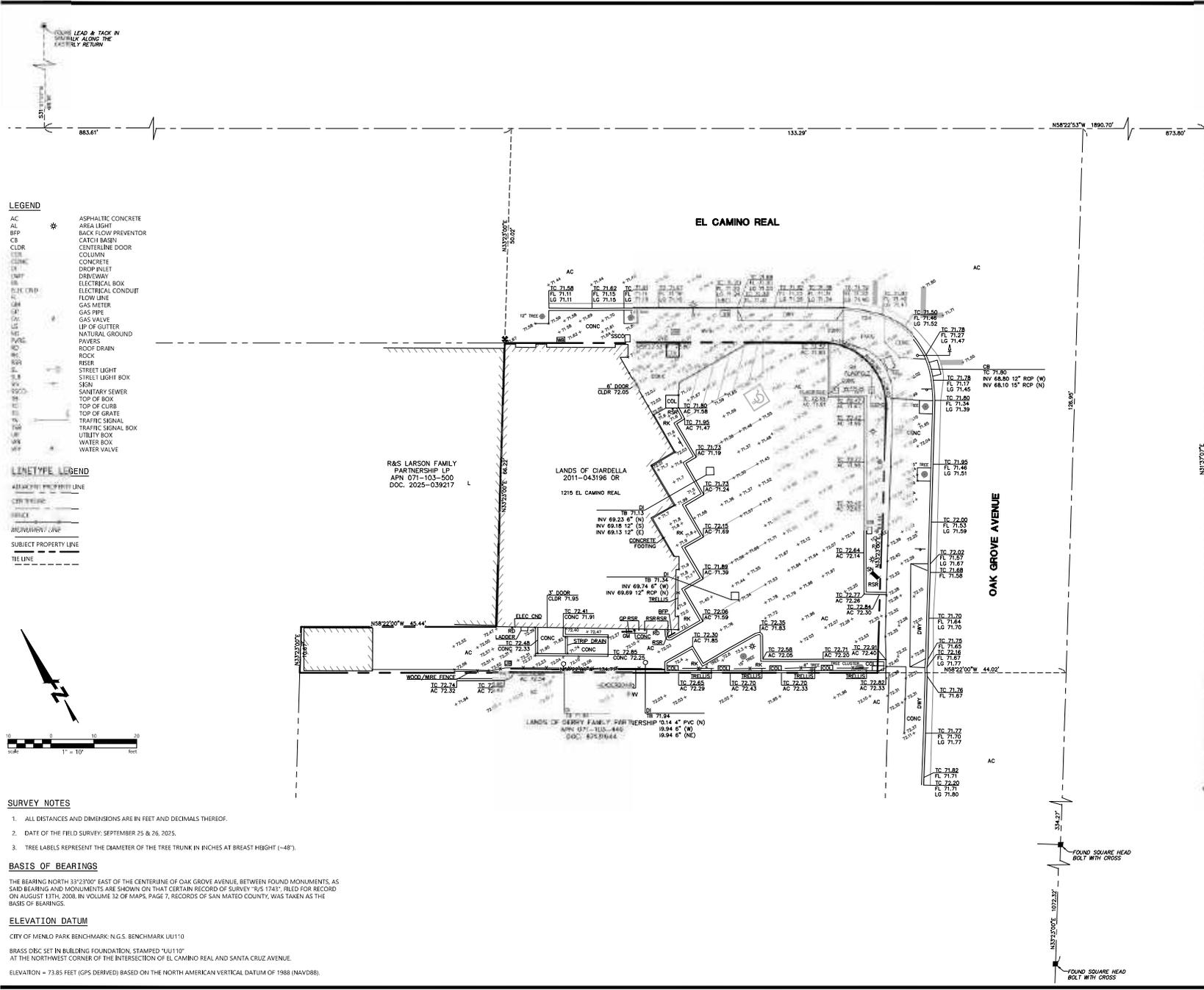
33.4388.001

Description

BOUNDARY & TOPOGRAPHIC SURVEY

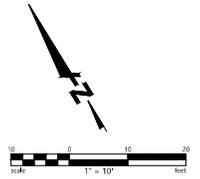
Scale

SV01



- LEGEND**
- * ASPHALTIC CONCRETE
 - AL AREA LIGHT
 - BFP BACK FLOW PREVENTOR
 - CB CATCH BASIN
 - CLDR CENTERLINE DOOR
 - CLM COLUMN
 - CONC CONCRETE
 - DI DROP INLET
 - DRV DRIVWAY
 - EB ELECTRICAL BOX
 - ELEC CONDUIT ELECTRICAL CONDUIT
 - FLW FLOW LINE
 - GM GAS METER
 - GP GAS PIPE
 - GV GAS VALVE
 - LG LIP OF GUTTER
 - NG NATURAL GROUND
 - PV PAVES
 - RD ROOF DRAIN
 - RK ROCK
 - RSR RISER
 - SL STREET LIGHT
 - SLB STREET LIGHT BOX
 - SN SIGN
 - SSS SANITARY SEWER
 - TOB TOP OF BOX
 - TC TOP OF CURB
 - TOG TOP OF GRATE
 - TS TRAFFIC SIGNAL
 - TSB TRAFFIC SIGNAL BOX
 - UB UTILITY BOX
 - WB WATER BOX
 - WV WATER VALVE

- LINE TYPE LEGEND**
- ALAKHPTI PROPERTY LINE
 - CBT EYELINE
 - SUBJECT
 - HUNDREY LINE
 - SUBJECT PROPERTY LINE
 - TE LINE



- SURVEY NOTES**
1. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 2. DATE OF THE FIELD SURVEY: SEPTEMBER 25 & 26, 2025.
 3. TREE LABELS REPRESENT THE DIAMETER OF THE TREE TRUNK IN INCHES AT BREAST HEIGHT (~48").

BASIS OF BEARINGS

THE BEARING NORTH 33°37'00" EAST OF THE CENTERLINE OF OAK GROVE AVENUE, BETWEEN FOUND MONUMENTS, AS SAID BEARING AND MONUMENTS ARE SHOWN ON THAT CERTAIN RECORD OF SURVEY "R/S 1743", FILED FOR RECORD ON AUGUST 13TH, 2008, IN VOLUME 32 OF MAPS, PAGE 7, RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS.

ELEVATION DATUM

CITY OF MENLO PARK BENCHMARK: N.G.S. BENCHMARK UUL110
BRASS DISC SET IN BUILDING FOUNDATION, STAMPED "UUL110"
AT THE NORTHWEST CORNER OF THE INTERSECTION OF EL CAMINO REAL AND SANTA CRUZ AVENUE.
ELEVATION = 73.85 FEET (GPS DERIVED) BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

SHRUBS AND GRASSES



ACHILLEA MOONSHIRE / MOONSHINE YARROW



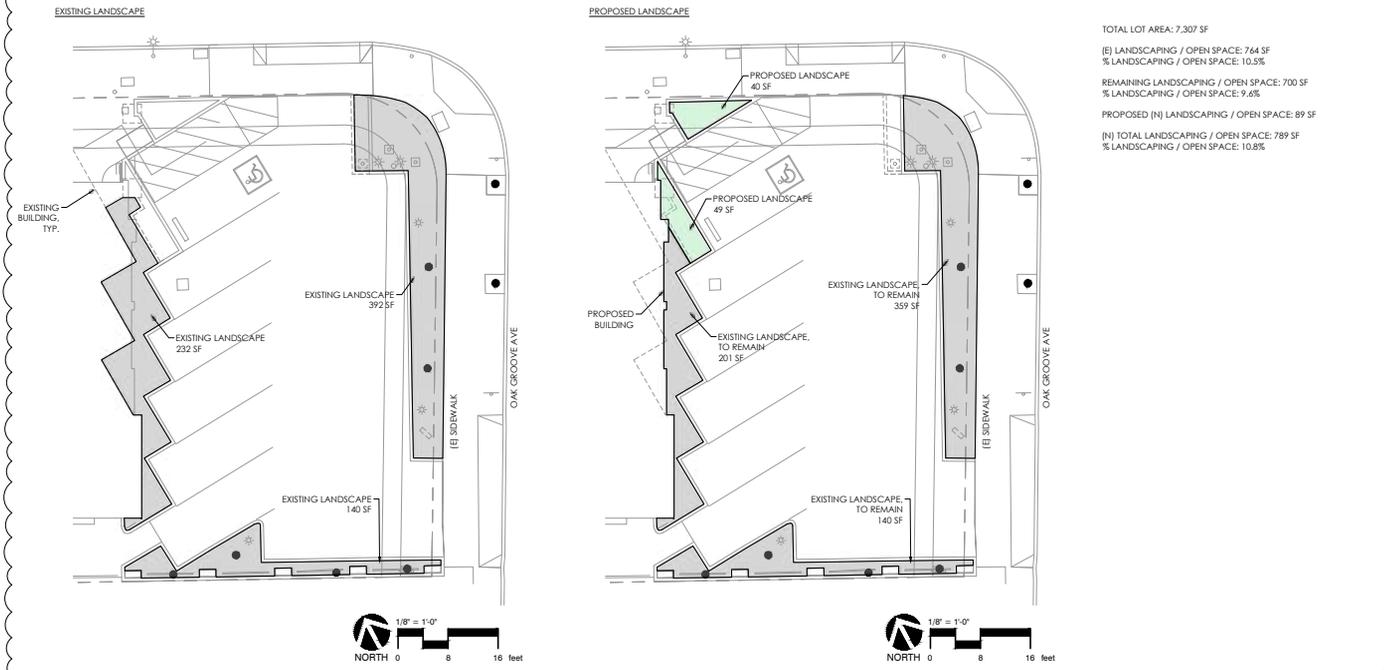
AGAVE X BLUE GLOW / BLUE GLOW AGAVE



LOMANDRA LONGIFOLIA BREEZE / DWARF MAT RUSH



LANDSCAPE / OPEN SPACE



Date	Description
10.17.2025	PLANNING SET
01.08.2026	PLANNING SET RESPONSES
02.13.2026	PLANNING SET RESPONSES 2
02.23.2026	PLANNING SET RESPONSES 3

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

MENLO PARK

Project Number

33.4388.001

Description

LANDSCAPE IMAGE BOARD

Scale

AS INDICATED

L2.0

2101 Webster Street
Suite 2000
Oakland CA 94612
USA

Tel 510.625.7400
Fax 510.625.7499



March 16, 2026

City of Menlo Park
Attn: Planning Division
701 Laurel Street
Menlo Park, CA 94025

Subject: Proposed Citibank, 1215 El Camino Real
Project Description
Project Number: 33.4388.001
File Code: 3PD

Dear Planning Reviewer:

This project proposes the development of a new Citibank bank location in an existing building that was previously occupied by First Republic Bank. The existing building had the exterior remodeled in the late 1990s to the current look with cement plaster pilasters and a low tower element all consistent with the brand look and feel for First Republic Bank. Even the saw-toothed exterior storefront along the parking lot also reflects this brand.

The proposed exterior redesign is to remove these elements associated with the previous brand and to introduce elements consistent with the Citibank brand, while also modernizing the look of the exterior and introducing additional materials. Other than replacing the existing storefronts with new, the structure of the exterior walls will remain as existing. The storefront along the parking lot will be replaced with new, straight storefront and will be full height – from the ground plane to the interior ceiling height of 10'-0". The new storefront along El Camino Real will also extend from the floor to 9'-8" A.F.F. just below the interior ceiling height due to existing structure in the wall.

The building will retain a recessed entry but this will be squared-off, allowing for a larger covered area at the main entry doors facing Oak Grove Avenue. A single door facing El Camino Real allows access to a 24-hour ATM Lobby. The ceiling over this recessed area will have metal panels with a faux wood finish and will extend into the building in the ATM Lobby.

On the exterior of the building, white glazed brick will cover the two ends of the building and wrap up and over a band of blue metal panels that will be the backdrop for the two signs on the building. The two storefronts on the two sides of the building will be recessed from the face of the brick and the solid wall portions will be clad in the same faux wood metal panels as the ceiling over the recessed entry. Finally, just below the blue band will be a brushed, formed metal eyebrow that will provide accent illumination to the above blue panels. The 3 columns at the storefront will be clad in a similar brushed metal panel. We are also applying for Architectural Control approval to make these exterior modifications as well as sign review for the proposed 24" high, internally illuminated sign letters

Please do not hesitate to contact me if you have any questions regarding this application.

Sincerely,

Jeffrey Schmierer, AIA
Senior Associate | Studio Director

Menlo Park El Camino Real/Downtown Specific Plan
 Standards and Guidelines: **Project** Compliance Worksheet

Section	Standard or Guideline	Requirement	Evaluation
E.3.1 Development Intensity			
E.3.1.01	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	N/A - This is not office space
E.3.1.02	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	N/A - This is not medical or dental office space
E.3.2 Height			
E.3.2.01	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	Roof mounted mechanical equipment, solar panels, etc will be screened from view, see line of sight diagrams
E.3.2.02	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	Proposed height of the building is 17'-0".
E.3.2.03	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	No part of the building exceeds maximum height
E.3.3 Setbacks and Projections within Setbacks			
E.3.3.01	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	(E) landscaping to remain along Oak Grove Avenue
E.3.3.02	Standard	Parking shall not be permitted in front setback areas.	There is an existing parking stall already in the front setback area
E.3.3.03	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	Recessed entry is provided.
E.3.3.04	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	No projections from the face of the building
E.3.3.05	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	No projections from the face of the building

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Section	Standard or Guideline	Requirement	Evaluation
E.3.3.06	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	No projections from the face of the building
E.3.3.07	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	No projections from the face of the building
E.3.3.08	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	N/A - No development proposed within these areas.
E.3.4 Massing and Modulation			
E.3.4.1 Building Breaks			
E.3.4.1.01	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	N/A - According to Table E3, building breaks are not allowed in District ECR NW.
E.3.4.1.02	Standard	Building breaks shall be located at ground level and extend the entire building height.	N/A - Building Breaks are not required
E.3.4.1.03	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	N/A - Building Breaks are not required
E.3.4.1.04	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	N/A - Building Breaks are not required
E.3.4.1.05	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	N/A - According to Table E3, building breaks are not allowed in District ECR NW.

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.1.06	Standard	<p>In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall:</p> <ul style="list-style-type: none"> • Comply with Figure E9; • Be a minimum of 60 feet in width, except where noted on Figure E9; • Be a minimum of 120 feet in width at Middle Avenue; • Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue; • Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet. • Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and • Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue. 	<p>N/A - Proposed building is not in the ECR SE District.</p>
E.3.4.1.07	Standard	<p>In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.</p>	<p>N/A - Proposed building is not in the ECR SE District.</p>
E.3.4.1.08	Guideline	<p>In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.</p>	<p>N/A - Proposed building is not in the ECR SE District.</p>
E.3.4.2 Façade Modulation and Treatment			
E.3.4.2.01	Standard	<p>Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the minor vertical façade modulation shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.</p>	<p>N/A - Façade is not being modified from the ground through the roof framing.</p>

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Section	Standard or Guideline	Requirement	Evaluation
E.3.4.2.02	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a major vertical façade modulation shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	N/A - No facade length exceeds 100'.
E.3.4.2.03	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	N/A - No facade length exceeds 100'.
E.3.4.2.04	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	Addition of storefront glazing at recessed entry.
E.3.4.2.05	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	Recessed entry and roof overhang over windows provides shading
E.3.4.3 Building Profile			
E.3.4.3.01	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	N/A - Total building height is less than the maximum facade height.
E.3.4.3.02	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	N/A - Total building height is less than the maximum facade height.
E.3.4.3.03	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	N/A - Total building height is less than the maximum facade height.
E.3.4.3.04	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	N/A - Total building height is less than the maximum facade height.
E.3.4.4 Upper Story Façade Length			
E.3.4.4.01	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	N/A - Total building height is less than 38'.
E.3.5 Ground Floor Treatment, Entry and Commercial Frontage			
Ground Floor Treatment			

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Section	Standard or Guideline	Requirement	Evaluation
E.3.5.01	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	N/A - No gross floor area is being added to this building.
E.3.5.02	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	Greater than 50% of both facade length is clear glazing.
E.3.5.03	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	Entries face El Camino Real and Oak Grove Avenue
E.3.5.04	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	Retail use faces the street
E.3.5.05	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	Retail use faces the street
E.3.5.06	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	Blank walls have been left to a minimum
E.3.5.07	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	N/A - No residential uses in this building.
E.3.5.08	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	Entry into the building is recessed from the street
Building Entries			
E.3.5.09	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	Entry into the building is recessed from the street

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Section	Standard or Guideline	Requirement	Evaluation
E.3.5.10	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	Entry is prominent by being recessed from the rest of the facade.
E.3.5.11	Guideline	Multiple entries at street level are encouraged where appropriate.	Only one entry into this building is appropriate
E.3.5.12	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	N/A - No residential uses in this building.
E.3.5.13	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	N/A - Only one entry / use in this building.
E.3.5.14	Guideline	Building entries are allowed to be recessed from the primary building façade.	Entry into the building is recessed from the primary building facade.
Commercial Frontage			
E.3.5.15	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	Storefronts are recessed more than 6" from the primary building facade.
E.3.5.16	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	Greater than 50% of both facade length is clear glazing.
E.3.5.17	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	Storefront is integrated into the overall design of the facade
E.3.5.18	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	N/A - Only one entry / use in this building.
E.3.5.19	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	Building storefront incorporates windows, an entrance and signage.
E.3.5.20	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	No storefront bay is greater than 20' in length.
E.3.5.21	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	Direct access from sidewalk is provided
E.3.5.22	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	Entry is provided from a covered porch.

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Section	Standard or Guideline	Requirement	Evaluation
E.3.5.23	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	Shutters are not proposed
E.3.5.24	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	Storefronts are not obscured except for a couple of minor elements. Views inside still maintained
E.3.5.25	Guideline	Signage should not be attached to storefront windows.	Signs are not proposed to be installed on storefront windows.
E.3.6 Open Space			
E.3.6.01	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	N/A - Project does not have residential use.
E.3.6.02	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	N/A - Project does not have residential use.
E.3.6.03	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	Existing percentage of open space to be maintained.
E.3.6.04	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	Existing percentage of open space to be maintained.
E.3.6.05	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	N/A - Project does not have residential use.
E.3.6.06	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	(E) landscaping to remain along Oak Grove Avenue
E.3.6.07	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	Plants will be attractive and drought-resistant.
E.3.7 Parking, Service and Utilities			
General Parking and Service Access			

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Section	Standard or Guideline	Requirement	Evaluation
E.3.7.01	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	(E) single driveways to remain
E.3.7.02	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	(E) single driveways to remain
E.3.7.03	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	N/A - No service access or loading docks.
E.3.7.04	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	N/A - No loading docks proposed.
E.3.7.05	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	N/A - No loading docks proposed.
E.3.7.06	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	(E) parking lot and (E) trees to remain.
Utilities			
E.3.7.07	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	(E) utility feeds to remain
E.3.7.08	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	(E) gas and electrical meters are on the rear of the building and not visible to the public.
Parking Garages			
E.3.7.09	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	N/A - Public parking garage is not proposed.
E.3.7.10	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	N/A - Public parking garage is not proposed.

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Section	Standard or Guideline	Requirement	Evaluation
E.3.7.11	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	N/A - Public parking garage is not proposed.
E.3.7.12	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	N/A - Public parking garage is not proposed.
E.3.7.13	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	(E) surface parking lot is for proposed bank customers only due to it's small size.
E.3.7.14	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	N/A - Public parking garage is not proposed.
E.3.8 Sustainable Practices			
Overall Standards			
E.3.8.01	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	Will comply with sustainability codes
Overall Guidelines			
E.3.8.02	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	Will comply with sustainability codes
Leadership in Energy and Environmental Design (LEED) Standards			

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Section	Standard or Guideline	Requirement	Evaluation
E.3.8.03	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis. LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> • Newly constructed residential buildings of Group R (single-family, duplex and multi-family); • Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more; • New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and • Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed. <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	<p>N/A - Project type is not of the project type requiring LEED certification. Project is an existing, small Group B Occupancy less that 5,000 sf in size.</p>
Leadership in Energy and Environmental Design (LEED) Guidelines			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.8.04	Guideline	<p>The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge.</p> <p>The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.</p>	N/A - Project is an existing, small, single building and is not a larger development.
Building Design Guidelines			
E.3.8.05	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	N/A - (E) building footprint to remain.
E.3.8.06	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	Large storefronts are proposed for both major facades
E.3.8.07	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>bris soleils</i> help control solar gain and check overheating. <i>Bris soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	Storefront glazing is set back more than 1'-0" from the primary building facade along El Camino Real (facing NE) and more than 1'-6" along Oak Grove Road (facing SE).
E.3.8.08	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	N/A - This project is on the west side of El Camino Real.
E.3.8.09	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	Operable windows are not provided.

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Section	Standard or Guideline	Requirement	Evaluation
E.3.8.10	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	(E) photovoltaic panels on roof to remain
E.3.8.11	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	N/A - No kitchen facility provided.
Stormwater and Wastewater Management Guidelines			
E.3.8.12	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	Due to (E) HAVC equipment and photovoltaic panels, no room to provide for a green roof.
E.3.8.13	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	(E) parking lot to remain
Landscaping Guidelines			
E.3.8.14	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	(E) mature trees are preserved providing passive cooling
E.3.8.15	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	New proposed plants are drought-tolerant
E.3.8.16	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	Irrigation consistent with Municipal Code Chapter 12.44 will be provided
Lighting Standards			
E.3.8.17	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	New exterior lighting will utilize low cut-off angles and shielding to minimize light pollution
E.3.8.18	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	N/A - No parking garage provided.
Lighting Guidelines			
E.3.8.19	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	New exterior lighting will provide minimum acceptable lighting levels
E.3.8.20	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	New exterior lighting will use LED lighting and Energy Start fixtures
E.3.8.21	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	New exterior lighting will be controlled through building management system scheduling and operate from dusk to dawn
Green Building Material Guidelines			

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Section	Standard or Guideline	Requirement	Evaluation
E.3.8.22	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	Will reuse material and construction where possible
E.3.8.23	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	Will use materials with recycled content where possible
E.3.8.24	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	Will use local and regional materials where possible
E.3.8.25	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	Reusing (E) building on an existing site
E.3.8.26	Guideline	The use of material from renewable sources is encouraged.	Understood

LOCATION: 2031 Santa Cruz Ave.	PROJECT NUMBER: PLN2025-00043	APPLICANT: Hao Wang	OWNER: Fei Cheng
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PROJECT CONDITIONS:

1. The architectural control permit and sign permit shall be subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Gensler, consisting of 14 plan sheets, dated received March 9, 2026, and approved by the Planning Commission on March 23, 2026, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, if applicable, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
 - f. Heritage trees in the vicinity of the construction project shall be retained and/or protected pursuant to the Heritage Tree Ordinance and the tree protection measures identified in the plans prepared by Gensler, consisting of 14 plan sheets, dated received March 9, 2026, and approved by the Planning Commission on March 23, 2026.
 - g. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.
 - h. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application

2. The architectural control permit and sign permit shall be subject to the following **project-specific** conditions:
 - a. Prior to the issuance of a building permit, the applicant shall submit an encroachment permit application for the existing column and enter into an encroachment permit agreement with the City.

LOCATION: 2031 Santa Cruz Ave.	PROJECT NUMBER: PLN2025-00043	APPLICANT: Hao Wang	OWNER: Fei Cheng
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PROJECT CONDITIONS:

- b. The project proponent shall demonstrate compliance with mitigation measures included in the El Camino Real/Downtown Specific Plan Mitigation Monitoring and Reporting Program (MMRP) that are applicable to the project, subject to review and approval by the Community Development and Public Works Departments and applicable City divisions. Timing for compliance documentation shall comply with the requirements in the MMRP.

EL CAMINO REAL/DOWNTOWN SPECIFIC PLAN MITIGATION MONITORING AND REPORTING PROGRAM

Introduction

The California Environmental Quality Act (CEQA) requires the adoption of feasible mitigation measures to reduce the severity and magnitude of significant environmental impacts associated with Plan or Project implementation. The Environmental Impact Report (EIR) for the proposed El Camino Real and Downtown Specific Plan (Specific Plan) includes mitigation measures to reduce the potential environmental effects of the Specific Plan.

CEQA also requires reporting on and monitoring of mitigation measures adopted as part of the environmental review process (Public Resources Code section 21081.6). This Mitigation Monitoring and Reporting Program (MMRP) is designed to aid the City of Menlo Park in its implementation and monitoring of measures adopted from the Specific Plan EIR.

The mitigation measures are taken from the El Camino Real and Downtown Specific Plan EIR. Mitigation measures in this MMRP are assigned the same number they had in the EIR. The MMRP is presented in table format and it describes the actions that must take place to implement each mitigation measure, the timing of those actions, the entities responsible for implementing and monitoring the actions, and verification of compliance.

The Specific Plan contains a variety of policies which are intended in part to mitigate environmental effects of the Plan. These policies will be monitored through a new Architectural Control finding in Section 16.68.020 of the Zoning Ordinance that states “That the development is consistent with any applicable Specific Plan”. The project sponsor will be initially responsible for designing a project that is consistent with the Plan, and the Community Development Department will review all applications within the Specific Plan area to ensure that they are consistent with the Specific Plan.

MITIGATION MONITORING AND REPORTING PROGRAM

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Air Quality					
<p>Impact AIR-1: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants associated with construction activities that could contribute substantially to an air quality violation. (Significant)</p>	<p>Mitigation Measure AIR-1a: During construction of individual projects under the Specific Plan, project applicants shall require the construction contractor(s) to implement the following measures required as part of Bay Area Air Quality Management District's (BAAQMD) basic dust control procedures required for construction sites. For projects for which construction emissions exceed one or more of the applicable BAAQMD thresholds, additional measures shall be required as indicated in the list following the Basic Controls.</p> <p><u>Basic Controls that Apply to All Construction Sites</u></p> <ol style="list-style-type: none"> All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. All haul trucks transporting soil, sand, or other loose material off-site shall be covered. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. All vehicle speeds on unpaved roads shall be limited to 15 mph. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. 	<p>Exposed surfaces shall be watered twice daily.</p> <p>Trucks carrying demolition debris shall be covered.</p> <p>Dirt carried from construction areas shall be cleaned daily.</p> <p>Speed limit on unpaved roads shall be 15 mph.</p> <p>Roadways, driveways, sidewalks and building pads shall be laid as soon as possible after grading.</p> <p>Idling times shall be minimized to 5 minutes or less; Signage posted at all access points.</p> <p>Construction equipment shall be properly tuned and maintained.</p>	<p>Measures shown on plans, construction documents and on-going during demolition, excavation and construction.</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>PW/CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Air Quality (cont.)					
Impact AIR-1 (cont.)	<p>8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.</p> <p><u>Additional Measures for Development Projects that Exceed Significance Criteria</u></p> <p>1. All exposed surfaces shall be watered at a frequency adequate to maintain minimum soil moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe.</p> <p>2. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph.</p> <p>3. Wind breaks (e.g., trees, fences) shall be installed on the windward side(s) of actively disturbed areas of construction. Wind breaks should have at maximum 50 percent air porosity.</p> <p>4. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.</p> <p>5. The simultaneous occurrence of excavation, grading, and ground-disturbing construction activities on the same area at any one time shall be limited. Activities shall be phased to reduce the amount of disturbed surfaces at any one time.</p> <p>6. All trucks and equipment, including their tires, shall be washed off prior to leaving the site.</p> <p>7. Site accesses to a distance of 100 feet from the paved road shall be treated with a 6- to 12-inch compacted layer of wood chips, mulch, or gravel.</p> <p>8. Sandbags or other erosion control measures shall be installed to prevent silt runoff to public roadways from sites with a slope greater than one percent.</p>	<p>Signage will be posted with the appropriate contact information regarding dust complaints.</p> <p>Water exposed surfaces to maintain minimum soil moisture of 12 percent.</p> <p>Halt excavation, grading and demolition when wind is over 20 mph.</p> <p>Install wind breaks on the windward side(s) of disturbed construction areas.</p> <p>Vegetative ground cover shall be planted in disturbed areas as soon as possible.</p> <p>Ground-disturbing construction activities shall not occur simultaneously.</p> <p>Trucks and equipment shall be washed before exiting the site.</p> <p>Cover site access roads.</p> <p>Erosion control measures shall be used.</p>			

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Air Quality (cont.)					
Impact AIR-1 (cont.)	<p>9. Minimizing the idling time of diesel powered construction equipment to two minutes.</p> <p>10. The project shall develop a plan demonstrating that the off-road equipment (more than 50 horsepower) to be used in the construction project (i.e., owned, leased, and subcontractor vehicles) would achieve a project wide fleet-average 20 percent nitrogen oxides reduction and 45 percent particulate matter reduction compared to the most recent ARB fleet average. Acceptable options for reducing emissions include the use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, add-on devices such as particulate filters, and/or other options as such become available.</p> <p>11. Use low volatile organic compound (VOC) (i.e., reactive organic gases) coatings beyond the local requirements (i.e., Regulation 8, Rule 3: Architectural Coatings).</p> <p>12. Requiring that all construction equipment, diesel trucks, and generators be equipped with Best Available Control Technology for emission reductions of nitrogen oxides and particulate matter.</p> <p>13. Requiring all contractors use equipment that meets the California Air Resources Board's most recent certification standard for off-road heavy duty diesel engines.</p>	<p>Idling time of diesel powered equipment will not exceed two minutes.</p> <p>Plan developed that demonstrates emissions from use of off-road equipment during construction will be reduced as specified.</p> <p>Low VOC coatings shall be used.</p> <p>Require Best Available Control Technology for all construction equipment, diesel trucks, and generators.</p> <p>Equipment shall meet standards for off-road heavy duty diesel engines.</p>			
	<p>Mitigation Measure AIR-1b: Each applicant for development projects to be implemented under the Specific Plan for projects that exceed the BAAQMD screening criteria shall develop an Exhaust Emissions Control Plan outlining how construction exhaust emissions will be controlled during construction activities. These plans shall be submitted to the City for review and approval and shall be distributed to all employees and construction contractors prior to commencement of construction activities. The plan shall describe all feasible control measures that will be</p>	<p>Require an Exhaust Emissions Control Plan of each applicant with projects that exceed BAAQMD screening criteria.</p>	<p>Plan approved by City prior to building permit issuance; Measures shown on plans, construction documents and specification and ongoing during construction.</p>	<p>Project sponsors(s) and contractor(s)</p>	<p>CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Air Quality (cont.)					
Impact AIR-1 (cont.)	implemented during construction activities. Feasible control measures may include, but not be limited to, those identified in Mitigation Measure AIR-1a.				
Impact AIR-2: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants from increased vehicle traffic and on-site area sources that would contribute substantially to an air quality violation. (Significant)	Mitigation Measure AIR-2: Mitigation Measure TR-2 of Section 4.13, Transportation, Circulation and Parking, identifies Transportation Demand Management (TDM) strategies to be implemented by individual project applicants, although the precise effectiveness of a TDM program cannot be guaranteed. As the transportation demand management strategies included in Mitigation Measure TR-2 represent the majority of available measures with which to reduce VMT, no further mitigation measures are available and this impact is considered to be significant and unavoidable.	See Mitigation Measure TR-2.			
Impact AIR-5: Implementation of the Specific Plan would locate sensitive receptors in an area of elevated concentrations of toxic air contaminants associated with roadway traffic which may lead to considerable adverse health effects. (Potentially Significant)	Mitigation Measure AIR-5: The Mitigation Monitoring and Reporting Program shall require that all developments that include sensitive receptors such as residential units that would be located within 200 feet of the edge of El Camino Real or within 100 feet of the edge of Ravenswood Avenue, Oak Grove Avenue east of El Camino Real, or Santa Cruz Avenue west of University Avenue shall undergo, prior to project approval, a screening-level health risk analysis to determine if cancer risk, hazard index, and/or PM _{2.5} concentration would exceed BAAQMD thresholds. If one or more thresholds would be exceeded at the site of the subsequent project, the project (or portion of the project containing sensitive receptors, in the case of a mixed-use project) shall be equipped with filtration systems with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher. The ventilation system shall be designed by an engineer certified by the American Society of Heating, Refrigeration and Air-Conditioning Engineers, who shall provide a written report documenting that the system reduces interior health risks to less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD or the City for health risks. The project sponsor shall present a plan to ensure ongoing maintenance of ventilation and filtration systems and shall ensure the	A health risk analysis shall be prepared. If one or more thresholds are exceeded, a filtration system shall be installed; Certified engineer to provide report documenting that system reduces health risks Plan developed for ongoing maintenance and disclosure to buyers and/renters.	Simultaneous with a building permit submittal	Project sponsor(s)	CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Air Quality (cont.)					
Impact AIR-5 (cont.)	disclosure to buyers and/or renters regarding the findings of the analysis and inform occupants as to proper use of any installed air filtration. Alternatively, if the project applicant can prove at the time of development that health risks at new residences due to DPM (and other TACs, if applicable) would be less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD for health risks, or that alternative mitigation measures reduce health risks below any other City-adopted threshold of significance, such filtration shall not be required.				
Impact AIR-6: Implementation of the Specific Plan would locate new sensitive receptors in an area of elevated concentrations of PM2.5 associated with roadway traffic which may lead to considerable adverse health effects. (Potentially Significant)	Mitigation Measure AIR-5 associated with Impact AIR-5 regarding DPM exposure would also reduce PM ₂₅ exposure impacts along El Camino Real and other high volume streets to a less than significant level.	See Mitigation Measure AIR-5.			
Impact AIR-7: Implementation of the Specific Plan would expose sensitive receptors to elevated concentrations of Toxic Air Contaminants (TACs) associated with Caltrain operations which may lead to considerable adverse health effects. (Potentially Significant)	Mitigation Measure AIR-7: The Mitigation Monitoring and Reporting Program shall require that all developments that include sensitive receptors such as residential units that would be located within approximately 1,095 feet of the edge of the Caltrain right-of-way shall undergo, prior to project approval, a screening-level health risk analysis to determine if cancer risk, hazard index, and/or PM2.5 concentration would exceed BAAQMD thresholds. If one or more thresholds would be exceeded at the site of the subsequent project, the project (or portion of the project containing sensitive receptors, in the case of a mixed-use project) shall be equipped with filtration systems with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher. The ventilation system shall be designed by an engineer certified by the American Society of Heating, Refrigeration and Air-Conditioning Engineers, who shall provide a written report documenting that the system reduces interior health risks to less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD or the City for health risks. The project sponsor shall present a	A health risk analysis shall be prepared. If one or more thresholds are exceeded, a filtration system shall be installed; Certified engineer to provide report documenting that system reduces health risks Plan developed for ongoing maintenance and disclosure to buyers and/renters.	Simultaneous with a building permit submittal	Project sponsor(s)	CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Air Quality (cont.)					
Impact AIR-7 (cont.)	plan to ensure ongoing maintenance of ventilation and filtration systems and shall ensure the disclosure to buyers and/or renters regarding the findings of the analysis and inform occupants as to proper use of any installed air filtration. Alternatively, if the project applicant can prove at the time of development that health risks at new residences due to DPM (and other TACs, if applicable) would be less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD for health risks, or that alternative mitigation measures reduce health risks below any other City-adopted threshold of significance, such filtration shall not be required.				
Impact AIR-10: Implementation of the Specific Plan would locate new sensitive receptors near sources of toxic air contaminants which may lead to cumulatively considerable adverse health effects. (Potentially Significant)	Measure AIR-10: The Mitigation Monitoring and Reporting Program shall require that all developments that include sensitive receptors such as residential units that would be located within 1,000 feet around the SRI International campus undergo, prior to project approval, a screening-level health risk analysis to determine if cancer risk, hazard index, and/or PM _{2.5} concentration would exceed BAAQMD thresholds. If one or more thresholds would be exceeded at the site of the subsequent project, the project (or portion of the project containing sensitive receptors, in the case of a mixed-use project) shall be equipped with filtration systems with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher. The ventilation system shall be designed by an engineer certified by the American Society of Heating, Refrigeration and Air-Conditioning Engineers, who shall provide a written report documenting that the system reduces interior health risks to less than 10 in one million, or less than any other threshold of significance adopted by BBAQMD or the City for health risks. The project sponsor shall present a plan to ensure ongoing maintenance of ventilation and filtration systems and shall ensure the disclosure to buyers and/or renters regarding the findings of the analysis and inform occupants as to proper use of any installed air filtration. Alternatively, if the project applicant can prove at the time of development that health risks at new residences due to DPM (and other TACs, if applicable) would be less than 10 in one million, or less than any other threshold of	A health risk analysis shall be prepared. If one or more thresholds are exceeded, a filtration system shall be installed; Certified engineer to provide report documenting that system reduces health risks Plan developed for ongoing maintenance and disclosure to buyers and/renters.	Simultaneous with a building permit submittal.	Project sponsor(s)	CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Air Quality (cont.)					
Impact AIR-10 (cont.)	significance adopted by BAAQMD for health risks, or that alternative mitigation measures reduce health risks below any other City-adopted threshold of significance, such filtration shall not be required.				
Biological Resources					
<p>Impact BIO-1: The Specific Plan could result in the take of special-status birds or their nests. (Potentially Significant)</p>	<p>Mitigation Measure BIO-1a: Pre-Construction Special-Status Avian Surveys. No more than two weeks in advance of any tree or shrub pruning, removal, or ground-disturbing activity that will commence during the breeding season (February 1 through August 31), a qualified wildlife biologist will conduct pre-construction surveys of all potential special-status bird nesting habitat in the vicinity of the planned activity. Pre-construction surveys are not required for construction activities scheduled to occur during the non-breeding season (August 31 through January 31). Construction activities commencing during the non-breeding season and continuing into the breeding season do not require surveys (as it is assumed that any breeding birds taking up nests would be acclimated to project-related activities already under way). Nests initiated during construction activities would be presumed to be unaffected by the activity, and a buffer zone around such nests would not be necessary. However, a nest initiated during construction cannot be moved or altered.</p> <p>If pre-construction surveys indicate that no nests of special-status birds are present or that nests are inactive or potential habitat is unoccupied: no further mitigation is required.</p> <p>If active nests of special-status birds are found during the surveys: implement Mitigation Measure BIO-1b.</p>	<p>A nesting bird survey shall be prepared if tree or shrub pruning, removal or ground-disturbing activity will commence between February 1 through August 31.</p>	<p>Prior to tree or shrub pruning or removal, any ground disturbing activity and/or issuance of demolition, grading or building permits.</p>	<p>Qualified wildlife biologist retained by project sponsor(s)</p>	<p>CDD</p>
	<p>Mitigation Measure BIO-1b: Avoidance of active nests. If active nests of special-status birds or other birds are found during surveys, the results of the surveys would be discussed with the California Department of Fish and Game and avoidance procedures will be adopted, if necessary, on a case-by- case basis. In the event that a special-status bird or protected nest is</p>	<p>If active nests are found during survey, the results will be discussed with the California Department of Fish and Game and avoidance procedures adopted.</p>	<p>Prior to tree or shrub pruning or removal, any ground-disturbing activities and/or issuance of demolition, grading or building permits.</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Biological Resources (cont.)					
Impact BIO-1 (cont.)	<p>found, construction would be stopped until either the bird leaves the area or avoidance measures are adopted. Avoidance measures can include construction buffer areas (up to several hundred feet in the case of raptors), relocation of birds, or seasonal avoidance. If buffers are created, a no disturbance zone will be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted will take into account factors such as the following:</p> <ol style="list-style-type: none"> 1. Noise and human disturbance levels at the Plan area and the nesting site at the time of the survey and the noise and disturbance expected during the construction activity; 2. Distance and amount of vegetation or other screening between the Plan area and the nest; and 3. Sensitivity of individual nesting species and behaviors of the nesting birds. 	Halt construction if a special-status bird or protected nest is found until the bird leaves the area or avoidance measures are adopted.			
Impact BIO-3: Impacts to migratory or breeding special-status birds and other special-status species due to lighting conditions. (Potentially Significant)	<p>Mitigation Measure BIO-3a: Reduce building lighting from exterior sources.</p> <ol style="list-style-type: none"> a. Minimize amount and visual impact of perimeter lighting and façade up-lighting and avoid up-lighting of rooftop antennae and other tall equipment, as well as of any decorative features; b. Installing motion-sensor lighting, or lighting controlled by timers set to turn off at the earliest practicable hour; c. Utilize minimum wattage fixtures to achieve required lighting levels; d. Comply with federal aviation safety regulations for large buildings by installing minimum intensity white strobe lighting with a three-second flash interval instead of continuous flood lighting, rotating lights, or red lighting e. Use cutoff shields on streetlight and external lights to prevent upwards lighting. 	Reduce building lighting from exterior sources.	Prior to building permit issuance and ongoing.	Project sponsor(s) and contractor(s)	CDD

MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Biological Resources (cont.)					
<p>Impact BIO-3 (cont.)</p>	<p>Mitigation Measure BIO-3b: Reduce building lighting from interior sources.</p> <ul style="list-style-type: none"> a. Dim lights in lobbies, perimeter circulation areas, and atria; b. Turn off all unnecessary lighting by 11pm thorough sunrise, especially during peak migration periods (mid-March to early June and late August through late October); c. Use gradual or staggered switching to progressively turn on building lights at sunrise. d. Utilize automatic controls (motion sensors, photo-sensors, etc.) to shut off lights in the evening when no one is present; e. Encourage the use of localized task lighting to reduce the need for more extensive overhead lighting; f. Schedule nightly maintenance to conclude by 11 p.m.; g. Educate building users about the dangers of night lighting to birds. 	<p>Reduce building lighting from interior sources.</p>	<p>Prior to building permit issuance and ongoing.</p>	<p>Project sponsor(s) and Contractor(s)</p>	<p>CDD</p>
<p>Impact BIO-5: The Specific Plan could result in the take of special-status bat species. (Potentially Significant)</p>	<p>Mitigation Measure BIO-5a: Preconstruction surveys. Potential direct and indirect disturbances to special-status bats will be identified by locating colonies and instituting protective measures prior to construction of any subsequent development project. No more than two weeks in advance of tree removal or structural alterations to buildings with closed areas such as attics, a qualified bat biologist (e.g., a biologist holding a California Department of Fish and Game collection permit and a Memorandum of Understanding with the California Department of Fish and Game allowing the biologist to handle and collect bats) shall conduct pre-construction surveys for potential bats in the vicinity of the planned activity. A qualified biologist will survey buildings and trees (over 12 inches in diameter at 4.5-foot height) scheduled for demolition to assess whether these structures are occupied by bats. No activities that would result in disturbance to active roosts will proceed prior to the completed surveys. If bats are discovered during construction, any and all</p>	<p>Retain a qualified bat biologist to conduct pre-construction survey for bats and potential roosting sites in vicinity of planned activity.</p> <p>Halt construction if bats are discovered during construction until surveys can be completed and proper mitigation measures implemented.</p>	<p>Prior to tree pruning or removal or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Biological Resources (cont.)					
Impact BIO-5 (cont.)	<p>construction activities that threaten individuals, roosts, or hibernacula will be stopped until surveys can be completed by a qualified bat biologist and proper mitigation measures implemented.</p> <p>If no active roosts present: no further action is warranted.</p> <p>If roosts or hibernacula are present: implement Mitigation Measures BIO-5b and 5c.</p>				
	<p>Mitigation Measure BIO-5b: Avoidance. If any active nursery or maternity roosts or hibernacula of special-status bats are located, the subsequent development project may be redesigned to avoid impacts. Demolition of that tree or structure will commence after young are flying (i.e., after July 31, confirmed by a qualified bat biologist) or before maternity colonies forms the following year (i.e., prior to March 1). For hibernacula, any subsequent development project shall only commence after bats have left the hibernacula. No-disturbance buffer zones acceptable to the California Department of Fish and Game will be observed during the maternity roost season (March 1 through July 31) and during the winter for hibernacula (October 15 through February 15).</p> <p>Also, a no-disturbance buffer acceptable in size to the California Department of Fish and Game will be created around any roosts in the Project vicinity (roosts that will not be destroyed by the Project but are within the Plan area) during the breeding season (April 15 through August 15), and around hibernacula during winter (October 15 through February 15). Bat roosts initiated during construction are presumed to be unaffected, and no buffer is necessary. However, the "take" of individuals is prohibited.</p>	<p>If any active nursery or maternity roosts or hibernacula are located, no disturbance buffer zones shall be established during the maternity roost and breeding seasons and hibernacula.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>
	<p>Mitigation Measure BIO-5c: Safely evict non-breeding roosts. Non-breeding roosts of special-status bats shall be evicted under the direction of a qualified bat biologist. This will be done by opening the roosting area to allow airflow through the cavity. Demolition will then follow no sooner or later than the</p>	<p>A qualified bat biologist shall direct the eviction of non-breeding roosts.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Biological Resources (cont.)					
Impact BIO-5 (cont.)	following day. There should not be less than one night between initial disturbance with airflow and demolition. This action should allow bats to leave during dark hours, thus increasing their chance of finding new roosts with a minimum of potential predation during daylight. Trees with roosts that need to be removed should first be disturbed at dusk, just prior to removal that same evening, to allow bats to escape during the darker hours. However, the "take" of individuals is prohibited.				
Impact BIO-6a: The Specific Plan could result in impacts to special-status amphibians and reptiles; California red-legged frog, California tiger salamander, and western pond turtle. (Potentially Significant)	<p>Mitigation Measure BIO 6a: The following measures shall be implemented to mitigate the effects of the project on special-status amphibians and reptiles:</p> <p>Staging areas, and all fueling and maintenance of vehicles and other equipment and staging areas shall be at least 100 feet from the riparian corridor of San Francisquito Creek.</p> <p>For any construction that takes place within 100 feet of the riparian corridor of San Francisquito Creek:</p> <ul style="list-style-type: none"> The project sponsor shall install exclusionary fencing, such as silt fences, along San Francisquito Creek and around all construction areas that are within 100 feet of or adjacent to potential California red-legged frog, California tiger salamander, or western pond turtle habitat, which includes San Francisquito Creek and its riparian corridor. Once fencing is in place, it shall be maintained by the project sponsor until completion of construction within or adjacent to the enclosure. Prior to commencement of any earthmoving activities, the project sponsor shall retain a qualified monitoring biologist to train all construction personnel and work crews on the sensitivity and identification of the California red-legged frog, California tiger salamander, and western pond turtle and the penalties for the "take" of these species. In addition, species identification cards shall be provided to all construction personnel. Training sessions shall be conducted for all new employees before they access the Plan area and periodically throughout project construction. 	<p>Buffer areas of at least 100 feet shall be created for the riparian corridor of San Francisquito Creek.</p> <p>Install fencing along San Francisquito Creek and around all construction areas within 100 feet of or adjacent to potential California red-legged frog, California tiger salamander, or western pond turtle habitat.</p> <p>Retain a qualified biologist to train all construction personnel.</p>	Prior to issuance of a grading permit and ongoing during construction	Project sponsor(s) Qualified biologist retained by the project sponsor(s)	CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Biological Resources (cont.)					
Impact BIO-6a (cont.)	<ul style="list-style-type: none"> During project construction the qualified monitoring biologist who is familiar with the identification and life history of California red-legged frog, California tiger salamander, and western pond turtle, and with the appropriate agency authorization, shall be designated to periodically inspect onsite compliance with all mitigation measures, consistent with the training sessions. The qualified monitoring biologist shall perform a daily survey of the San Francisquito Creek and its riparian corridor within 100 feet of the project site during initial ground-breaking activities and during the rainy season. During these surveys, the qualified monitoring biologist shall inspect the exclusion fencing for individuals trapped within the fence and determine the need for fence repair. After ground-breaking activities and during the non-rainy season, the qualified monitoring biologist shall continue to perform daily fence surveys and compliance reviews at the project site. If a California red-legged frog or California tiger salamander is identified in the project work area, all work in the immediate area shall cease and the U.S. Fish and Wildlife Service shall be contacted. Work shall not begin again until so authorized by the U.S. Fish and Wildlife Service. 	<p>Inspection of onsite compliance shall be conducted by a qualified monitoring biologist.</p> <p>Retain a qualified monitoring biologist to perform a daily survey of riparian corridors within 100 feet of the project site.</p> <p>Halt all work in the immediate area if a special-status amphibian is identified and contact the U.S. Fish and Wildlife Service.</p>			
Cultural Resources					
Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)	<p>Mitigation Measure CUL-1: Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:</p> <p>Site-Specific Evaluations: In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.</p> <p>The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary</p>	A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.	Simultaneously with a project application submittal.	Qualified architectural historian retained by the Project sponsor(s).	CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Cultural Resources (cont.)					
<p>Impact CUL-1 (cont.)</p>	<p>of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.</p> <p>Treatment in Accordance with the Secretary of the Interior's Standards. Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings</i> (1995). The <i>Standards</i> require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.</p>				
<p>Impact CUL-2: The proposed Specific Plan could impact currently unknown archaeological resources. (Potentially Significant)</p>	<p>Mitigation Measure CUL-2a: When specific projects are proposed that involve ground disturbing activity, a site-specific cultural resources study shall be performed by a qualified archaeologist or equivalent cultural resources professional that will include an updated records search, pedestrian survey of the project area, development of a historic context, sensitivity assessment for buried prehistoric and historic-period deposits, and preparation of a technical report that meets federal and state requirements. If historic or</p>	<p>A qualified archeologist shall complete a site-specific cultural resources study.</p> <p>If resources are identified and cannot be avoided, treatment plans will be developed to mitigate impacts to less than significant, as specified.</p>	<p>Simultaneously with a project application submittal.</p>	<p>Qualified archaeologist retained by the project sponsor(s).</p>	<p>CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Cultural Resources (cont.)					
Impact CUL-2 (cont.)	unique resources are identified and cannot be avoided, treatment plans will be developed in consultation with the City and Native American representatives to mitigate potential impacts to less than significant based on either the Secretary of the Interior's Standards described in Mitigation Measure CUL-1 (if the site is historic) or the provisions of Public Resources Code Section 21083.2 (if a unique archaeological site).				
	Mitigation Measure CUL-2b: Should any archaeological artifacts be found during construction, all construction activities within 50 feet shall immediately halt and the City must be notified. A qualified archaeologist shall inspect the findings within 24 hours of the discovery. If the resource is determined to be a historical resource or unique resource, the archaeologist shall prepare a plan to identify, record, report, evaluate, and recover the resources as necessary, which shall be implemented by the developer. Construction within the area of the find shall not recommence until impacts on the historical or unique archaeological resource are mitigated as described in Mitigation Measure CUL-2a above. Additionally, Public Resources Code Section 5097.993 stipulates that a project sponsor must inform project personnel that collection of any Native American artifact is prohibited by law.	If any archaeological artifacts are discovered during demolition/ construction, all ground disturbing activity within 50 feet shall be halted immediately, and the City of Menlo Park Community Development Department shall be notified within 24 hours. A qualified archaeologist shall inspect any archaeological artifacts found during construction and if determined to be a resource shall prepare a plan meeting the specified standards which shall be implemented by the project sponsor(s).	Ongoing during construction.	Qualified archaeologist retained by the project sponsor(s).	CDD
Impact CUL-3: The proposed Specific Plan may adversely affect unidentifiable paleontological resources. (Potentially Significant)	Mitigation Measure CUL-3: Prior to the start of any subsurface excavations that would extend beyond previously disturbed soils, all construction forepersons and field supervisors shall receive training by a qualified professional paleontologist, as defined by the Society of Vertebrate Paleontology (SVP), ¹ who is experienced in teaching non-specialists, to ensure they can recognize fossil materials and will follow proper notification procedures in the event any are uncovered during construction. Procedures to be conveyed to workers include halting construction within 50 feet of any potential fossil find and notifying a qualified	A qualified paleontologist shall conduct training for all construction personnel and field supervisors. If a fossil is determined to be significant and avoidance is not feasible, the paleontologist will develop and implement an excavation and salvage plan in accordance with SVP standards.	Prior to issuance of grading or building permits that include subsurface excavations and ongoing through subsurface excavation.	Qualified archaeologist retained by the project sponsor(s).	CDD

¹ SVP, 1995.

MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Cultural Resources (cont.)					
Impact CUL-3 (cont.)	paleontologist, who will evaluate its significance. Training on paleontological resources will also be provided to all other construction workers, but may involve using a videotape of the initial training and/or written materials rather than in-person training by a paleontologist. If a fossil is determined to be significant and avoidance is not feasible, the paleontologist will develop and implement an excavation and salvage plan in accordance with SVP standards. ²				
Impact CUL-4: Implementation of the Plan may cause disturbance of human remains including those interred outside of formal cemeteries. (Potentially Significant)	Mitigation Measure CUL-4: If human remains are discovered during construction, CEQA Guidelines 15064.5(e)(1) shall be followed, which is as follows: <ul style="list-style-type: none"> • In the event of the accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, the following steps should be taken: <ol style="list-style-type: none"> 1) There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until: <ol style="list-style-type: none"> a) The San Mateo County coroner must be contacted to determine that no investigation of the cause of death is required; and b) If the coroner determines the remains to be Native American: <ol style="list-style-type: none"> 1. The coroner shall contact the Native American Heritage Commission within 24 hours; 2. The Native American Heritage Commission shall identify the person or persons it believes to be the most likely descended from the deceased Native American; 3. The most likely descendent may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.98; or 	If human remains are discovered during any construction activities, all ground-disturbing activity within the site or any nearby area shall be halted immediately, and the County coroner must be contacted immediately and other specified procedures must be followed as applicable.	On-going during construction	Qualified archeologist retained by the project sponsor(s)	CDD

² SVP, 1996.

MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Cultural Resources (cont.)					
Impact CUL-4 (cont.)	2) Where the following conditions occur, the landowner or his authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance. <ul style="list-style-type: none"> a) The Native American Heritage Commission is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 48 hours after being notified by the Commission. b) The descendant identified fails to make a recommendation; or c) The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner. 				
Greenhouse Gases and Climate Change					
Impact GHG-1: The Specific Plan would generate GHG emissions, both directly and indirectly, that would have a significant impact on the environment. (Significant)	Mitigation Measure GHG-1: Implement feasible BAAQMD-identified GHG Mitigation Measures and Proposed City CALGreen Amendments. BAAQMD has identified a menu of over 100 available mitigation measures for the purposes of addressing significant air quality impacts, including GHG impacts that arise from implementation of plans including Specific Plans. Many of the GHG reduction measures are already part of the proposed Specific Plan and discussed in the Project Description. Several BAAQMD identified mitigation measures are not applicable to a Specific Plan as they are correlated to specific elements of a general plan. As an example, Table 4.6-5 presents the mitigation measures contained in the BAAQMD CEQA Guidelines related to Land Use elements and either correlates each to a specific element of the project, explains why it is inapplicable to the proposed project or identifies it as a mitigation measure to be implemented by the proposed project. This method was used in consideration of all BAAQMD identified GHG	For project-specific actions: Implement feasible BAAQMD-identified GHG Mitigation Measures. Measures relating to City policies have been incorporated into Specific Plan or otherwise adopted by City (see explanation below regarding applicable measures).	Simultaneous with project application submittal and/or on-going during construction Adopt as part of Specific Plan; verify project compliance simultaneously with project application.	Project sponsor(s) City Council (Plan adoption) Project sponsor(s)	PW/CDD CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Greenhouse Gases and Climate Change (cont.)					
<p>Impact GHG-1 (cont.)</p>	<p>mitigation measures for plans to develop the following list of available mitigation measures (with BAAQMD-identified category) for the proposed Specific Plan:</p> <ul style="list-style-type: none"> • Facilitate lot consolidation that promotes integrated development with improved pedestrian and vehicular access (Land Use Element: Compact Development). The Specific Plan's increased intensities encourage lot consolidation for developers wishing to maximize efficiencies and new standards and guidelines will result in improved pedestrian (Section E.5) and vehicular (Section E.3.7) access. • Ensure that new development finances the full cost of expanding public infrastructure and services to provide an economic incentive for incremental expansion (Land Use Element: Compact Development). Specific Plan Section E.3.1 describes a process for public benefit negotiation to obtain additional financing for public infrastructure beyond required payments for impact fees such as park dedication and Transportation Fees. • Ensure new construction complies with California Green Building Code Standards and local green building ordinances (Land Use Element: Sustainable Development). The City currently requires compliance with both California Green Building Code Standards and locally-adopted amendments citywide. Standard E.3.8.01 states that all citywide sustainability codes or requirements shall apply to the Plan area, unless the Plan area is explicitly exempted, which it is not. • Provide permitting incentives for energy efficient and solar building projects (Land Use Element: Sustainable Development). Section E.3.8 of the Specific Plan provides specific standards and guidelines for sustainable practices. Section E.3.1 would allow for the consideration of public benefit bonus intensity or height if a project were to exceed the standards stated Section E.3.8. 				

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Greenhouse Gases and Climate Change (cont.)					
<p>Impact GHG-1 (cont.)</p>	<ul style="list-style-type: none"> • Support the use of electric vehicles; where appropriate. Provide electric recharging facilities (Circulation Element: Local Circulation; see also Mitigation Measure GHG-2 below). Mitigation Measure GHG-2a (below) has been incorporated into the Specific Plan. • Allow developers to reach agreements with auto-oriented shopping center owners to use commercial parking lots as park-and-ride lots and multi-modal transfer sites (Circulation Element: Regional Circulation). The intent of the Specific Plan is to preserve and enhance community life, character and vitality through public space improvements, mixed use infill projects sensitive to the small town character of Menlo Park and improved connectivity. Auto oriented shopping centers are not envisioned in the Plan area. • Eliminate [or reduce] parking requirements for new development in the Specific Plan area (Circulation Element: Parking). The Final Specific Plan has been modified to provide for lower parking rates in the station area and station area sphere of influence. • Encourage developers to agree to parking sharing between different land uses (Circulation Element: Parking). This is permitted by existing City policies and reinforced in the Specific Plan through allowed shared parking reductions (Section F.8). • Require developers to provide preferential parking for low emissions and carpool vehicles (Circulation Element: Parking). These are included as strategies that may be included in a Transportation Demand Management (TDM) program (Section F.10). • Minimize impervious surfaces in new development and reuse project in the Specific Plan area (Conservation Element: Water Conservation). Section 4.8, <i>Hydrology and Water Quality</i>, of this EIR includes a discussion of existing grading, drainage and hydrology requirements and Specific Plan guidelines to limit impervious surfaces in the Plan area. 				

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Greenhouse Gases and Climate Change (cont.)					
Impact GHG-1 (cont.)	<ul style="list-style-type: none"> Require fireplaces installed in residential development to be energy efficient in lieu of open hearth. Prohibit the installation of wood burning devices (Conservation Element: Energy Conservation). The City of Menlo Park Municipal Code includes Section 12.52, <i>Wood Burning Appliances</i>, to control the use of wood burning devices. Sealing of HVAC ducts. This is a project level BAAQMD measure that requires the developer to obtain third party HVAC commissioning to ensure proper sealing of ducts and optimal heating and cooling efficiencies. BAAQMD estimated that this measure reduces air conditioning electrical demand by 30 percent. The California Energy commission estimates that air conditioning electrical demand represents approximately 20 percent of total demand for a single family residence and this measure would reduce electrical-related GHG emissions by approximately 100 metric tons/year of CO₂e. The City currently requires testing of heating and cooling ducts for all newly constructed buildings. 				
Impact GHG-2: The Specific Plan could conflict with applicable plans, policies or regulations of an agency with jurisdiction over the Specific Plan adopted for the purpose of reducing the emissions of GHGs. (Significant)	Mitigation Measure GHG-2a: All residential and/or mixed use developments of sufficient size to require LEED certification under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.	Install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces	Simultaneous with project application submittal	Project sponsor(s)	CDD
	Mitigation Measure GHG-2b: The City could implement a pilot program in the Specific Plan area to require mandatory commercial recycling, either at all buildings or, at a minimum, at newly constructed buildings. Such a program, identified in the AB 32 Scoping Plan and included in the City's Climate Action Plan (CAP) as a measure for future study, could reduce GHG emissions in the Plan area and, if successful, could be implemented citywide.	Consider feasibility of pilot program. If pilot or permanent program implemented, require commercial recycling in applicable projects	Consider feasibility of pilot program as outlined in CAP. If adopted, simultaneous with project application submittal and ongoing.	Feasibility study: PW If adopted: Project sponsors(s)	PW PW

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Hazards and Hazardous Materials					
<p>Impact HAZ-1: Disturbance and release of contaminated soil during demolition and construction phases of the project, or transportation of excavated material, or contaminated groundwater could expose construction workers, the public, or the environment to adverse conditions related to hazardous materials handling. (Potentially Significant)</p>	<p>Mitigation Measure HAZ-1: Prior to issuance of any building permit for sites where ground breaking activities would occur, all proposed development sites shall have a Phase I site assessment performed by a qualified environmental consulting firm in accordance with the industry required standard known as ASTM E 1527-05. The City may waive the requirement for a Phase I site assessment for sites under current and recent regulatory oversight with respect to hazardous materials contamination. If the Phase I assessment shows the potential for hazardous releases, then Phase II site assessments or other appropriate analyses shall be conducted to determine the extent of the contamination and the process for remediation. All proposed development in the Plan area where previous hazardous materials releases have occurred shall require remediation and cleanup to levels established by the overseeing regulatory agency (San Mateo County Environmental Health (SMCEH), Regional Water Quality Control Board (RWQCB) or Department of Toxic Substances Control (DTSC) appropriate for the proposed new use of the site. All proposed groundbreaking activities within areas of identified or suspected contamination shall be conducted according to a site specific health and safety plan, prepared by a licensed professional in accordance with Cal/OHSA regulations (contained in Title 8 of the California Code of Regulations) and approved by SMCEH prior to the commencement of groundbreaking.</p>	<p>Prepare a Phase I site assessment.</p> <p>If assessment shows potential for hazardous releases, then a Phase II site assessment shall be conducted.</p> <p>Remediation shall be conducted according to standards of overseeing regulatory agency where previous hazardous releases have occurred.</p> <p>Groundbreaking activities where there is identified or suspected contamination shall be conducted according to a site-specific health and safety plan.</p>	<p>Prior to issuance of any grading or building permit for sites with groundbreaking activity.</p>	<p>Qualified environmental consulting firm and licensed professionals hired by project sponsor(s)</p>	<p>CDD</p>
<p>Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)</p>	<p>Mitigation Measure HAZ-3: All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.</p>	<p>Implement best management practices to reduce the release of hazardous materials during construction.</p>	<p>Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>

MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Noise					
<p>Impact NOI-1: Construction activities associated with implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. (Potentially Significant)</p>	<p>Mitigation Measure NOI-1a: Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically-attenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements:</p> <ul style="list-style-type: none"> • Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible; • Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible; and • When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint 	<p>A construction noise control plan shall be prepared and submitted to the City for review.</p> <p>Implement noise control techniques to reduce ambient noise levels.</p>	<p>Prior to demolition, grading or building permit issuance</p> <p>Measures shown on plans, construction documents and specification and on-going through construction</p>	<p>Project sponsor(s) and contractor(s)</p> <p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p> <p>CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Noise (cont.)					
Impact NOI-1 (cont.)	<ul style="list-style-type: none"> and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems. 				
	<p>Mitigation Measure NOI-1b: Noise Control Measures for Pile Driving: Should pile-driving be necessary for a subsequently proposed development project, the project sponsor would require that the project contractor predrill holes (if feasible based on soils) for piles to the maximum feasible depth to minimize noise and vibration from pile driving. Should pile-driving be necessary for the proposed project, the project sponsor would require that the construction contractor limit pile driving activity to result in the least disturbance to neighboring uses.</p>	<p>If pile-driving is necessary for project, predrill holes to minimize noise and vibration and limit activity to result in the least disturbance to neighboring uses.</p>	<p>Measures shown on plans, construction documents and specifications and on-going during construction</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>
	<p>Mitigation Measure NOI-1c: The City shall condition approval of projects near receptors sensitive to construction noise, such as residences and schools, such that, in the event of a justified complaint regarding construction noise, the City would have the ability to require changes in the construction control noise plan to address complaints.</p>	<p>Condition projects such that if justified complaints from adjacent sensitive receptors are received, City may require changes in construction noise control plan.</p>	<p>Condition shown on plans, construction documents and specifications. When justified complaint received by City.</p>	<p>Project sponsor(s) and contractor(s) for revisions to construction noise control plan.</p>	<p>CDD</p>
<p>Impact NOI-3: The Specific Plan would introduce sensitive receptors to a noise environment with noise levels in excess of standards considered acceptable under the City of Menlo Park Municipal Code. (Potentially Significant)</p>	<p>Mitigation Measure NOI-3: Interior noise exposure within homes proposed for the Specific Plan area shall be assessed by a qualified acoustical engineer to determine if sound rated walls and windows would be required to meet the Title 24 interior noise level standard of 45 dBA, L_{dn}. The results of each study shall be submitted to the City showing conceptual window and wall assemblies with Sound Transmission Class (STC) ratings necessary to achieve the noise reductions for the project to satisfy the interior noise criteria within the noise environment of the Plan area.</p>	<p>Interior noise exposure assessed by qualified acoustical engineer and results submitted to City showing conceptual window and wall assemblies necessary to meet City standards.</p>	<p>Simultaneous with submittal for a building permit.</p>	<p>Project sponsors(s) and contractor(s)</p>	<p>CDD</p>

MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Noise (cont.)					
<p>Impact NOI-4: The Specific Plan would expose sensitive receptors to substantial levels of groundborne vibration. (Potentially Significant)</p>	<p>Mitigation Measure NOI-4: Prior to project approval for development within 200 feet of the mainline track, a detailed vibration design study shall be completed by a qualified acoustical engineer to confirm the ground vibration levels and frequency content along the Caltrain tracks and to determine appropriate design to limit interior vibration levels to 75 VdB for residences and 78 VdB for other uses. If required, vibration isolation techniques could include supporting the new building foundations on elastomer pads similar to bridge bearing pads.</p>	<p>A qualified acoustical engineer to complete a vibration design study.</p>	<p>Simultaneous with submittal for a building permit</p>	<p>Qualified acoustical engineer retained by the project sponsor(s)</p>	<p>CDD</p>
<p>Impact NOI-5: Implementation of the Specific Plan, together with anticipated future development in the area in general, would result in a significant increase in noise levels in the area. (Significant)</p>	<p>Mitigation Measures NOI-1 and NOI-3.</p> <p>Mitigation Measure NOI-5: The City should use rubberized asphalt in future paving projects within the Plan area if it determines that it will significantly reduce noise levels and is feasible given cost and durability.</p>	<p>See Mitigation measures NOI-1 and NOI-3.</p> <p>Use rubberized asphalt in future paving projects where feasible and appropriate.</p>	<p>Prior to preceding with repaving projects.</p>	<p>PW and project sponsors, as may be applicable(s)</p>	<p>PW</p>
<p>Impact NOI-6: Anticipated future development of California's High Speed Rail Project would have the potential to expose sensitive receptors within the Specific Plan area to excessive noise levels and groundborne vibration. (Potentially Significant)</p>	<p>Mitigation Measures NOI-3 and NOI-4.</p>	<p>See Mitigation measures NOI-3 and NOI-4.</p>			
Transportation, Circulation and Parking					
<p>Impact TR-1: Traffic from future development in the Plan area would adversely affect operation of area intersections. (Significant)</p>	<p>Mitigation Measure TR-1a: The individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>University Drive (North) and Santa Cruz Avenue:</i></p> <ul style="list-style-type: none"> • Signalization when investigation of the full set of traffic signal warrants indicate that signalization is warranted; and • Interconnecting the new signal with the existing signal at the University Drive (South) and Santa Cruz Avenue. 	<p>Payment of fair share funding.</p> <p>Consider adding to TIF to establish fair share in advance of development application.</p>	<p>Prior to issuance of building permit.</p> <p>At next TIF update</p>	<p>Project sponsor(s)</p>	<p>PW/CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Transportation, Circulation and Parking (cont.)					
Impact TR-1 (cont.)	<p>Mitigation Measure TR-1b: The individual project applicant(s) shall contribute fair-share funding towards the following improvement at the intersection of <i>Middlefield Road and Glenwood Avenue/Linden Avenue</i>:</p> <ul style="list-style-type: none"> • Signalization when investigation of the full set of traffic signal warrants indicate that signalization is warranted. 	<p>Payment of fair share funding.</p> <p>Consider adding to TIF to establish fair share in advance of development application.</p>	<p>Prior to issuance of building permit</p> <p>At next TIF update.</p>	<p>Project sponsor(s)</p> <p>PW</p>	<p>PW/CDD</p> <p>PW</p>
	<p>Mitigation Measure TR-1c: The individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>Middlefield Road and Willow Road</i>, as identified in the City's TIF program:</p> <ul style="list-style-type: none"> • Adding a second westbound left-turn lane; • Modifying the westbound approach to two left-turn lanes, one through lane, and one right-turn lane; and • Changing the signal phasing on the eastbound and westbound approaches from split phasing (each approach has a separate green phase) to protected left-turn phasing (with left-turn arrows). 	<p>Payment of fair share funding.</p>	<p>Prior to building permit issuance.</p>	<p>Project sponsor(s)</p>	<p>PW/CDD</p>
	<p>Mitigation Measure TR-1d: The individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>Orange Avenue/Santa Cruz Avenue and Avy Avenue/Santa Cruz Avenue</i>:</p> <ul style="list-style-type: none"> • Signalization when investigation of the full set of traffic signal warrants indicate that signalization is warranted. 	<p>Payment of fair share funding.</p> <p>Consider adding to TIF to establish fair share in advance of development application.</p>	<p>Prior to building permit issuance.</p> <p>At next TIF update</p>	<p>Project sponsor(s)</p> <p>PW</p>	<p>PW/CDD</p> <p>PW</p>
Impact TR-2: Traffic from future development in the Plan area would adversely affect operation of local roadway segments. (Significant)	<p>Mitigation Measure TR-2: New developments within the Specific Plan area, regardless of the amount of new traffic they would generate, are required to have in-place a City-approved Transportation Demand Management (TDM) program prior to project occupancy to mitigate impacts on roadway segments and intersections. TDM programs could include the following measures for site users (taken from the C/CAG CMP), as applicable:</p>	<p>Develop a Transportation Demand Management program.</p>	<p>Prior to project occupancy.</p>	<p>Project Sponsor(s)</p>	<p>PW/CDD</p>

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Transportation, Circulation and Parking (cont.)					
Impact TR-2 (cont.)	<ul style="list-style-type: none"> • Commute alternative information; • Bicycle storage facilities; • Showers and changing rooms; • Pedestrian and bicycle subsidies; • Operating dedicated shuttle service (or buying into a shuttle consortium); • Subsidizing transit tickets; • Preferential parking for carpoolers; • Provide child care services and convenience shopping within new developments; • Van pool programs; • Guaranteed ride home program for those who use alternative modes; • Parking cashout programs and discounts for persons who carpool, vanpool, bicycle or use public transit; • Imposing charges for parking rather than providing free parking; • Providing shuttles for customers and visitors; and/or • Car share programs. 				
Impact TR-7: Cumulative development, along with development in the Plan area, would adversely affect operation of local intersections. (Significant)	<p>Mitigation Measure TR-7a: The project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>El Camino Real and Glenwood Avenue/Valparaiso Avenue</i> included in the City's TIF program:</p> <ul style="list-style-type: none"> • Add a westbound right-turn lane; and • Modifying the westbound approach to a left-turn lane, a through lane, and a right-turn lane. 	Payment of fair share funding.	Prior to building permit issuance.	Project Sponsor(s)	PW/CDD
	<p>Mitigation Measure TR-7b: The individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>El Camino Real and Menlo Avenue/Ravenswood Avenue</i>:</p> <ul style="list-style-type: none"> • Add a second southbound left-turn lane; 	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency	
Transportation, Circulation and Parking (cont.)						
Impact TR-7 (cont.)	<ul style="list-style-type: none"> Modifying the southbound right-turn lane to a shared through/right-turn lane; Create a southbound receiving lane; Add a third northbound through lane ; Add an eastbound left-turn lane, an eastbound right-turn lane, and modify the eastbound approach to one left-turn lane, two through lanes, and one right-turn lane; and Change the signal phasing on the eastbound and westbound approaches from split phasing to protected left-turn phasing. <p>All of the above measures are included in the City's TIF program except the addition of the third northbound through lane which has been identified as mitigation for other pending development projects in the city.</p>					
	<p>Mitigation Measure TR-7c: The individual project applicant(s) shall contribute fair-share funding towards the following improvement at the intersection of <i>Laurel Street and Ravenswood Avenue</i> identified in the City's TIF program:</p> <ul style="list-style-type: none"> Add an eastbound right-turn lane. 	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD	
	<p>Mitigation Measure TR-7d: Implement Mitigation Measure TR-1a (contribute fair-share funding towards signalization of the intersection of <i>University Drive (North) and Santa Cruz Avenue</i> [when investigation of the full set of traffic signal warrants indicate that signalization is warranted] and interconnection of the new signal with the existing signal at the University Drive (South) and Santa Cruz Avenue).</p>	See Mitigation Measure TR-1a.				
	<p>Mitigation Measure TR-7e: The individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>Middlefield Road and Marsh Road</i>:</p> <ul style="list-style-type: none"> Add a second westbound left-turn lane; and Provide a second receiving lane on the southern leg of the intersection. 	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD	

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Transportation, Circulation and Parking (cont.)					
Impact TR-7 (cont.)	Mitigation Measure TR-7f: Implement Mitigation Measure TR-1b (contribute fair-share funding towards signalization of the intersection of <i>Middlefield Road and Glenwood Avenue/Linden Avenue</i> [when investigation of the full set of traffic signal warrants indicate that signalization is warranted]).	See Mitigation Measure TR-1b.			
	Mitigation Measure TR-7g: The individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>Middlefield Road and Ravenswood Avenue</i> , as identified in the City's TIF program: <ul style="list-style-type: none">• Add a southbound right-turn lane; and• Modify the approach to a through lane and a right-turn lane.	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD
	Mitigation Measure TR-7h: The individual project applicant(s) shall contribute fair-share funding towards the following improvement at the intersection of <i>Middlefield Road and Linfield Drive</i> : <ul style="list-style-type: none">• Signalization when investigation of the full set of traffic signal warrants indicate that signalization is warranted.	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD
	Mitigation Measure TR-7i.1: Implement Mitigation Measure TR-1c (contribute fair-share funding towards adding a second westbound left-turn lane; modifying the westbound approach to two left-turn lanes, one through lane, and one right-turn lane; and changing the signal phasing on the eastbound and westbound approaches from split phasing to protected left-turn phasing at the intersection of <i>Middlefield Road and Willow Road</i> , as identified in the City's TIF program).	See Mitigation Measure TR-1c.			
	Mitigation Measure TR-7i.2: In addition to Mitigation Measure TR-1c, the individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>Middlefield Road and Willow Road</i> , as identified in the City's TIF program: <ul style="list-style-type: none">• Add a second southbound left-turn lane;	See Mitigation Measure TR-1c. Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency	
Transportation, Circulation and Parking (cont.)						
Impact TR-7 (cont.)	<ul style="list-style-type: none"> Modify the southbound approach to two left-turn lanes, one through lane, and one through/right-turn lane; and Change the signal phasing on the northbound and southbound approaches from split phasing to protected left-turn phasing. 					
	<p>Mitigation Measure TR-7j: The individual project applicant(s) shall contribute fair-share funding towards the following improvement at the intersection of Coleman Avenue and Willow Road:</p> <ul style="list-style-type: none"> Restripe the southbound approach to one left-turn lane and one through/right-turn lane. 	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD	
	<p>Mitigation Measure TR-7k: The individual project applicant(s) shall contribute fair-share funding towards the following improvement at the intersection of Durham Street and Willow Road:</p> <ul style="list-style-type: none"> Add a southbound left-turn lane. 	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD	
	<p>Mitigation Measure TR-7l: The individual project applicant(s) shall contribute fair-share funding towards the following improvement at the intersection of Bay Road and Willow Road:</p> <ul style="list-style-type: none"> Add a second southbound left-turn lane. 	Payment of fair share funding	Prior to building permit issuance.	Project sponsor(s)	PW/CDD	
	<p>Mitigation Measure TR-7m: Implement Mitigation Measure TR-1d (contribute fair-share funding towards signalization of the intersection of <i>Orange Avenue/Santa Cruz Avenue and Avy Avenue/Santa Cruz Avenue</i>, when investigation of the full set of traffic signal warrants indicate that signalization is warranted).</p>	See Mitigation Measure TR-1d.				
	<p>Mitigation Measure TR-7n: The individual project applicant(s) shall contribute fair-share funding towards the following improvements at the intersection of <i>El Camino Real and Middle Avenue</i>:</p> <ul style="list-style-type: none"> Add a second northbound left-turn lane; Add a westbound receiving lane; <p>These improvements are identified in the City's TIF program.</p>	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD	

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MITIGATION MONITORING AND REPORTING PROGRAM (continued)

Impact	Mitigation Measure	Monitoring / Reporting Action	Timing	Implementing Party	Monitoring Agency
Transportation, Circulation and Parking (cont.)					
Impact TR-8: Cumulative development, along with development in the Plan area would adversely affect operation of local roadway segments. (Significant)	Mitigation Measure TR-8: Implement TR-2 (TDM Program).	See Mitigation Measure TR-2.			



City of Menlo Park
 Location Map
 1215 El Camino Real



en^{vision}



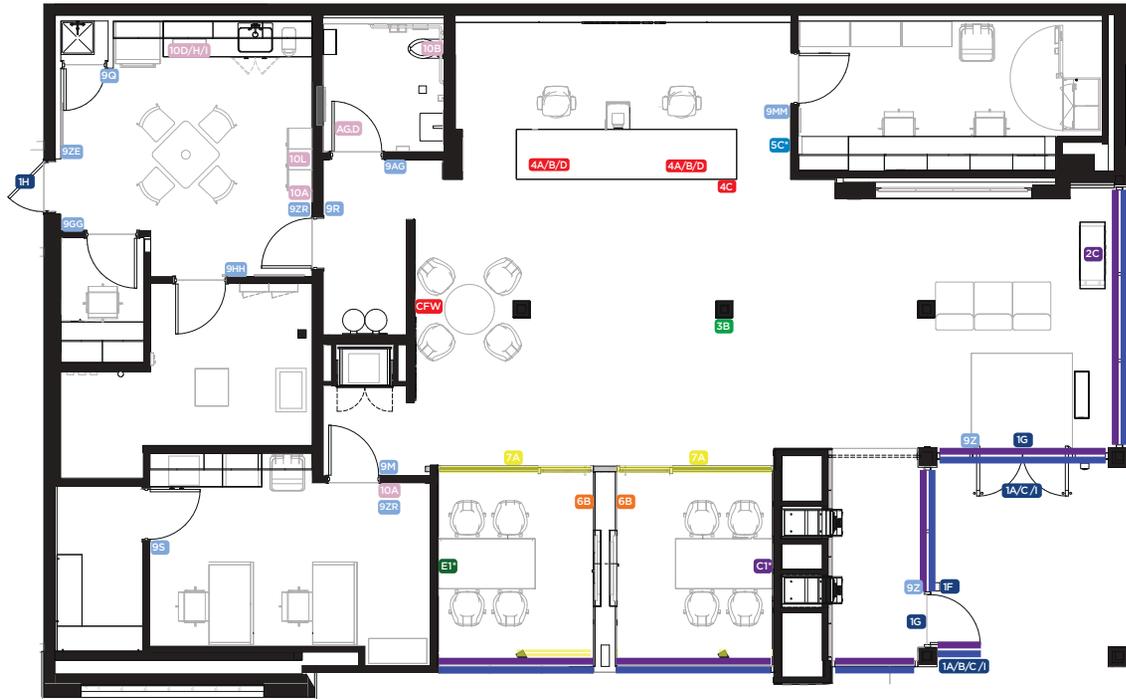
CA000 MENLO PARK - DENOVO - FILM SPECS

1215 EL CAMINO REAL
MENLO PARK, CA 94025

FOR DESIGN INTENT ONLY

12 · 11 · 2025

REQUIRED BRANCH SIGNAGE | MASTER MERCHANDISE PRODUCT KEY - LEGEND



- Entrance / 24-Hour ATMs**
- 1A Tobacco-Free Door Hour Package
 - 1B Safety and Protection Notice
 - 1C Address Numerals
 - 1F ATM Network Logo Graphic Insert and Holder
 - 1G Door(s) to Remain Unlocked During Business Hours Notice
 - 1H Not an Entrance/ Emergency Exit Only Decal
 - 1I Proposition 65 Decal - (CA Market Only)

- Branch Floor / Service Bar**
- 2C Check Writing Desk - Trash / Recycle Icons
 - 3B No Photography or Video Recording Plaque
 - 4A FDIC Consumer Check Clearing Timetable Wedge
 - 4B Next Teller Please Easel
 - 4C ADA Teller ISA Icon
 - 4D Pen Cup Holder

- Branch Floor / Service Bar**
- CFW Community Feature Wall
 - 5C* Equal Housing Lender / Fair Lending Notice / CRA / HMDA / ADA Special Services / U.S. Privacy / Patriot Act / Language Practices / LEED Green Features Notice - (CA)

- Private Briefing Rooms**
- 6B All-in-One Compliance Plaque
 - 7A Dual Feather Gradient Privacy Film

Private Briefing Room Decor

- C1* Collage - Framed Photographs - 86.5" x 45.5"
- E1* Large Format - Framed Photograph - 60" x 40"

Way-Finding Braille

- 9AG All Gender Restroom Identifier
- 9M Staff Only
- 9Q Janitorial Closet
- 9R Team Room
- 9S Storage
- 9Z Exit
- 9ZR Exit Route
- 9ZE Emergency Exit Only
- 9GG Lactation Room
- 9HH IT Closet
- 9MM OPS Room

Way-Finding Non-Braille

- AGD All Gender ADA Restroom Door Sign
- 10A Evacuation Map Plaque
- 10B Restroom Item Disposal Notice Plaque
- 10D Trash Plaque
- 10H Paper / Cardboard Plaque
- 10I Glass / Plastic / Metal Combined Plaque
- 10L ADA Locker ISA Identifier

Security/Safety and Privacy Films

- 3M Ultra PR S70 Security Film - Light Tint (Interior)
- 3M S70X Security Film (Exterior)

*1" Plywood Blocking is to be located directly on top of drywall (surface mounted) and to be set within the 1" foam. Fabric material is to go directly over plywood for finished look.

SECURITY FILM

Exterior Security Film



Long-lasting protection you and your tenants can count on — 3M™ Safety & Security Window Film.

- ▶ Designed for both exterior and interior applications
- ▶ Exterior durability gives you an extended warranty from the most trusted global brand in window films
- ▶ Glass fragment retention film helps hold shattered glass together to protect people, property and possessions from:
 - Spontaneous glass breakage
 - Seismic events
 - Low-force glass impacts
- ▶ Can be combined with 3M™ Impact Protection Adhesive Attachment Systems for additional safety and security
- ▶ Helps extend the life of furnishings by significantly reducing harmful UV rays, the largest cause of fading

	S20X	S40X	S70X
Exterior Use	★★★★★	★★★★★	★★★★★
Spontaneous Glass Breakage	★★★★★	★★★★★	★★★★★
Seismic	★★★★★	★★★★★	★★★★★
Safety Glazing	★★	★★	★★
Anti-Graffiti	★	★★	★★★
Best	★★★★★		
Better	★★★★		
Good	★★★		
Fair	★★		
Not Recommended	★		

In comparison to other 3M™ Safety Window Films.



Superior protection inside and out.



Exterior Safety






Exterior Safety and Security Window Film

- ▶ 3M's extensive weathering knowledge and technical innovations enable durable exterior safety films

Seismic and Spontaneous Glass Breakage

- ▶ Help keep glass fragments from falling from your windows, protecting people and potentially reducing injuries on your property

Safety Glazing and Human Impact

- ▶ Upgrade your glass to meet safety glazing codes*
- ▶ Help protect occupants from broken glass hazards

Anti-Graffiti

- ▶ Protect your glass and your image from vandalism caused by scratching, gouging, tagging or acid etching
- ▶ Less costly and less disruptive than replacing new windows

Common Applications

- ▶ Tempered glass
- ▶ Curtain walls
- ▶ Balcony glass
- ▶ Glass railing systems, guards and balustrades
- ▶ Skylights
- ▶ Safety glazing

Completed Testing

- ▶ ANSI Z97.1
- ▶ 16 CFR CPSC 1201
- ▶ EN 12600
- ▶ JIS A5759

Completed Testing

- ▶ ANSI Z971
- ▶ 16 CFR CPSC 1201
- ▶ EN 12600
- ▶ JIS A5759

Completed Testing

- ▶ ASTM G151
- ▶ ASTM D4830 (puncture strength)
- ▶ ASTM D1044 (abrasion resistance)
- ▶ ASTM D3330 (peel strength)

Film Properties — Nominal

Note: The following technical information and data are based upon 3M testing conditions and should not be used for specification purposes.

Film Type	Film Thickness	Construction	Tensile Strength	Break Strength	Elongation at Break	Peel Strength	Abrasion Resistance
Safety S40X	4 mil (0.1mm)	Single ply	25,000 psi (172 MPa)	100 lbs/in (445 N/25mm)	>15%	>5 lbs/in (22 N/25mm)	5%
Safety S70X	7 mil (0.18mm)	Single ply	25,000 psi (172 MPa)	178 lbs/in (792 N/25mm)	>50%	>5 lbs/in (22 N/25mm)	5%

*Building codes vary, please consult with 3M and your local code official.

Warranty, Limited Remedy and Disclaimer: Many factors beyond 3M's control and uniquely within user's knowledge and control can affect the use and performance of a 3M product in a particular application. User is solely responsible for evaluating the 3M product and determining whether it is fit for a particular purpose and suitable for user's method of application. Unless an additional warranty is specifically stated on the applicable 3M product packaging or product literature, 3M warrants that each 3M product meets the applicable 3M product specification at the time 3M ships the product. 3M MAKES NO OTHER WARRANTIES OR CONDITIONS, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, ANY IMPLIED WARRANTY OR CONDITION OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR ANY IMPLIED WARRANTY OR CONDITION ARISING OUT OF A COURSE OF DEALING, CUSTOM OR USAGE OF TRADE. If the 3M product does not conform to this warranty, then the sole and exclusive remedy is, at 3M's option, replacement of the 3M product or refund of the purchase price. Limitation of Liability: Except where prohibited by law, 3M will not be liable for any loss or damage arising from the 3M product, whether direct, indirect, special, incidental or consequential, regardless of the legal theory asserted, including warranty, contract, negligence or strict liability.

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3M Center, Building 2210-02E-04
St. Paul, MN 55144-0000
3M.com/windowfilm

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98-0150-0737-4

3M SAFETY S70X - EXTERIOR SAFETY FILM

Safety S70X Exterior is designed for use on the exterior surface of windows. It is composed of a transparent and weather stable polyester film, scratch resistant surface and a strong acrylic adhesive.

The film's high tensile strength and elongation at break point increases resistance of the glazing system to impact and pressure. The film also significantly reduces the transmission of UVA and UVB rays which are the main cause of fading.

SECURITY FILM

Interior Security Film



Excellent tear-resistant protection and superior solar control with 3M™ Scotchshield™ Safety & Security Window Film Ultra Prestige Series.

- Combines the benefits of 3M™ Ultra Series with the benefits of 3M™ Prestige Series Window Film
- Tear resistant glass fragment retention film for increased protection of people, property and possessions
- Can be combined with 3M™ Impact Protection Attachment System for additional safety and security
- High visual light transmission providing excellent aesthetics
- Up to 97% infrared rejection providing energy savings and enhanced comfort*
- Low interior and exterior reflectivity enhances views while maintaining exterior appearance
- Helps extend the life of furnishings by significantly reducing harmful UV rays, the largest cause of fading
- Comprehensive warranty from 3M

Break and Entry	★★★★★
Safety Glazing	★★★★★
Seismic	★★★★★
Blast Mitigation	★★★★★
Visible Light Transmission	★★★★★
Low Reflection	★★★★★
Infrared Rejection	★★★★★
Best	★★★★★
Better	★★★★
Good	★★★
Fair	★★
Not Recommended	★

In comparison to other 3M™ Safety & Security Window Films

*IR Rejection as measured from 900-1000nm

Ultimate protection and clarity.



Break and Entry

- Provides precious time by helping to deter unwanted individuals from entering your building or home
- Help protect occupants and assets

Completed Testing — Ultra S600

- EN 356
- Independently evaluated, contact 3M for details

Safety Glazing and Human Impact

- Upgrade your glass to meet safety glazing codes*
- Help protect your occupants from broken glass hazards

Completed Testing

- ANSI Z97.1
- EN 12600
- 16 CFR CPSC 1201

Bomb Blast and Explosion Protection

- Help protect people from flying glass shards, one of the most common causes of blast related injuries and fatalities

Completed Testing

- ASTM F1642
- GSA TS01-2003

Product Performance and Technical Data

Glass Type (All 1/4")	Film Type	Visible Light			Total Solar Energy Rejected (G Value)	Solar Heat Gain Coefficient (G Value)	U Value	Solar Heat Reduction	UV Light Rejected	Glaro Reduction	Visible Light to Solar Heat Gain Ratio	
		Reflected (Interior)	Reflected (Exterior)	Transmitted								
Clear	Ultra PR S70	9%	10%	68%	50%	0.51	1.02	5.8	38%	99.9%	23%	1.4
	Ultra PR S50	7%	9%	48%	56%	0.44	1.02	5.8	46%	99.9%	46%	1.1
Tinted	Ultra PR S70	8%	6%	4%	56%	0.44	1.02	5.8	30%	99.9%	23%	0.9
	Ultra PR S50	7%	6%	29%	60%	0.40	1.02	5.8	37%	99.9%	45%	0.7
Double Clear	Ultra PR S70	13%	16%	6%	44%	0.56	0.47	2.7	20%	99.9%	23%	1.1
	Ultra PR S50	9%	15%	43%	47%	0.53	0.47	2.7	25%	99.9%	46%	0.8
Double Tinted	Ultra PR S70	12%	9%	37%	58%	0.42	0.47	2.7	17%	99.9%	23%	0.9
	Ultra PR S50	9%	9%	26%	60%	0.40	0.47	2.7	21%	99.9%	46%	0.6

3M products are tested to multiple industry standards. Glazing systems vary. Contact 3M for more information. *Building codes vary, please consult with 3M and your local code official.

Film Properties (nominal)

Note: The following technical information and data are based upon limited 3M testing conditions and should not be used for specification purposes.

Film Type	Film Thickness	Construction	Tear Resistance	Tensile Strength	Break Strength	Elongation at Break	Peel Strength	Abrasion Resistance
Ultra Prestige	6 mil (0.22 mm)	Micro-layered	1,100 lbf/in	27,000 psi (186 MPa)	215 lbf/in (956 N/25mm)	100%	> 4 lbf/in (18 N/25mm)	< 3% Δ Haze

Warranty, Limited Remedy and Disclaimer: Many factors beyond 3M's control and uniquely within user's knowledge and control can affect the use and performance of a 3M product in a particular application. User is solely responsible for evaluating the 3M product and determining whether it is fit for a particular purpose and suitable for user's method of application. Unless an additional warranty is specifically stated on the applicable 3M product packaging or product literature, 3M warrants that each 3M product meets the applicable 3M product specification at the time 3M ships the product. 3M MAKES NO OTHER WARRANTIES OR CONDITIONS, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, ANY IMPLIED WARRANTY OR CONDITION OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR ANY IMPLIED WARRANTY OR CONDITION ARISING OUT OF A COURSE OF DEALING, CUSTOM OR USAGE OF TRADE. If the 3M product does not conform to this warranty, then the sole and exclusive remedy is, at 3M's option, replacement of the 3M product or refund of the purchase price. Limitation of Liability: Except where prohibited by law, 3M will not be liable for any loss or damage arising from the 3M product, whether direct, indirect, special, incidental or consequential, regardless of the legal theory asserted, including warranty, contract, negligence or strict liability.

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FPO

envision®

DUAL FEATHER GRADIENT PRIVACY FILM (ITEM 7A)

Dual Feather Gradient Specifications



INTERIOR PBR DUAL FEATHER GRADIENT



DETAILS:

LOCATION:

PBR Offices & Exterior Facing North and Upper East Windows

FILM SIZE:

Varies based on layout

MATERIALS:

Dual Feather Gradient Privacy Film

INSTALLATION:

Applied to interior of glass partitions. Critical for all film to start from the finished floor as shown in illustration



Example of Security Film installation

FPO

envision®



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1215 El Camino Real – Attachment E: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	7,307.0 sf	7,307.0 sf	n/a sf min.
Setbacks			
Front (East/Oak Grove Ave.)	46.8 ft.	46.8 ft.	5.0-8.0 ft. min.-max.
Rear (West)	0.0 ft.	0.2 ft.	20.0 ft. min.
Right Side (North/El Camino Real)	0.2 ft.	0.6 ft.	5.0-8.0 ft. min.-max. (with space for 12-foot sidewalk)
Left Side (South)	10.0 ft.	10.0 ft.	n/a ft. min.-max.
Density	0 du n/a du/acre	0 du n/a du/acre	6.7 du max. 40.0 du/acre max.
FAR (Floor Area Ratio)	2,671.0 sf 36.6 %	2,752.0 sf 37.7 %	8,037.7 sf max. 110.0 % max.
Square footage by floor First Floor	2,671.0 sf	2,597.0 sf	
Open Space	789.0 sf 10.8 %	764.0 sf 10.5 %	1,461.4 sf min. 20.0 % min.
Building height	17.0 ft.	23.2 ft.	50.0 ft. max.
Trees			
	Heritage trees 1	Non-Heritage trees 5*	New Trees 0
	Heritage trees proposed for removal 0	Non-Heritage trees proposed for removal 0	Total Number of Trees 6

*Includes a small tree cluster identified in the southeast corner of the lot on the submitted survey. The tree cluster is counted as one non-heritage tree.



STAFF REPORT

Planning Commission

Meeting Date:

3/23/2026

Staff Report Number:

26-007-PC

Regular Business:

Consider and adopt a resolution recommending the City Council accept the 2025 General Plan Annual Progress Report (APR), including the Housing Element and Environmental Justice Element. Review of the APR is not a project under CEQA.

Recommendation

Staff recommends that the Planning Commission adopt a resolution recommending the City Council accept the 2025 General Plan Annual Progress Report (APR), which includes the Housing Element and Environmental Justice Element. The draft resolution is included as Attachment A and the APR is included in Attachment A, Exhibit A.

Policy Issues

Government Code Sections 65400 and 65700 require all cities and counties to submit an APR on the status of the General Plan and progress in its implementation to their local legislative bodies, the Governor's Office of Land Use and Climate Innovation (LCI) (formerly the Governor's Office of Planning and Research), and, with respect to the Housing Element, the Department of Housing and Community Development (HCD) by April 1 of each year. The APR documents past General Plan-related activities and may identify the timing of upcoming activities, but does not authorize the implementation of new or modified programs, or the expenditure of funds.

Background

A general plan is the blueprint for meeting the community's long-term vision for the future. The APR provides local legislative bodies and the public with information regarding the implementation of the General Plan for their city or county. APRs also inform the public of the progress in meeting the community's goals. This staff report transmits an APR covering all eight elements of the City's General Plan: Land Use, Circulation, Housing, Environmental Justice (EJ), and the combined Open Space/Conservation, Noise and Safety Elements. LCI provides guidance on the suggested content for the General Plan APR, but the guidance allows flexibility so jurisdictions can account for their local contexts, resources and constraints. The APR allows LCI to identify statewide trends in land decision-making and how local planning and development activities relate to statewide planning goals and policies.

The Housing Element APR is used by HCD to track the status and progress of implementing the jurisdiction's adopted Housing Element for the 2023-2031 planning period (also referred to as the 6th Cycle) using standardized forms and definitions adopted by HCD. The APR covers activities during the 2025 calendar year. On March 4, the Housing Commission reviewed and recommended that the City Council accept the 2025 Housing Element APR. The City Council is scheduled to receive the Housing Commission and Planning Commission's feedback and consider acceptance of the 2025 General Plan APR on March 24.

Analysis

The General Plan APR is provided as Attachment A, Exhibit A and describes the City’s pursuit of a variety of measures and activities to implement the General Plan in 2025, with specific reference to individual elements, programs, and action items. Updates regarding the Housing and EJ Elements comprise the majority of the 2025 APR. The APR is a document that reflects the past year’s General Plan-related efforts; it is not intended to establish current or future work priorities for staff.

Housing Element APR and EJ Element APR

While most General Plan element reporting for 2025 is described in Attachment A, Exhibit A, two elements have unique APR reporting mechanisms included as appendices to the General Plan APR. The Housing Element has specific statutory reporting requirements and its APR is provided as Appendix A within the General Plan APR. HCD limits the fields within the forms that City staff is able to complete and modify. Customization, formatting, and scaling of the Housing Element APR tables is restricted and may produce less-than-ideal results in how the document appears when printed and/or displayed in PDF format. Data from previous years is also automatically populated into certain fields, which limits the ability of staff to organize projects listed in Table A2 of Appendix A in chronological order from entitlements to occupancy. The General Plan APR generally refers to the Housing Element APR form for updates on housing-related implementation programs that occurred in 2025.

The EJ Element also has a unique APR reporting mechanism, which is through an update of the EJ Element Action Guide, an implementation tool that is separate from and complementary to the EJ Element, but not part of the General Plan itself. This is the second APR since the EJ Element was adopted in 2024 and the APR implements Programs EJ1.C, EJ7.J, and EJ7.K. The updated EJ Element Action Guide/APR is provided as Appendix B within the General Plan APR. The EJ Element Action Guide is a tool used to manage and coordinate City efforts to accomplish the goals, policies, and programs outlined in the EJ Element. This dual document approach allows for more frequent updating of the Action Guide in response to changing community needs, funding opportunities and ongoing community outreach – particularly input from Menlo Park’s underserved Belle Haven and Bayfront communities – without requiring a General Plan amendment.

Housing Element program implementation accomplishments

The following sections outline key activities and accomplishments during the 2025 Housing Element APR reporting period. Table 1 below highlights efforts to implement Housing Element programs during 2025.¹

Table 1: Housing Element program implementation accomplishments

Program(s)	Activity
Program H1.E (Work with Non-Profits on Housing)	This program commits to continuing the Notice of Funding Availability (NOFA) implementation and maintaining a working relationship with non-profit housing sponsors. In 2025, the City provided Habitat for Humanity of Greater San Francisco a \$3.6 million loan to purchase the site at 335 Pierce Road for the development of an eight-unit low-income, home ownership project. The project is currently under review for entitlements.

¹ For a complete discussion of the progress on Housing Element programs during 2025 see APR Table D.

<p>Program H2.E (Anti-Displacement Strategy)</p>	<p>This program requires the City to develop an anti-displacement strategy for the City, particularly in the Belle Haven neighborhood. Development of an anti-displacement strategy was initiated in 2024 and continued throughout 2025. A bilingual community survey was released, bilingual postcards were mailed to Belle Haven residents, and City staff attended local events and utilized other outreach strategies to help prioritize various anti-displacement strategies throughout the year. Refinement of a draft anti-displacement plan continued based on feedback from outreach, and study sessions were held with the Housing Commission and City Council in September 2025 to share updates and receive further guidance towards finalizing the plan. Final adoption of an anti-displacement plan is anticipated in Spring 2026.</p>
<p>Program H4.A (Amend the Below Market Rate Inclusionary Housing Regulations)</p>	<p>This program requires the City to amend the BMR inclusionary housing regulations to continue providing affordable housing opportunities throughout the community. In October 2025, the Housing Commission reviewed and the City Council adopted amendments to the BMR Housing Program to provide clarification or additional language to create a smoother project review process and to help ensure equity for BMR residents, as an initial step in implementing Program H4.A. The City is planning for a second round of administrative revisions in 2026. More substantial revisions will occur after the conclusion of a County-wide Grand Nexus Study expected to be completed by the end of 2026. This study will evaluate the impacts of development on the need for affordable housing and help determine calculations such as commercial linkage fees and the percentage of inclusionary units to be required in a residential development.</p>
<p>Program H4.G (Prioritize Affordable Housing on City-Owned Parking Lots Downtown)</p>	<p>This program commits to the development of at least 345 affordable housing units on a combination of City-owned parking lots in downtown Menlo Park. In January 2025, the City Council authorized release of an RFQ for the three parking lots, with responses due in March 2025. Seven development teams responded. In September 2025, the City released an RFP to six of the development teams selected by City Council to seek further refinement of potential development on the sites. Three of the development teams responded in December 2025. The selection process is anticipated to continue in 2026.</p>
<p>Program H4.U (Federally-Owned Sites and School Sites)</p>	<p>This program seeks to facilitate residential development on sites owned by the federal government and Ravenswood City School District to achieve new affordable housing units in Menlo Park. A few significant milestones were completed on these sites during the reporting year, including: 1) In early 2025, the City received correspondence from the General Services Administration (GSA) indicating that the United States Geological Service (USGS) site at 345 Middlefield Road would be reoffered for sale by sealed bid auction. Bids were opened in April 2025 and the site was awarded to Presidio Bay Ventures. In early 2026, Presidio Bay applied to redevelop the site with a variety of uses including 670 housing units (inclusive of 101 BMR units) and a childcare center. 2) In 2025, MidPen also continued construction of the Oak Gardens project on the Veterans Affairs campus in Menlo Park. The City Council previously committed \$2 million in BMR NOFA funds to the project in September 2024. The development is anticipated to open in spring 2026. 3) In March 2025, the City Council approved the Ravenswood City School District proposal for 88 units of affordable housing at 320 Sheridan Drive. The City Council previously approved a \$1M commitment for the affordable housing</p>

project in November 2024. Building permits for the development are currently under review.

Housing production

In 2025, the City issued building permits for 102 new dwelling units², which is a decrease compared to 176 units that received building permits in 2024, but an increase over the 65 units permitted in 2023 (the first year of the Housing Element cycle). The amount of housing produced last year can be attributed to various factors, including:

- Development of 61 accessory dwelling units (ADUs)³ throughout the community, which continues to exceed Housing Element projections. ADUs are being constructed as part of new residences and through additions and renovations of existing homes, multifamily buildings, and accessory buildings;
- Interest in SB 9, which is state legislation that allows for residential lot splits and duplexes on single-family lots, with one development and a total of four units permitted in 2025, and five developments with a total of 16 units under review in 2025; and
- Single-family residential redevelopment (often incorporating ADUs) and the effects of the APR unit reporting methodology described in footnote 2 of this report.

An average of approximately 114 units have received building permits annually during the first three years of the Housing Element cycle. In addition, the City continues to process and approve entitlements for developments with hundreds of units. Some projects that received entitlements in previous years have not yet received building permits, such as Willow Village (1,730 units) and 123 Independence Drive (432 units). Other large projects received entitlements in 2025, including:

- The Parkline master plan development on the SRI site (800 units),
- 3705 Haven Avenue (112 units), and
- The Ravenswood School District affordable housing development at 320 Sheridan Drive (88 units).

These projects would contribute to future APR years as building permits are issued. Building permit applications for 123 Independence Drive, 3705 Haven Drive, and 320 Sheridan Drive are currently under review.

As of February 2026, several multifamily residential projects are currently under review, including the former USGS site at 345 Middlefield Road (670 units), 80 Willow Road (665 units), 155 Jefferson Drive (199 units) and 68 Willow Road (50 units). If entitled, pending projects could contribute approximately 1,800 additional units.

As shown in Table 2 below, Menlo Park has achieved approximately 39.1% of its total 6th Cycle RHNA. At the end of 2025, the income category with the highest percentage of units receiving a building permit was the above moderate level, at nearly 60% of the City's above moderate RHNA, and the income category with the lowest percentage of permitted units was the very low income affordability level at approximately 18.5%

² In 2024, HCD modified the instructions used to count units in the APR. Previously, the City reported net new units, meaning the number of new units developed on a site minus the number of units demolished on the site. However, APR instructions currently advise jurisdictions to report all units, not just net-new units. Demolitions that were associated with construction of new units are reported in column 20 of Table A2. As a result, replacement housing on single-family lots now counts towards the City's housing production in the APR.

³ HCD allows Bay Area jurisdictions to use an ADU affordability methodology produced by the Association of Bay Area Governments (ABAG), which assumes the following affordability levels for ADUs in a given APR year: 30% very low-income, 30% low-income, 30% moderate-income, and 10% above moderate-income. The data to support this methodology is provided in Attachment B.

of the City’s very low income RHNA.

Table 2: 6 th Cycle RHNA (2023-2031) progress					
	Very low	Low	Moderate	Above moderate	Total new housing units
6 th Cycle RHNA allocation	740	426	496	1,284	2,946
2025 new units	19	20	18	45	102
Total new units (June 2022-Dec. 2025)	137	119	134	763	1,153
Percent complete	18.5%	27.9%	27.0%	59.4%	39.1%
Remaining RHNA units	603	307	362	521	1,793

In 2025, Menlo Park was not included on the list of jurisdictions required to comply with the state’s Streamlined Ministerial Approval Process (SMAP) (Attachment C), previously referred to as the SB 35 list, a program that allows developers a streamlined approval process for qualifying developments in localities that have not yet met their housing targets. The next SMAP evaluation will occur in June 2027. Menlo Park has not been subject to the SMAP since it was introduced in 2018.

The City will continue to focus on Housing Element programs intended to support existing households and housing units, while also increasing housing production to meet its requirement of 2,946 units, including 1,662 units of affordable housing across different income categories, through 2031.

Environmental Justice (EJ) Element program implementation accomplishments

Table 3 below highlights efforts implementing EJ Element programs during 2025. A broader assessment of the status of implementation programs and action items from 2025 is provided in the EJ APR. The EJ Element Action Guide was updated in Feb. 2026 to summarize activities for the entire 2025 calendar year. An overview of the EJ Element highlights will also be presented at the upcoming City Council Priority Setting Workshop on March 21.

Table 3: EJ Element program implementation accomplishments	
Program(s)	Activity
Program EJ5.G (Anti-Displacement Strategy) commits the City to develop an Anti-Displacement Strategy in line with Housing Element Program H2.E (Anti-Displacement Strategy) and especially in support of underserved communities.	As a continuation of the community outreach for the anti-displacement plan, after conducting the two community meetings in 2024, in early Spring 2025 the City circulated a community survey to get broader feedback on the questions posed in the community meetings. Housing staff gave presentations about the survey to community groups such as the Belle Haven Neighborhood Association and the Belle Haven Climate Change Community Team (BHCCCT) which includes representatives from a number of organizations. The survey included all the considered strategies listed in Program EJ5.G, along with additional strategies to address anti-displacement. The feedback from the survey helped prioritize the various anti-displacement strategies.

	<p>On Sept. 3 and 9, 2025, the Housing Commission and City Council, respectively, conducted study sessions to receive feedback. The City Council meeting was a study session with live interpretation in Spanish to present the initial findings of the plan and also the proposed recommendations of the plan. The Council provided direction on the proposed recommendations. Staff will return to the Council with the draft plan in 2026.</p> <p>The City joined other jurisdictions in the Grand Nexus study. The study will evaluate the City's current inclusionary requirements and will research potential revisions, including requiring lower rents to the affordable units. The study is under way and planned for completion by the end of 2026.</p>
<p>Program E4.B (Food Assistance Outreach) commits the City to inform low-income households and people experiencing homelessness about food assistance programs.</p>	<p>In 2025, the City continued partnering with Second Harvest of Silicon Valley for grocery distribution at BHCC on the second and fourth Thursdays of each month. Library and Community Services provides a community resource guide, including information on available housing, medical, and food support programs that is distributed to families and available at the Menlo Park Library and BHCC. Additionally, the City's Housing Resource Guide highlights food pantries/food assistance services and shelter services and was distributed to RV dwellers regularly parked in the Bohannon Park area.</p> <p>The City also collaborates with the County of San Mateo Department of Housing Encampment Resolution Funding (ERF) Program and WeHope in coordinating food assistance programs for those experiencing unsheltered homelessness in three identified homeless encampments.</p>
<p>Program EJ2.B (Climate Action Plan Implementation) commits the City to implement and periodically update the City's Climate Action Plan (CAP).</p>	<p>The Climate Action Plan (CAP) is subject to annual progress reports and is scheduled for an update in 2028. The City Council received the 2025 progress report outlining priority actions to achieve carbon neutrality by 2030. Most significant efforts in 2025 include expanding the state grant-funded Home Upgrade Services program to enroll more residents, adopting local building code amendments to encourage energy efficiency and electrification, and making significant strides to eliminate fossil fuel use at municipal facilities, such as the installation of solar canopies at the Burgess Campus and Belle Haven Child Development Center.</p> <p>Specifically, gas water heaters at City Hall and the Burgess Pool were replaced with efficient heat pump water heaters through PG&E's Government, K-12 Energy Efficiency Program. Staff also scoped work to replace the final gas water heater at the Arrillaga Family Gymnasium, planned for early 2026. On fleet electrification, the City secured \$2.2 million in grant funding for electric vehicle charging infrastructure for fleet and community vehicles and brought on project management support, with construction planned to begin in 2026.</p> <p>CAP implementation also includes education and outreach, prioritizing bilingual engagement through workshops, door-to-door canvassing, mailers, and community events in Belle Haven and the</p>

Bayfront. The City hosted the Love Our Earth Festival at BHCC alongside partners including 350 Silicon Valley, Acterra, the City of East Palo Alto, Menlo Spark, and Peninsula Clean Energy, offering bike fix-it clinics, information about available incentives and programs, free food, and more. The City also continued implementation of its zero emission landscaping equipment ordinance, which took effect for leaf blowers and string trimmers in July 2024, with remaining equipment — chain saws, lawnmowers, and hedge trimmers — phasing in by Jan. 2029.

Other General Plan elements program implementation accomplishments

Table 4 below highlights efforts implementing programs in other General Plan elements during 2025.

Table 4: Other General Plan elements program implementation accomplishments	
Program(s)	Activity
Safety Element Program S1.Q (Coordinate the General Plan with City Emergency Planning Efforts), Program S1.R (Outreach for Sensitive Populations), Program S1.S (Public Communication), and EJ Element Program EJ7.H (Multilingual and Multimodal Disaster Preparedness)	<p>The City has coordinated a variety of activities to enhance community safety and EJ, described below:</p> <ul style="list-style-type: none"> • In Sept. 2025, the City promoted National Preparedness Month with a focus on different activities to be better prepared as a community. Some of those activities that the City continues to promote are registering for emergency alerts through SMC Alert and joining the Fire District Community Emergency Response Team. • In Oct. 2025, the City partnered with Climate Resilient Communities and local partners to hold a disaster preparedness workshop for the Belle Haven community. The bilingual (English/Spanish) session focused on household disaster preparedness. • The City provides preparedness information throughout the year in various channels such as newsletters, email, social media, and TV ad monitors located within the city to help community members be ready for storms and other disasters. The City also coordinates with other agencies and/or offers programs to inform community members on ways to prepare for disasters. In addition, the City regularly communicates on storm impacts and provides resources to the community to recover.
Noise Element Program N1.C (Consider Noise Impacts in Street Design) and Action Items EJ2.I.2 and EJ2.I.3 (Noise Mitigation)	<p>The City has implemented activities to reduce noise impacts from roadways, described below:</p> <ul style="list-style-type: none"> • Coordination with Caltrans on noise mitigation efforts is ongoing. For local streets, the City incorporates rubberized asphalt concrete (RAC) as a bid alternate on street resurfacing projects impacting arterials and collectors. RAC is composed of recycled tires and is considered a more environmentally friendly material compared to traditional asphalt. RAC can also reduce vehicular noise for speeds of 45 miles per hour or greater. • In 2025, progress continued on the Willow Road/US-101 interchange landscaping work, with construction anticipated in summer 2026. The City also continued to respond to resident requests for street tree plantings to serve as vegetative buffers from freeways. In 2025, three trees were

	planted for this purpose.
Open Space and Conservation Program OSC2.A (Support Regional Open Space, Conservation and Recreational Efforts)	The Flyway Trail, which opened in fall 2024, continues to provide an important new access point to Bedwell Bayfront Park. The trail marked the completion of an approximately decade-long wetland restoration project in the Don Edwards San Francisco Bay National Wildlife Refuge, situated directly adjacent to Bedwell. A pedestrian bridge connects Meta's West Campus (across the Bayfront Expressway) to both the Flyway Trail and the Bay Trail, giving Menlo Park residents easier access to the existing trail network at Bedwell Bayfront Park and other bayside open space preserves. Since the trail's opening, Belle Haven residents have formed a local birdwatching group, and the City continues to explore additional programming opportunities for the Flyway Trail.

Next steps

The APR will be presented to the City Council at the March 24 meeting, and staff will submit the APR to HCD and the LCI by April 1. Moving forward, the City will continue implementation of General Plan programs. With regard to the Housing Element in particular, the City is pursuing amendments to the City's ADU ordinance (H2.D, H3.I, and H4.F); modifications to the City's SB 9 ordinance (H7.B); efforts to advance anti-displacement efforts including a just cause eviction ordinance, access to legal assistance for tenants, and a rental assistance program (H2.E) in coordination with MTC through the Transit-Oriented Communities (TOC) Housing Policies Grants program; and participation in development of a grand nexus study, also funded through the TOC Housing Policies Grants program, to inform updates to BMR housing regulations and guidelines (H4.A, H4.B, and H4.C). The City also continues to explore development including housing on City-owned downtown parking lots per Housing Element program H4.G. With regard to the EJ Element, programs/action items corresponding to the three top community-identified priorities (#1, Provide safe, sanitary, and stable homes; #2, Promote access to high quality and affordable food; and #3, Reduce pollution exposure and improve air quality) will be especially pursued. Efforts at the start of 2026, such as the City Council adoption of a public meeting accessibility policy, align with EJ Element action items EJ7.D.3 and EJ7.D.8 With regard to other General Plan elements, the City will continue implementing programs including, but not limited to, enhancing community safety, implementing the Vision Zero Action Plan, and pursuing initiatives in the Climate Action Plan.

Impact on City Resources

There are no impacts on City resources aside from staff time spent preparing the APR. Implementation of certain General Plan programs may have impacts on staffing resources and require funding to implement, which would be considered as part of the City's annual budget process.

Environmental Review

The APR is not considered a project under the California Environmental Quality Act (CEQA). Implementation of individual General Plan programs may be subject to CEQA, and would be evaluated on a case-by-case basis.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting and through newspaper notice in the Examiner, the City's Weekly Digest and

social media.

Attachments

- A. Draft Planning Commission Resolution recommending acceptance of the 2025 General Plan Annual Progress Report
Exhibit to Attachment A
 - A. 2025 General Plan Annual Progress Report
- B. Hyperlink – Association of Bay Area Governments (ABAG) ADU Affordability Survey Findings and Recommendations Memo: <https://abag.ca.gov/sites/default/files/documents/2026-02/APR-and-ADU-affordability-update-for-jurisdictions-2026.pdf?cb=20d85c66>
- C. Hyperlink – SB 423 Streamlined Ministerial Approval Process (SMAP) Statewide Determination: <https://www.hcd.ca.gov/sites/default/files/docs/planning-and-community/sb423-determination-summary.pdf>

Report prepared by:
Tom Smith, Principal Planner

Report reviewed by:
Mary Wagner, Assistant City Attorney
Deanna Chow, Community Development Director

PLANNING COMMISSION RESOLUTION NO. 2026-0XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK RECOMMENDING THAT THE CITY COUNCIL RECEIVE AND ACCEPT THE 2025 GENERAL PLAN ANNUAL PROGRESS REPORT AND AUTHORIZE STAFF TO SUBMIT THE REPORT TO THE GOVERNOR'S OFFICE OF LAND USE AND CLIMATE INNOVATION AND DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT.

WHEREAS, California Government Code Sections 65400 and 65700 requires all cities and counties to provide an annual report to the City Council, the Governor's Office of Land Use and Climate Innovation (LCI), and, with respect to the Housing Element, the Department of Housing and Community Development (HCD) regarding progress toward implementation of the City's General Plan; and

WHEREAS, Planning staff has prepared an annual progress report for the 2025 calendar year describing the City's measures and activities to implement all eight elements of the City's General Plan, namely, the Land Use, Circulation, Housing, Environmental Justice, and Open Space/Conservation, Noise and Safety Elements; and

WHEREAS, the 2025 General Plan Annual Progress Report (APR) is not considered a project under the California Environmental Quality Act (CEQA); and

WHEREAS, all required public notices and public meetings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public meeting held on March 4, 2026, the Housing Commission reviewed and recommended to the City Council acceptance of the 2025 Housing Element APR; and

WHEREAS, at a duly and properly noticed public meeting held on March 23, 2026, the Planning Commission reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Recommendation to City Council. The Planning Commission of the City of Menlo Park, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby recommend the City Council receive and accept the 2025 General Plan Annual Progress Report, attached and incorporated as Exhibit A, and authorize staff to submit the report to the Governor's Office of Land Use and Climate Innovation and, with respect to the Housing Element, the Department of Housing and Community Development, pursuant to California Government Code Sections 65400 and 65700.

Section 3. Environmental Review. The 2025 General Plan Annual Progress Report is not considered a project under the California Environmental Quality Act (CEQA).

I, Corinna Sandmeier, Principal Planner of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on March 23, 2026, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this ___ day of March, 2026.

PC Liaison Signature

Corinna Sandmeier
Principal Planner
City of Menlo Park

Exhibit

A. 2025 General Plan Annual Progress Report



2025

CITY OF MENLO PARK GENERAL PLAN ANNUAL PROGRESS REPORT

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1. Introduction

1.1 – About the General Plan

The General Plan is a legal document, required by state law, which serves as the city's "constitution" for development and the use of its land. It is a comprehensive, long-term document, guiding physical development of the city.

The City of Menlo Park's General Plan embodies nine Guiding Principles, which describe the kind of place that community members want Menlo Park to be. The goals, policies and programs promote the values established in the Guiding Principles. The City's Guiding Principles are as follows:

Citywide Equity

Menlo Park neighborhoods are protected from unreasonable development and unreasonable cut-through traffic, share the benefits and impacts of local growth, and enjoy equal access to quality services, education, public open space, housing that complements local job opportunities with affordability that limits displacement of current residents, and convenient daily shopping such as grocery stores and pharmacies.

Healthy Community

Everyone in Menlo Park enjoys healthy living spaces, high quality of life, and can safely walk or bike to fresh food, medical services, employment, recreational facilities, and other daily destinations; land owners and occupants take pride in the appearance of property; Menlo Park achieves code compliance and prioritizes improvements that promote safety and healthy living; and the entire city is well-served by emergency services and community policing.

Competitive and Innovate Business Destination

Menlo Park embraces emerging technologies, local intelligence, and entrepreneurship, and welcomes reasonable development without excessive traffic congestion that will grow and attract successful companies and innovators that generate local economic activity and tax revenue for the entire community.

Corporate Contribution

In exchange for added development potential, construction projects provide physical benefits in the adjacent neighborhood (such as Belle Haven for growth north of US 101), including jobs, housing, schools, libraries, neighborhood retail, childcare, public open space, high speed internet access, and transportation choices.

Youth Support and Education Excellence

Menlo Park children and young adults have equal access to excellent childcare, education, meaningful employment opportunities, and useful training, including internship opportunities at local companies.

Great Transportation Options

Menlo Park provides thoroughly-connected, safe and convenient transportation, adequate emergency vehicle access, and multiple options for people traveling by foot, bicycle, shuttle, bus, car, and train, including daily service along the Dumbarton Rail Corridor.

Complete Neighborhoods and Commercial Corridors

Menlo Park neighborhoods are complete communities, featuring well integrated and designed development along vibrant commercial corridors with a live-work-play mix of community-focused businesses that conveniently serve adjacent neighborhoods while respecting their residential character.

Accessible Open Space and Recreation

Menlo Park provides safe and convenient access to an ample amount of local and regional parks and a range of public open space types, recreational facilities, trails, and enhancements to wetlands and the Bay.

Sustainable Environmental Planning

Menlo Park is a leader in efforts to address climate change, adapt to sea-level rise, protect natural and built resources, conserve energy, manage water, utilize renewable energy, and promote green building.

1.2 – About the Annual Progress Report

In accordance with Government Code Sections 65400 and 65700, the City of Menlo Park has prepared a General Plan Annual Progress Report (APR) for the 2025 reporting year.¹ This mandatory report provides a comprehensive overview of the City's General Plan implementation efforts and progress made during the past calendar year. The APR is a transparent accountability mechanism, offering the community insight into how local land use decisions and planning and development activities align with adopted goals and policies.

The APR has been prepared for submission to the Menlo Park City Council, the Governor's Office of Land Use and Climate Innovation (LCI), and the Department of Housing and Community Development (HCD) by the April 1, 2026 deadline. This document details the City's achievements in implementing various elements of the General Plan, with special emphasis on Menlo Park's Environmental Justice (EJ) Element, adopted in 2024, and the statutory requirements of the Housing Element.

2. APRs / Acceptance by Local Legislative Body

The Housing Element APR was presented to the City of Menlo Park Housing Commission on March 4, 2026. The General Plan APR (including the Housing Element APR) was presented to the Menlo Park Planning Commission on March 23, 2026 and the Menlo Park City Council, the City's legislative body, on March 24, 2026.

3. Recent Updates to the General Plan

California Government Code Section 65302 requires that all general plans include elements that address the following policy areas: land use, circulation, housing, conservation, open space, noise, safety, and EJ. The [City of Menlo Park General Plan](#) includes an element for each policy

¹ The APR generally follows the format and includes the general contents encouraged by LCI in its [Annual Progress Report Memo – 2025 Reporting Year](#) document.

area individually, or grouped, as listed below. The list indicates the original adoption date and the most recent amendment date for each element, as applicable.

3.1 – Land Use Element

The current Land Use Element was first adopted in 2016 as part of the ConnectMenlo General Plan Update, and includes a regional land use framework, discusses the overall City’s land use composition and defines the General Plan land use designations and goals, policies and programs. The General Plan Land Use Element reflects the existing pattern of land use in the City and embodies the community’s vision. The Land Use Element also encourages healthy and sustainable living, both economically and environmentally.

- In September 2025, the Land Use Element was modified in relation to the [Parkline Master Plan Project](#) (201, 301 and 333 Ravenswood Avenue and 555 and 565 Middlefield Road). The amendments (1) added the newly-created Administrative, Professional and Research Special (C-1-S) Zoning District to the Commercial/Professional and Administrative Offices General Plan Land Use Designation in Table 1; (2) revised the description of “Professional and Administrative Office” to add “neighborhood-serving retail and services” as a compatible use, revised the maximum floor area ratio (FAR) for non-residential uses from 40% to 50%, and added that for large, master-planned developments involving multiple contiguous parcels, residential density and the non-residential FAR may be aggregated across the project area, as identified in the applicable zoning district; and (3) updated the acreage totals and percentages in Table 1, including removing one acre from the Residential land use designation and adding it to the Commercial land use designation. In addition, the land use designation for the parcel at 201 Ravenswood Avenue was changed from Residential to Commercial in the General Plan Land Use Map, Figure 5 of the Land Use Element.

3.2 – Circulation Element

The current Circulation Element was first adopted in 2016 and describes distinct transportation and mobility issues and opportunities the Menlo Park community is likely to face, as well as key strategies for addressing them. The focus and vision for mobility in Menlo Park increasingly provides transportation options for residents and employees, to improve access to a safe and connected network of facilities, encourage physical activity and health, and reduce greenhouse gas emissions.

- The most recent amendment to the Circulation Element occurred in August 2023, and modified street classifications to incorporate an Alley designation under the Local Access street classification, and allow for the City Council to consider street closures for streets in the Main Street and Local Access classifications.

3.3 – Housing Element

The 2023-2031 Housing Element was first adopted in January 2023. HCD provided certification for the Housing Element in March 2024. The Housing Element responds to current and near-term future housing needs in Menlo Park and provides a framework for the community’s longer-term approach to address housing needs. The Housing Element contains goals, information,

and strategic directions (policies and implementing programs with objectives) that the City is committed to undertaking together with the community and other stakeholders to provide for the production, protection and preservation of housing.

- Amendments to the Housing Element were adopted in January 2024 for conformance with the conditionally-certified version of the Housing Element approved by HCD. The amendments addressed the topics of racially concentrated areas of affluence (RCAAs); disproportionate housing needs including displacement; contributing factors to fair housing issues; progress in meeting the city's regional housing needs allocation (RHNA); development on small and large sites; suitability of nonvacant sites; City-owned sites, federally-owned and school sites; environmental constraints; the electronic sites inventory; zoning for a variety of housing types (emergency shelters); actions, programs, metrics and milestones; density bonuses; fees and exactions; local processing and permitting procedures; shortfall of adequate sites; constraints on housing for persons with disabilities; land use controls; and specific quantified objectives.

3.4 – Open Space/Conservation, Noise and Safety Elements

The current combined Open Space/Conservation, Noise and Safety Elements were first adopted in 2013 and reflect important community issues and state laws related to environmental conditions in Menlo Park. The elements focus on providing direction regarding how to protect community safety and to maintain a clean and healthy environment including air and water quality, noise, greenhouse gas, conservation of energy and minimizing impacts of development in hazardous or environmentally sensitive habitat areas.

- The most recent amendment to the Safety Element occurred in September 2024. The purpose of the Safety Element is to identify how to reduce potential risks of injury, property damage, and economic and social disruptions resulting from natural and human-made hazards. Since its adoption, state laws were enacted that require Safety Elements to address climate change adaptation and resiliency and give increased attention to wildfire and evacuation routes. The update to the Safety Element was focused on these topics in response to state law and for consistency with other local documents such as the City's Climate Action Plan and the County's Multijurisdictional Local Hazard Mitigation Plan (MJLHMP).
- The Open Space/Conservation and Noise Elements have not been amended since they were adopted in May 2013.

3.5 – Environmental Justice Element

The City's first EJ Element was adopted in September 2024, following three years of community outreach and engagement with a focus on meeting people where they are and empowering the voices of Menlo Park's underserved Belle Haven and Bayfront communities. The EJ Element includes seven community-identified goals, with Goals 2, 4 and 5 as the top three priorities:

- Goal EJ1: Address unique and compounded health risks;
- Goal EJ2: Reduce pollution exposure and improve air quality;
- Goal EJ3: Equitably provide public facilities to individuals and communities;
- Goal EJ4: Promote access to high quality and affordable food;
- Goal EJ5: Provide safe, sanitary and stable homes;

- Goal EJ6: Encourage physical activity and active transportation; and
- Goal EJ7: Create equitable civic and community engagement.

The EJ Element is intended to evolve with and reflect the community’s needs over time.

- The EJ Element has not been amended since it was adopted in September 2024.

4. Measures Associated with Implementation of the General Plan

2025 Highlights

The City undertook a variety of measures, initiatives and plans to implement the General Plan in 2025. The items below are policy documents approved in recent years to implement efforts related to one or more elements of the City’s General Plan. Additional specific implementation programs and actions are described in section 9 of this APR, with reference to individual elements, programs, and action items.

El Camino Real/Downtown Specific Plan

In November 2023, the [El Camino Real/Downtown Specific Plan](#) was amended for consistency with the certified Housing Element and amended Land Use Element, including increased densities, heights, and changes to other design standards to encourage housing production.

Vision Zero Action Plan

In January 2024, the City adopted the [Vision Zero Action Plan](#) as a blueprint to implement the City’s Vision Zero policy to eliminate all traffic fatalities and serious injuries by 2040. Vision Zero is an integrated set of policies, plans and programs based on the philosophy that fatal collisions are unacceptable and often preventable. The project includes a detailed analysis of safety data and robust outreach to prioritize policies, programs, and infrastructure improvements to enhance safety in Menlo Park.

2030 Climate Action Plan

In August 2024, the City’s [2030 Climate Action Plan](#) was amended to include a new scope of work for 2025-2030, including policy and program options to convert 95% of existing buildings to all-electric energy by 2030; setting a citywide goal for increasing electric vehicles (EVs) and decreasing gasoline sales; expanding access to EV charging for multifamily and commercial properties; reducing vehicle miles traveled (VMT) by 25% or an amount recommended by the City’s Complete Streets Commission; eliminating the use of fossil fuels in municipal operations; and developing a climate adaptation plan to protect the community from sea level rise and flooding.

Plans Under Development in 2025

Plans under development in 2025 included the Anti-Displacement Plan to implement programs in the Housing Element and EJ Element; the 2025 Urban Water Management Plan to support implementation of the Land Use Element, Housing Element, and combined Open Space/Conservation, Noise and Safety Elements; and the Downtown Parking Management Plan to support implementation of the Circulation Element. Development of the 2026 Local Hazard Mitigation Plan also began in late 2025.

5. Housing Element APR Reporting Requirements

The City of Menlo Park submitted its 2025 Housing Element APR in accordance with Government Code Sections 65400, 65583 and 65584, and HCD's housing element guidelines on or by April 1, 2026. The City's Housing Element APRs can be found on the [City's Housing Element Annual Progress Reports webpage](#).

6. General Plan Compliance with LCI's *General Plan Guidelines*

The City of Menlo Park General Plan complies with LCI's *General Plan Guidelines*.

- The City adopted its first-ever EJ Element in 2024, which was prepared in accordance with the requirements of Senate Bill (SB) 1000 and the *Guidelines*.
- The city does not contain any military bases, installations, or operating or training areas.
- The city consults with tribal communities on applicable projects, as required by SB 18, Assembly Bill (AB) 52, and AB 130.

7. Local Priorities for Land Use Decision-Making

No moratoria or emergency ordinances were adopted in conjunction with implementation of the General Plan in 2025.

8. Changes to Goals, Policies, Objectives, Standards or Other Plan Proposals

No General Plan element goals, policies, objectives, or standards were modified in 2025, except those described in Section 3.1 of this APR.

9. Implementation of the General Plan

9.1 – Land Use Element

Background

The Land Use Element guides the physical development of the community and includes goals, policies, and programs supporting residential and commercial neighborhoods, and embraces opportunities for mixed land uses to facilitate live/work/play environments.

Implementation Highlights

In 2025, 1350 Adams Court received final inspections, and is the first life sciences building completed under the land use regulations from the 2016 ConnectMenlo General Plan Update. Building permits are in review for tenant improvements for research and development (R&D), laboratory, and office spaces in the building. The on-site improvement plans, final map, and off-site improvements plans continued to be reviewed for the Willow Village mixed-use masterplan development project.

During 2025, the City approved entitlements for multiple complex development projects, including the following:

- 320 Sheridan Drive: 88-unit 100% affordable housing development project
- 3705 Haven Avenue: 112-unit multifamily residential project
- Parkline Master Plan: Up to 800 dwelling units (inclusive of 154 affordable units), 925,000 square feet of office/R&D uses, and 75,000 square feet of commercial amenity or commercial/retail uses

Large projects under review for entitlements included:

- 335 Pierce Road: 8-unit 100% affordable ownership housing development project
- 888 El Camino Real: 41 multifamily units
- 68 Willow Road: 50 townhome-style units
- Fire Station 1 (300 Middlefield Road): Construction of new fire station, training tower and district operations center
- 80 Willow Rd.: 665 residential units, 301,000 square feet of office, 130 hotel rooms, 17,000 square feet of retail, and a preschool
- El Camino Real/Downtown Specific Plan amendments to modify allowed land uses, particularly in the Downtown/Station Area “Main Street” Overlay land use designation along Santa Cruz Avenue, and other complementary amendments

9.2 – Circulation Element

Background

The Circulation Element describes distinct issues and opportunities the Menlo Park community is likely to face during the 2040 horizon of the General Plan, as well as key strategies for addressing them. The focus of the goals, policies, and programs is to create the most functional circulation system possible for the full range of users and travel modes.

Implementation Highlights

The City has conducted activities to enhance circulation for all modes of travel, implementing programs such as CIRC-1.A (Pedestrian and Bicyclist Safety), CIRC-1.B (Safe Routes to Schools), CIRC-2.C (Transportation Master Plan), CIRC-2.D (Pedestrian and Bicycle Facility Maintenance), and CIRC-2.E (Bikeway System Planning):

- In 2024, the City adopted the Vision Zero Action Plan as a blueprint to implement the City’s Vision Zero policy to eliminate all traffic fatalities and serious injuries by 2040. Vision Zero is an integrated set of policies, plans and programs based on the philosophy that fatal collisions are unacceptable and often preventable. The project includes a detailed analysis of safety data and robust outreach to prioritize policies, programs, and infrastructure improvements to enhance safety in Menlo Park. Implementation of the plan has continued in 2025, including projects described below and others.
- The City undertook or continued initiatives to improve transportation, safety and mobility for all users in 2025, including:
 - The Coleman Avenue Pilot Project to provide a quick-build option to improve safety for people walking and biking in the project area. The pilot was designed with the goal of reducing speeds of people driving, installing dedicated facilities for people biking, and providing clear right-of-way designation for people crossing Coleman Avenue at Santa Monica Avenue. The pilot was installed in summer 2025.
 - The Middle Avenue Complete Streets Project includes the installation of bicycle and pedestrian improvements along the entire length of Middle Avenue between Olive Street and El Camino Real. The project is intended to enhance the safety of all users, especially pedestrians and bicyclists, reduce vehicle speeds and improve connectivity to schools, parks, grocery stores, downtown and residential neighborhoods. The City Council approved the award of the construction contract for the project in April 2025, and construction was substantially complete at the end of 2025, with full installation anticipated by spring 2026.
 - Intersection improvements for cyclists and pedestrians identified in the El Camino Real Corridor Study at El Camino Real and Ravenswood Avenue were undertaken in 2025, with an anticipated completion of all elements by spring 2026.

- In 2025, the City continued development of the Downtown Parking Management Study in coordination with the Metropolitan Transportation Commission (MTC). Parking management is the process of planning and managing parking spaces and their use, including how long vehicles may park, who may use certain spaces, and whether payment or permits are required. The Downtown Parking Management Study will evaluate ways to make the best use of existing parking resources in downtown Menlo Park while balancing convenience for all users. A project open house was held in September 2025, with more than 75 comments provided. Overall, the feedback reflected strong community interest in a vibrant, walkable downtown, emphasizing safety, landscaping, lighting, and pedestrian amenities. Participants highlighted the need to balance parking availability with business support, raised concerns about housing, zoning, and employee parking, and noted the importance of ongoing inclusive outreach. The open house was complemented by a survey in October 2025 that received over 1,000 responses. The study is partially funded by an MTC grant as part of the Plan Bay Area 2050 updates, and will continue in 2026.

9.3 – Housing Element

Background

The 2023-2031 Housing Element was prepared to respond to current and near-term future housing needs in Menlo Park and provide a framework for the community’s longer-term approach to address housing needs. The Housing Element contains goals, information, and strategic directions (policies and implementing programs with objectives) that the City is committed to undertaking together with the community and other stakeholders to provide for housing development. With an update required every eight years by the State of California, the current Housing Element covers a planning period from 2023-2031 (also referred to as the 6th Cycle) and serves as a foundation for all the goals, policies, programs, and objectives related to housing in Menlo Park. While local governments do not generally build housing themselves, they create rules that affect where housing can be built, how much, and how it is approved.

Implementation Highlights

The City continues to support the production, preservation and protection of housing for all as demonstrated through housing production to meet the City’s Regional Housing Needs Allocation (RHNA) and program implementation in 2025. Table 1 below summarizes the City’s 2023-2031 RHNA progress.

Table 1: 6 th Cycle RHNA (2023-2031) Progress					
	Very Low	Low	Moderate	Above Moderate	Total New Housing Units
6 th Cycle RHNA Allocation	740	426	496	1,284	2,946
2025 New Units	19	20	18	45	176
Total New Units (June 2022-Dec. 2025)	137	119	134	763	1,153
Percent Complete	18.5%	27.9%	27.0%	59.4%	39.1%
Remaining RHNA Units	603	307	362	521	1,793

Program implementation highlights for 2025 are included in Table D of the Housing Element APR.

9.4 – Open Space/Conservation, Noise and Safety Elements

Background

The Open Space/Conservation Element addresses issues related to the use, preservation, management and sustainability of land-based resources in Menlo Park, whether that land is dedicated to active recreation use, passive use or the protection of natural resources and environmental quality. The Noise Element appraises existing noise problems in the community and provides guidance to the community and developers for avoiding problems in the future. It also can provide the basis for code enforcement and other regulations, including implementation of the City's Noise Ordinance to control nuisance noise. No Open Space/Conservation or Noise Element amendments were made during the 2025 calendar year.

The Safety Element, provides a framework for planning for and responding to potential hazards in the city. The purpose of the Safety Element is to identify and appraise risks in the community and provide high-level strategies for mitigating risks and ensuring the wellness of the community, city services, and infrastructure. The Safety Element focuses on protection of the community from hazards associated with climate change, earthquakes, floods, fires, toxic waste, and other hazards. In addition, issues such as disaster preparedness and residential areas without two emergency evacuation routes are addressed.

Implementation Highlights

Below are highlighted activities to advance open space/conservation, noise and safety-related programs in Menlo Park during 2025.

- Program S1.Q (Coordinate the General Plan with City Emergency Planning Efforts), Program S1.R (Outreach for Sensitive Populations), Program S1.S (Public Communication), and Program EJ7.H (Multilingual and Multimodal Disaster Preparedness): The City has coordinated a variety of activities to enhance community safety and EJ, described below:
 - In September 2025, the City promoted National Preparedness Month with a focus on different activities to be better prepared as a community. Some of those activities that the City continues to promote are registering for emergency alerts through SMC Alert and joining the Fire District Community Emergency Response Team.
 - In October 2025, the City partnered with Climate Resilient Communities and local partners to hold a disaster preparedness workshop for the Belle Haven community. The bilingual (English/Spanish) session focused on household disaster preparedness.
 - The City provides preparedness information throughout the year in various channels such as newsletters, email, social media, and TV ad monitors located within the city to help community members be ready for storms and other disasters. The City also coordinates with other agencies and/or offers programs to inform community members on ways to prepare for disasters. In addition, the City regularly communicates on storm impacts and provides resources to the community to recover.
- Program S1.T (Public Heat Respite) and Program EJ2.K (Extreme Heat Relief): The City has implemented activities to address extreme heat and enhance community safety, described below:
 - The City operates three cooling centers at the Arrillaga Family Recreation Center, Belle Haven Community Campus, and the Menlo Park Library. The facilities are air-conditioned and open to the public every day.

- Program N1.C (Consider Noise Impacts in Street Design) and Action Items EJ2.I.2 and EJ2.I.3 (Noise Mitigation): The City has implemented activities to reduce noise impacts from roadways, described below:
 - Coordination with Caltrans on noise mitigation efforts is ongoing. For local streets, the City incorporates rubberized asphalt concrete (RAC) as a bid alternate on street resurfacing projects impacting arterials and collectors. RAC is composed of recycled tires and is considered a more environmentally friendly material compared to traditional asphalt. RAC can also reduce vehicular noise for speeds at 45 miles per hour or greater.
 - In 2025, progress continued on the Willow Road/US-101 interchange landscaping work, with construction anticipated in summer 2026. The City also continued to respond to resident requests for street tree plantings to serve as vegetative buffers from freeways. In 2025, three trees were planted for this purpose.
- Program OSC2.A (Support Regional Open Space, Conservation and Recreational Efforts):
 - The Flyway Trail, which opened in fall 2024, continues to provide an important new access point to Bedwell Bayfront Park. The trail marked the completion of an approximately decade-long wetland restoration project in the Don Edwards San Francisco Bay National Wildlife Refuge, situated directly adjacent to Bedwell. A pedestrian bridge connects Meta's West Campus (across the Bayfront Expressway) to both the Flyway Trail and the Bay Trail, giving Menlo Park residents easier access to the existing trail network at Bedwell Bayfront Park and other bayside open space preserves. Since the trail's opening, Belle Haven residents have formed a local birdwatching group, and the City continues to explore additional programming opportunities for the Flyway Trail.

9.5 – Environmental Justice Element

Background

Menlo Park's first-ever EJ Element was adopted in 2024. The purpose of the EJ Element is to identify and address public health risks and EJ concerns, as well as foster the well-being of the City's residents living in the underserved Belle Haven and Bayfront communities of Menlo Park, generally the portions of the city north of the US Highway 101 (US-101). The City is committed to advancing equity, addressing existing and potential environmental health risks, and EJ. The EJ Element includes seven goals and three top community-identified priorities, shown in Table 2 below.

Goal ID	Goal Text	Priority #
EJ1	Address unique and compounded health risks	-
EJ2	Reduce pollution exposure and improve air quality	3
EJ3	Equitably provide appropriate public facilities to individuals and communities	-
EJ4	Promote access to high quality and affordable food	2
EJ5	Provide safe, sanitary, and stable homes	1
EJ6	Encourage physical activity and active transportation	-

The EJ Element is a living document intended to evolve with and reflect the community's needs over time. The funding for EJ Element programs and action items would be evaluated through a separate process and could occur through a combination of the general fund, special funds and/or grant monies to support the range of activities. In June 2024, the City Council approved a \$1 million transfer from the Bayfront Mitigation Fund to establish an EJ Element Implementation Fund.

The EJ Element is accompanied by an updated Action Guide that serves as the detailed EJ APR (see Appendix B). The Action Guide is separate and complementary to the EJ Element, but not part of the General Plan itself. The Action Guide is a tool used to manage and coordinate City efforts to accomplish the goals, policies, and programs outlined in the EJ Element. The City website includes a dedicated webpage for the [EJ Element](#).

Implementation Highlights

Below are highlighted programs and action items that advanced EJ in Menlo Park during 2025.

Goal EJ5: Provide safe, sanitary, and stable homes (Community Priority #1)

- Program EJ5.G (Anti-Displacement Strategy) commits the City to develop an Anti-Displacement Strategy in line with Housing Element Program H2.E (Anti-Displacement Strategy) and especially in support of underserved communities. As a continuation of the community outreach for the anti-displacement plan, after conducting the two community meetings in 2024, in early spring 2025, the City circulated a community survey to get broader feedback on the questions posed in the community meetings. Housing staff gave presentations about the survey to a number of community groups such as the Belle Haven Neighborhood Association and the Belle Haven Climate Change Community Team (BHCCCT) which includes representatives from a number of organizations. The survey included all the considered strategies listed in Program EJ5.G along with additional strategies to address anti-displacement. The feedback from the survey helped prioritize the various anti-displacement strategies.

In September 2025, the Housing Commission and City Council, respectively conducted study sessions to receive feedback. The City Council meeting was a study session with live interpretation in Spanish to present the initial findings of the plan and the proposed recommendations of the plan. The City Council provided direction on the proposed recommendations. Staff will return to the Council with the draft plan in 2026.

The City joined other jurisdictions in the Grand Nexus study. The study will evaluate the City's current inclusionary requirements and will research potential revisions, including requiring lower rents to the affordable units. The study is under way and planned for completion by the end of 2026.

Goal EJ4: Promote access to high quality and affordable food (Community Priority #2)

- Program E4.B (Food Assistance Outreach) commits the City to inform low-income households and people experiencing homelessness about food assistance programs. In 2025, the City continued partnering with Second Harvest of Silicon Valley for grocery distribution at BHCC on the second and fourth Thursdays of each month. Library and

Community Services provides a community resource guide, including information on available housing, medical, and food support programs that is distributed to families and available at the Menlo Park Library and BHCC. Additionally, the City's Housing Resource Guide highlighted food pantries/food assistance services and shelter services such as:

- Bread Basket, Brown Bag Program, and the Samaritan House Pantry
- Mobile food programs such as Second Harvest of Silicon Valley (program is marketed to senior center attendees) and Peninsula Volunteers' Meals on Wheels
- Project WeHope Shelter and the Salvation Army Harbor House
- The Housing Resource Guide was distributed to RV dwellers regularly parked in the Bohannon Park area.

The City also collaborates with the County of San Mateo Department of Housing Encampment Resolution Funding (ERF) Program and WeHope in coordinating food assistance programs for those experiencing unsheltered homelessness in three identified homeless encampments.

Goal EJ2: Reduce pollution exposure and improve air quality (Community Priority #3)

- Program EJ2.B (Climate Action Plan Implementation) commits the City to implement and periodically update the City's CAP. The CAP is subject to annual progress reports and is scheduled for an update in 2028. The City Council received the 2025 progress report outlining priority actions to achieve carbon neutrality by 2030. The most significant efforts in 2025 include expanding the state grant-funded Home Upgrade Services program to enroll more residents, adopting local building code amendments to encourage energy efficiency and electrification, and making significant strides to eliminate fossil fuel use at municipal facilities, such as the installation of solar canopies at the Burgess Campus. Specifically, gas water heaters at City Hall and the Burgess Pool were replaced with efficient heat pump water heaters through PG&E's Government, K-12 Energy Efficiency Program. Staff also scoped work to replace the final gas water heater at the Arrillaga Family Gymnasium, planned for early 2026. On fleet electrification, the City secured \$2.2 million in grant funding for electric vehicle charging infrastructure for fleet and community vehicles and brought on project management support, with construction planned to begin in 2026.

CAP implementation also includes education and outreach, prioritizing bilingual engagement through workshops, door-to-door canvassing, mailers, and community events in Belle Haven and the Bayfront. The City hosted the Love Our Earth Festival at BHCC alongside partners including 350 Silicon Valley, Acterra, the City of East Palo Alto, Menlo Spark, and Peninsula Clean Energy, offering bike fix-it clinics, information about available incentives and programs, free food, and more. The City also continued implementation of its zero emission landscaping equipment ordinance, which took effect for leaf blowers and string trimmers in July 2024, with remaining equipment — chain saws, lawnmowers, and hedge trimmers — phasing in by January 2029.

The Action Guide in Appendix B provides updates on every EJ program during 2025.

10. Appendices

The following documents are included with this APR:

- Appendix A – Housing Element APR
- Appendix B – EJ Element Action Guide (Updated February 2026)

Please Start Here

General Information	
Jurisdiction Name	Menlo Park
Reporting Calendar Year	2025
Contact Information	
First Name	Deanna
Last Name	Chow
Title	Community Development Director
Email	dmchow@menlopark.gov
Phone	6503306733
Mailing Address	
Street Address	701 Laurel Street
City	Menlo Park
Zipcode	94025

Optional: Click here to import last year's data. This is best used when the workbook is new and empty. You will be prompted to pick an old workbook to import from. Project and program data will be copied exactly how it was entered in last year's form and must be updated. If a project is no longer has any reportable activity, you may delete the project by selecting a cell in the row and typing ctrl + d.

[Click here to download APR Instructions](#)

Click here to add rows to a table. If you add too many rows, you may select a cell in the row you wish to remove and type ctrl + d.

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Optional: This runs a macro which checks to ensure all required fields are filled out. The macro will create two files saved in the same directory this APR file is saved in. One file will be a copy of the APR with highlighted cells which require information. The other file will be list of the problematic cells, along with a description of the nature of the error.

with the table split across 4 tabs, each of which can fit onto a single page for easier printing. Running this macro will remove the comments on the column headers, which contain the instructions. Do not save the APR file after running in order to preserve comments once it is reopened.

Optional: This macro identifies dates entered that occurred outside of the reporting year. RHNA credit is only given for building permits issued during the reporting year.

Link to the online system: <https://hcd.my.site.com/hcdconnect>

Toggles formatting that turns cells green/yellow/red based on data validation rules.

Submittal Instructions
<p>Please save your file as Jurisdictionname2025 (no spaces). Example: the City of San Luis Obispo would save their file as SanLuisObispo2025</p> <p>Housing Element Annual Progress Reports (APRs) forms and tables must be submitted to HCD and the Governor's Office of Planning and Research (OPR) on or before April 1 of each year for the prior calendar year; submit separate reports directly to both HCD and OPR pursuant to Government Code section 65400. There are two options for submitting APRs:</p> <ol style="list-style-type: none">1. Online Annual Progress Reporting System - Please see the link to the online system to the left. This allows you to upload the completed APR form into directly into HCD's database limiting the risk of errors. If you would like to use the online system, email APR@hcd.ca.gov and HCD will send you the login information for your jurisdiction. <i>Please note: Using the online system only provides the information to HCD. The APR must still be submitted to OPR. Their email address is opr.apr@opr.ca.gov.</i>2. Email - If you prefer to submit via email, you can complete the excel Annual Progress Report forms and submit to HCD at APR@hcd.ca.gov and to OPR at opr.apr@opr.ca.gov. Please send the Excel workbook, not a scanned or PDF copy of the tables.

Jurisdiction	Menlo Park	
Reporting Year	2025	(Jan. 1 - Dec. 31)
Housing Element Planning Period	6th Cycle	01/31/2023 - 01/31/2031

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Acutely Low	Deed Restricted	0
	Non-Deed Restricted	0
Extremely Low	Deed Restricted	0
	Non-Deed Restricted	0
Very Low	Deed Restricted	0
	Non-Deed Restricted	19
Low	Deed Restricted	0
	Non-Deed Restricted	20
Moderate	Deed Restricted	0
	Non-Deed Restricted	18
Above Moderate		45
Total Units		102

Units by Structure Type	Entitled	Permitted	Completed
Single-family Attached	0	0	0
Single-family Detached	17	40	13
2 to 4 units per structure	0	6	0
5+ units per structure	1000	0	0
Accessory Dwelling Unit	1	38	29
Mobile/Manufactured Home	0	0	0
Total	1018	84	42

Infill Housing Developments and Infill Units Permitted	# of Projects	Units
Indicated as Infill	73	102
Not Indicated as Infill	0	0

Housing Applications Summary	
Total Housing Applications Submitted:	77
Number of Proposed Units in All Applications Received:	989
Total Housing Units Approved:	892
Total Housing Units Disapproved:	0

Use of SB 423 Streamlining Provisions - Applications	
Number of SB 423 Streamlining Applications	0
Number of SB 423 Streamlining Applications Approved	0

Units Constructed - SB 423 Streamlining Permits			
Income	Rental	Ownership	Total
Acutely Low	0	0	0
Extremely Low	0	0	0
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Streamlining Provisions Used - Permitted Units	# of Projects	Units
SB 9 (2021) - Duplex in SF Zone	0	0
SB 9 (2021) - Residential Lot Split	4	4
AB 2011 (2022)	0	0
SB 6 (2022)	0	0
SB 423 (2023)	0	0

Ministerial and Discretionary Applications	# of	Units
Ministerial	59	77
Discretionary	18	912

Density Bonus Applications and Units Permitted	
Number of Applications Submitted Requesting a Density Bonus	3
Number of Units in Applications Submitted Requesting a Density Bonus	97
Number of Projects Permitted with a Density Bonus	0
Number of Units in Projects Permitted with a Density Bonus	0

Housing Element Programs Implemented and Sites Rezoned	Count
Programs Implemented	69
Sites Rezoned to Accommodate the RHNA	0

Jurisdiction	Merito Park
Reporting Year	2025 (Jan. 1 - Dec. 31)
Planning Period	6th Cycle 01/01/2023 - 01/01/2029

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation

Note: "*" indicates an optional field
 Cells in grey contain auto-calculation formulas

Table A
Housing Development Applications Submitted

Project Identifier				Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes											Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Historic Sites	Density Bonus Law Applications	Application Status	Project Type	Notes				
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24						
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFL, SFD, D to 4.5+ ADU, MH)	Tenure R=Rentor O=Owner	Date Application Submitted (see instructions)	Acutely Low-Income Deed Restricted	Acutely Low-Income Non Deed Restricted	Extremely Low-Income Deed Restricted	Extremely Low-Income Non Deed Restricted	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by Project	Total DISAPPROVED Units by Project	Please select state streamlining provisions the application was submitted pursuant to.	Is this project located on a site with an associated historical designation as outlined in Government Code Section 65400(a)(2)(N) and reported on Table L?	Did the housing development application seek incentives or concessions pursuant to Government Code section 65915?	Were incentives or concessions requested pursuant to Government Code section 65915 approved?	Please indicate the status of the application.	Is the project considered a ministerial project or discretionary project?	Notes*	
Summary Row: Start Data Entry Below							0	0	1	0	5	17	245	13	15	18	675	869	892	0									
	7133190	888 EL CAMINO REAL		PLN2023-00021	5+	R	9/18/2025					5						36	41			NONE	No	Yes	N/A	Pending	Discretionary	Project was in consistency review at end of 2025, including incentives/concessions.	
	62423020	68 WILLOW ROAD		PLN2024-00031	5+	O	3/17/2025									8		42	50			NONE	No	Yes	N/A	Pending	Discretionary	CEQA environmental review was still in progress at the end of 2025.	
	71312300	624 UNIVERSITY DRIVE		PLN2024-00047	5+	O	9/5/2025			1				1				4	6			NONE	No	Yes	N/A	Pending	Discretionary	Project was in consistency review at end of 2025, including incentives/concessions.	
	62204160	304 OKEEFE ST		PLN2022-00059	SFD	O	3/5/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	62343300	340 NOVA LN		PLN2024-00021	SFD	O	3/3/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71103330	1346 HOOVER ST		PLN2024-00038	SFD	O	7/15/2025										1	1	2	2			NONE	No	No	N/A	Approved	Discretionary	Single-family residence and detached ADU that exceeded max height, requiring use permit.
	71413260	670 CAMBRIDGE AVE		PLN2024-00041	SFD	O	2/11/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71342100	228 SAN MATEO DR		PLN2024-00049	SFD	O	4/1/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	62362150	519 CENTRAL AVE		PLN2024-00051	SFD	O	5/19/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71432040	805 HARVARD AVE		PLN2024-00056	SFD	O	6/9/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	62064020	1008 SEVIER AVE		PLN2025-00008	SFD	O	7/15/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71385070	308 YALE RD		PLN2025-00013	SFD	O	9/12/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71082070	845 LEE DR		PLN2025-00014	SFD	O	8/20/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71362170	460 COTTON ST		PLN2025-00019	SFD	O	8/25/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71180670	1611 CARROLL DR		PLN2025-00024	SFD	O	7/25/2025											1	1	1		NONE	No	No	N/A	Approved	Discretionary		
	71141150	1855 WHITE OAK DR		BLD2021-03051	SFD	O	1/22/2025					1						1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	62351030	893 WOODLAND AVE		BLD2023-02255	SFD	O	3/20/2025										1	1	2	2			NONE	No	No	N/A	Approved	Ministerial	
	71322100	595 MOREY DR		BLD2024-00823	SFD	O	9/23/2025											1	1	2	2		NONE	No	No	N/A	Approved	Ministerial	
	74086080	940 ALTSCHUL AVE		BLD2024-01022	2 to 4	O	4/8/2025											1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	74086080	940 ALTSCHUL AVE		BLD2024-01025	2 to 4	O	4/8/2025											1	1	1		SB 9 (2021) - Residential Lot Split	No	No	N/A	Approved	Ministerial		
	74086080	940 ALTSCHUL AVE		BLD2024-01028	2 to 4	O	4/8/2025											1	1	1		SB 9 (2021) - Residential Lot Split	No	No	N/A	Approved	Ministerial		
	74086080	940 ALTSCHUL AVE		BLD2024-01030	2 to 4	O	4/8/2025											1	1	1		SB 9 (2021) - Residential Lot Split	No	No	N/A	Approved	Ministerial		
	62354180	1049 WOODLAND AVE		BLD2024-01191	SFD	O	2/25/2025											1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	55292160	11 GREENWOOD PL		BLD2024-01823	SFD	O	8/25/2025											1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	62234090	2055 MENALTO AVE		BLD2024-01928	ADU	R	5/27/2025									1		1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	71182100	1001 OLIVE ST		BLD2024-02067	SFD	O	1/15/2025					1						1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71111230	1011 LOUISE ST		BLD2024-02187	SFD	O	5/09/2025											1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	71201030	370 BRANDON WAY		BLD2024-02345	ADU	R	10/21/2025					1						1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	71403050	865 MIDDLE AVE		BLD2024-02817	ADU	R	1/28/2025											1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	71044130	1140 COTTON ST		BLD2024-03106	SFD	O	2/26/2025					1						1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71423100	918 CREEK DR		BLD2024-03401	ADU	R	5/29/2025									1		1	1	1		NONE	No	No	N/A	Approved	Ministerial		
	74331170	4 CAMPBELL LN		BLD2024-03625	SFR	O	10/24/2025					1						1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71180640	1641 MACDONIA CT		BLD2024-03640	SFR	O	8/26/2025					1						1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71251040	795 SAN MATEO DR		BLD2025-00101	SFR	O	10/10/2025									1		1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71412370	734 PARTRIDGE AVE		BLD2025-00211	SFR	O	10/15/2025								1			1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	74111310	2101 SHARON RD		BLD2025-00264	SFR	O	6/19/2025					1						1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71131070	1860 WHITE OAK DR		BLD2025-00417	SFR	O	6/19/2025									1		1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71364180	475 COTTON ST		BLD2025-00859	ADU	R	7/29/2025							1					1	1		NONE	No	No	N/A	Approved	Ministerial		
	62063120	1019 SEVIER AVE		BLD2025-00937	ADU	R	10/28/2025					1							1	1	1		NONE	No	No	N/A	Approved	Ministerial	
	71223080	945 WINDSOR DR		BLD2025-01187	SFR	O	9/20/2025											2	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71223080	945 WINDSOR DR		BLD2025-01189	ADU	O	9/20/2025									1			1	1		NONE	No	No	N/A	Approved	Ministerial		
	71121010	1800 EDGEWOOD LN		BLD2025-01439	SFR	O	9/25/2025						1					1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	71043120	1100 HOBART ST		BLD2025-01489	SFR	O	10/20/2025					1						1	2	2		NONE	No	No	N/A	Approved	Ministerial		
	62035980	324 OAKWOOD PL		BLD2025-01860	ADU	R	7/19/2025										1		1	1		NONE	No	No	N/A	Approved	Ministerial		
	62083170	1231 HOLLYBURNE AVE		BLD2022-02133	ADU	R	9/4/2025						1						1	1		NONE	No	No	N/A	Approved	Ministerial		
	74181270	1170 TRINITY DR		BLD2023-01647	ADU	R	3/14/2025					1							1	1		NONE	No	No	N/A	Approved	Ministerial		
	62334040	8 CLELAND PL		BLD2023-02515	ADU	R	1/15/2025										1		1	1		NONE	No	No	N/A	Approved	Ministerial		
	74260450	5 SHASTA LN		BLD2023-03544	ADU	R	1/17/2025					1							1	1		NONE	No	No	N/A	Approved	Ministerial		

ANNUAL ELEMENT PROGRESS REPORT
 Housing Element Implementation

100% of element is implemented

Project Number		Identified by Housing Element - Completed Activities										Identified by Housing Element - Building Permits										Identified by Housing Element - Certificate of Compliance										Identified by Housing Element - Other																											
Year	Element ID	Element Name	Project/Program	Lead Agency	Start Date	End Date	Status	Priority	Impact	Cost	Notes	Year	Element ID	Element Name	Project/Program	Lead Agency	Start Date	End Date	Status	Priority	Impact	Cost	Notes	Year	Element ID	Element Name	Project/Program	Lead Agency	Start Date	End Date	Status	Priority	Impact	Cost	Notes	Year	Element ID	Element Name	Project/Program	Lead Agency	Start Date	End Date	Status	Priority	Impact	Cost	Notes												
2022	HE-001	2022	HE-001	2022	HE-001	2022	HE-001	2022	HE-001

Jurisdiction	Menlo Park	
Reporting Year	2025	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
Please contact HCD if your data is different than the material supplied here

Table B														
Regional Housing Needs Allocation Progress														
Permitted Units Issued by Affordability														
		1	Projection Period	2									3	4
Income Level		RHNA Allocation by Income Level	Projection Period - 06/30/2022-01/30/2023	2023	2024	2025	2026	2027	2028	2029	2030	2031	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Acutely Low	Deed Restricted			-	-	-	-	-	-	-	-	-	-	
	Non-Deed Restricted			-	-	-	-	-	-	-	-	-	-	
Extremely Low	Deed Restricted			-	-	-	-	-	-	-	-	-	-	
	Non-Deed Restricted			-	-	-	-	-	-	-	-	-	-	
Very Low	Deed Restricted	740	10	-	60	-	-	-	-	-	-	-	137	603
	Non-Deed Restricted		8	19	21	19	-	-	-	-	-	-		
Low	Deed Restricted	426	37	-	-	-	-	-	-	-	-	-	119	307
	Non-Deed Restricted		10	21	31	20	-	-	-	-	-	-		
Moderate	Deed Restricted	496	62	-	-	-	-	-	-	-	-	-	134	362
	Non-Deed Restricted		12	16	26	18	-	-	-	-	-	-		
Above Moderate		1,284	671	9	38	45	-	-	-	-	-	-	763	521
Total RHNA		2,946												
Total Units			810	65	176	102	-	-	-	-	-	-	1,153	1,793

*For years prior to 2025, Acutely Low-Income units are reported within the Extremely Low-Income category

*For jurisdictions that received RHNA determinations for the current cycle prior to the passage of AB 3093 (September 19, 2024):
 - You were not allocated Acutely Low-Income and Extremely Low-Income RHNA targets, therefore the allocations in Field 1 are listed as "0"
 - If you wish to set your own targets in these income categories for informational purposes, contact HCD staff at apr@hcd.ca.gov.
 - All Acutely Low-Income and Extremely Low-Income units reported during the cycle are counted towards Very-Low Income RHNA progress

*For years prior to 2025, data on deed-restricted vs. non-deed restricted Extremely Low-Income units is approximated from whether the projects reported any deed-restricted Very Low-Income Units. If you wish to edit this historical data for accuracy or have any questions about the data, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

Please Note: Table B does not currently contain data from Table F or Table F2 for prior years. You may login to the APR system to see Table B that contains this data.

Please note: The APR form can only display data for one planning period. To view progress for a different planning period, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

Jurisdiction Menlo Park								
Reporting Year 2025 (Jan. 1 - Dec. 31)								
Table D								
Program Implementation Status pursuant to GC Section 65583								
Housing Programs Progress Report								
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H1.A Establish City Staff Work Priorities for Implementing Housing Element Programs	Establish staff priorities for implementing Housing Element Programs	1/31/2031	6th Cycle	Continuous	This is completed annually as part of the City Council's work plan process, taking into consideration the yearly Housing Element review. The City Council has held three annual priority and goal setting workshops since the adoption of the Housing Element. Housing-related items have been a top priority each year, including the most recent 2025-26 fiscal year.	Meetings	3	<p>City Council 2023-24 priorities work plan: https://www.menlopark.gov/files/sharedassets/public/v/2/agendas-and-minutes/city-council/2023-meetings/agendas/20230912-city-council-regular-agenda-packet-w-pres.pdf#%5B%7B%22num%22%3A2456%2C%22gen%22%3A0%7D%2C%7B%22name%22%3A%22FitH%22%7D%2C792%5D</p> <p>City Council 2024-25 priorities work plan: https://menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2024-meetings/agendas/20240910/j3-city-council-fiscal-year-24-25-work-plan.pdf</p> <p>City Council 2025-26 priorities work plan: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2025-meetings/20250708/i2-20250708-cc-cc-fy2025-26-work-plan.pdf</p>
H1.B Review the Housing Element Annually	Review and monitor Housing Element implementation; conduct public review with the Housing Commission, Planning Commission and City Council, and submit Annual Report to HCD	1/31/2031	6th Cycle	Continuous	Using forms provided by HCD, the City has completed its APR on or before April 1 every year of the current housing cycle. The 2025 annual review was prepared by staff in February 2026, and public reviews were conducted by the Housing Commission, Planning Commission, and City Council in March 2026. The quantified outcome is the number of APRs submitted to HCD since the Housing Element was adopted.	Other	3	The City maintains each year's APR on the following public webpage: https://www.menlopark.gov/Government/Departments/Community-Development/Planning/Comprehensive-planning/Housing-Element/Housing-Element-Annual-Progress-Reports

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H1.C Work with the San Mateo County Department of Housing	Meet with the County twice a year and coordinate with County efforts to maintain and support affordable housing	1/31/2031	6th Cycle	Continuous	The City participates in bimonthly meetings for housing managers throughout San Mateo County as part of 21 Elements. Across six meetings in 2025, staff from the county's jurisdictions identified opportunities for coordination, collaboration, and learning on a variety of housing-related topics.	Meetings	6	Agendas and slides from the bimonthly housing managers meeting are available to the public on the 21 Elements meeting materials archive webpage: https://21elements.org/meetings-events/
H1.D Regional Coordination	Work with other San Mateo County jurisdictions to address regional housing needs and attend 21 Elements coordination activities	1/31/2031	6th Cycle	Continuous	The City participates in the 21 Elements collaboration between all 21 jurisdictions in San Mateo County and regularly attends directors' meetings, regular meetings, housing managers' meetings, and housing-related interest meetings. In 2025, 21 Elements held meetings, workshops, and discussions on a variety of housing-related topics, such as anti-displacement, demand for affordable large family units, fair housing initiatives, updates to the 2025 HCD ADU handbook, and other topics. The 21 Elements webpage includes 18 housing-related resources from these meetings and events in 2025.	Other	18	21 Elements agendas and materials are available to the public on the 21 Elements meeting materials archive webpage: https://21elements.org/meetings-events/
H1.E Work with Non-Profits on Housing	Continue NOFA implementation and maintain a working relationship with non-profit housing sponsors	1/31/2031	6th Cycle	Continuous	The City continues to work with non-profit housing developers. In 2025, Habitat for Humanity, using a \$3.6M City loan, closed escrow to purchase the site at 335 Pierce Road for the future development of an 8-unit low-income ownership project.	Units	8	The City Council staff report approving the City loan to Habitat for Humanity Greater San Francisco is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2025-meetings/20250128/k2-20250128-cc-335-pierce-rd-habitat.pdf

Housing Programs Progress Report Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H1.F Update the Housing Element	Assure consistency with SB 375 and Housing Element law	1/31/2023	6th Cycle	Completed	The City Council adopted the 2023-2031 Housing Element on January 31, 2023. Following subsequent reviews by HCD, the City Council adopted amendments to the Housing Element on January 23, 2024. HCD certified the Housing Element on March 20, 2024. The quantified outcome is the City's certified Housing Element.	Other	1	The City's certified 2023-2031 Housing Element is available here: https://www.menlopark.gov/files/sharedassets/public/v/3/community-development/documents/projects/housing-element-update/2023-2031-city-of-menlo-park-housing-element-clean_010324.pdf
H1.G Update Priority Procedures for Providing Water Service to Affordable Housing Developments	Comply with Government Code § 65589.7	7/1/2026	6th Cycle	In Progress	This program will be undertaken with the adoption of the next Urban Water Management Plan (UWMP) anticipated by July 2026. The quantified outcome will be the 2025 Urban Water Management Plan.	Other	1	City staff shared an update on development of the UWMP with City Council in November 2025: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2025-meetings/20251118/h2-20251118-cc-urban-water-management-update.pdf
H1.H Transparency on Progress towards RHNA and Mid-cycle Review	Increase accessibility and transparency of affordable housing development in the city	12/31/2027	6th Cycle	In Progress	The City's website is regularly updated with an interactive development projects map and information on projects under review, approved, under construction, and completed. The Housing Element Annual Progress Report (APR) is also posted on the City's website annually. A mid-cycle review will be completed with City Council in 2027. The quantified outcome for 2025 is the City's main webpages providing transparency on the program topics. (Multiple sub-pages exist under each main webpage.)	Other	2	Housing Element APRs webpage: https://www.menlopark.gov/Government/Departments/Community-Development/Planning/Comprehensive-planning/Housing-Element/Housing-Element-Annual-Progress-Reports Development projects webpage: https://www.menlopark.gov/Government/Departments/Community-Development/Projects

Housing Programs Progress Report Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H1.1 Utilize the City's Below Market Rate (BMR) Housing Fund	Accumulate and distribute funds for housing affordable to extremely low-, very low-, low- and moderate-income households	1/31/2031	6th Cycle	Continuous	The City administers and advertises every two years the availability of funds in the BMR housing fund through a Notice of Funding Availability (NOFA). The objective of the NOFA is to support the acquisition, rehabilitation, preservation or new construction of housing that will provide long-term affordability. The funding is intended to fill the financing gap between projected total development costs and other available funding sources. A NOFA was not issued in 2025 as the City issues its NOFA on even numbered years. Additional monies have been collected and a NOFA will be issued in 2026.	Other		None
H2.A Preservation of Assisted Housing	Adopt an ordinance for at-risk units. Preserve 92 low income units in Crane Place Apartments at risk of conversion in 2028, supporting the continued provision of affordable housing within Menlo Park's high resource neighborhoods	12/31/2025	6th Cycle	In Progress	Efforts have been made through the anti-displacement plan process to help preserve affordable units by considering NOFA funding preferences towards preservation of existing developments. This option will continue to be evaluated in finalizing the anti-displacement plan. The City will initiate contact with Crane Place in 2026 and evaluate other potential "at-risk" units to ensure compliance with State preservation notice law. Initiation of an ordinance requiring notice for units at risk of conversion from subsidized units to market-rate units will follow finalization of the anti-displacement plan.	Other		None

<p style="text-align: center;">Housing Programs Progress Report</p> <p style="text-align: center;">Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.</p>								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H2.B Amend the Zoning Ordinance to Protect Existing Housing	Protect existing rental housing as part of infill implementation and other Zoning Ordinance changes	1/31/2025	6th Cycle	In Progress	Efforts have been made through the anti-displacement plan process to help preserve affordable units by considering NOFA funding preferences towards preservation of existing developments. This option will continue to be evaluated in the finalization of the anti-displacement plan. Staff will evaluate the development of an ordinance to limit the loss of existing residential units or the conversion of residential units to non-residential uses, as described in the program, which would follow finalization of the anti-displacement plan.	Other		None
H2.C Assist in Implementing Housing Rehabilitation Programs	Utilize the City's BMR funds to rehabilitate very low- and low- income housing. Conduct proactive outreach to identify and assist at least 20 very low income homeowners in Menlo Park's moderate resource neighborhoods	12/31/2026	6th Cycle	In Progress	The Homeownership Preservation Program was initiated in 2023, with outreach conducted during fall and winter 2023. The program will be directed toward low- and very low-income homeowners based on the finalized agreement with Habitat for Humanity to ensure a potential pool of 20 households can receive funding. Other program components will occur consistent with the listed Housing Element timeframe. In 2025, Habitat commenced three rehabilitation jobs. All jobs are anticipated to be completed in 2026.	Households	3	None

Housing Programs Progress Report								
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H2.D Accessory Dwelling Unit (ADU) Amnesty Program	Bring unpermitted ADUs up to code to improve their health and safety for occupants and integrate within the City's official housing stock	12/31/2024	6th Cycle	In Progress	In December 2025, the Planning Commission held a study session on proposed updates to the City's ADU ordinance, including amnesty provisions for unpermitted ADU units as described in the program. Staff is preparing to return to the Planning Commission with an updated draft ADU ordinance in spring 2026. The City Council is anticipated to review the draft ordinance shortly thereafter. The quantified outcome will be an updated ADU ordinance.	Other	1	The December 2025 Planning Commission study session staff report is available at the following link: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/planning-commission/2025-meetings/agenda/20251215-planning-commission-agenda-packet.pdf
H2.E Anti-Displacement Strategy	Mitigate displacement in the city and provide financial assistance to tenants	12/31/2026	6th Cycle	In Progress	Development of an anti-displacement strategy was initiated in 2024 and continued throughout 2025. A bilingual community survey was released, bilingual postcards were mailed to Belle Haven residents, and City staff attended local events and utilized other outreach strategies to help prioritize various anti-displacement strategies. Refinement of a draft anti-displacement plan continued based on feedback from outreach, and study sessions were held with the Housing Commission and City Council in September 2025 to share updates and receive further guidance towards finalizing the plan. Final adoption of an anti-displacement plan is anticipated in early 2026. The quantified outcome will be an adopted anti-displacement plan.	Other	1	The September 2025 Housing Commission staff report to review and provide feedback on the draft anti-displacement plan recommendations is available here: https://www.menlopark.gov/files/sharedassets/public/v/2/agendas-and-minutes/housing-commission/2025-meetings/agendas/20250903-housing-commission-packet.pdf The September 2025 City Council study session staff report is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2025-meetings/20250909/j2-20250909-cc-anti-displacement-direction.pdf

Housing Programs Progress Report

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H2.F Childcare Allowances	Support families with children, large families generally, and single-parent households	1/31/2024	6th Cycle	Completed	This program was completed December 5, 2023. The quantified outcome was the adoption of an ordinance by City Council to amend chapters 16.04 and 16.08 of the Municipal Code.	Other	1	"Family day care home" was updated in section 16.04.165 of the zoning ordinance: https://ecode360.com/47185724 Section 16.08.085 of the zoning ordinance allows family day care homes as a permitted use in any residential district: https://ecode360.com/47186004
H3.A Amend Procedures for Reasonable Accommodation	Create a public handout and provide a digital copy on the City's website and a physical copy at City Hall and the public libraries	1/31/2031	6th Cycle	Not Yet Started	The City has yet to initiate this program. The quantified outcome will be an updated reasonable accommodation ordinance and/or any public information on the reasonable accommodation process.	Other		None
H3.B Encourage Rental Housing Assistance Programs	Provide assistance at current Section 8 funding levels to assist 230 extremely low and very low-income households per year (assumes continued funding of program)	1/31/2031	6th Cycle	In Progress	In conjunction with Programs H1.C and H5.C, the City maintains a housing programs website and conducts outreach with multi-family property owners, particularly in high-resourced areas, to encourage participation in affordable housing programs and resources. The website contains information on BMR housing, housing assistance programs, home repairs assistance, and housing-related financial and support services. The quantified outcome is the housing resource webpage.	Other	1	The City's housing webpage, including information on rental housing assistance programs, is available here: https://www.menlopark.gov/Government/Departments/Community-Development/Housing

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H3.C Assist in Providing Housing for Persons Living with Disabilities	Conduct outreach on the availability of funds for non-profit organizations that provide housing and programs for people with disabilities. Promote available funds through the community funding grant program, which provides an allocation of up to 1.7 percent of the collected property tax revenue	1/31/2031	6th Cycle	In Progress	The City will continue its efforts to collaborate with non-profit organizations. The City has yet to evaluate potential universal design features. In the 2025-26 fiscal year, the City Council awarded funds from the community funding program to a variety of local organizations, including housing non-profits and organizations like AbilityPath that provide support services to children, adults, and seniors with developmental disabilities. The current quantified outcome is the 37 recipients of community funding program funds in 2025-26, many of which are directly or indirectly related to housing.	Other	37	The City maintains a list of organizations that receive funding from the community funding program here: https://www.menlopark.gov/Government/Departments/City-Managers-Office/Special-projects/Community-funding-program
H3.D Develop Incentives for Special Needs Housing	Amend the Zoning Ordinance to provide opportunities for housing and adequate support services for seniors and people living with disabilities	1/31/2025	6th Cycle	In Progress	The City will focus efforts on this program in 2026, including review of R-L-U zoning district provisions. Some program specifics have already been integrated into the City's development review, such as reduced parking around public transit stops like the Caltrain station, and reduced parking for senior citizen housing developments utilizing the affordable housing overlay.	Other	1	The City's affordable housing overlay provides reduced parking incentives for senior citizen housing developments in Section 16.98.060(3)(B) of the Municipal Code: https://ecode360.com/47188548

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H3.E Continue Support for Countywide Homeless Programs	Support housing and services for the homeless and at-risk persons and families. Re-initiate participation of Housing Division staff, along with continued participation of Menlo Park Police Department staff, in monthly meetings with the LifeMoves HOT. The City will partner with LifeMoves to improve conditions for the homeless.	1/31/2031	6th Cycle	Continuous	The City has partnered with the County's Center on Homelessness to address homeless encampments in the City. LifeMoves and WeHope are contracted to provide direct outreach services and regularly interact with individuals at the encampments. The City's Housing Division and Police Department participate in monthly meetings with the County. The City maintains a homeless services webpage with resources. One quantifiable outcome is 32 families receiving interim shelter at Haven Family House in Menlo Park. LifeMoves, the operator of Haven Family House, received funding in 2025-26 from the City's community funding program, in addition to other non-profits that received City funding for homeless services.	Other	32	The City's homeless services webpage is available here: https://www.menlopark.gov/Community/Community-resources/Homeless-services
H3.F Work with the U.S. Department of Veterans Affairs on Homeless Issues	Contact the U.S. Department of Veterans Affairs to coordinate in addressing the needs of people experiencing homelessness. Seek to achieve a minimum of 60 new units of affordable housing for veterans	7/1/2026	6th Cycle	Completed	In September 2024, the City Council adopted a resolution to authorize the city manager to execute a funding agreement with MidPen in the amount of \$2M and for staff to appropriate the funds from the FY24-25 budget. The project groundbreaking occurred in February 2025 and the units were anticipated to be available in spring 2026.	Units	60	The Oak Gardens website is available here: https://www.midpen-housing.org/property/oak-gardens/

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H3.G Zoning Text Amendments for Special Needs Housing	Facilitate housing for Menlo Park's special needs and extremely low income populations	12/31/2024	6th Cycle	In Progress	In 2026, the City will undertake revisions to the Municipal Code regarding transitional and supportive housing as residential uses, and other amendments to the Emergency Shelter for Homeless Overlay pursuant to state law. No applicable developments have been proposed during the first three years of the planning period, and the City would not enforce any local standards in conflict with state law until the adoption of an updated ordinance.	Other		None
H3.H Inclusionary Accessible Units	Expand housing opportunities for people with disabilities	12/31/2025	6th Cycle	In Progress	The City updated the Affordable Housing Overlay (AHO) in 2023, including incentives for multi-bedroom and family housing and as well as senior housing. Incentives for accessible units were not incorporated at that time. The City's BMR Guidelines include an accessible unit preference for BMR applicants with accessibility needs. The City may revisit the potential for accessibility incentives in future years and/or during the mid-cycle review for the Housing Element. The quantified outcome is the City's current accessible unit BMR preference.	Other	1	The City's BMR Housing Program guidelines include an accessible unit preference in section 8.2: https://www.menlopark.gov/files/sharedassets/public/v2/community-development/documents/housing/bmr-guidelines/20251021-bmr-housing-program-guidelines.pdf
H3.I Accessible ADUs	Expand housing opportunities for people with disabilities	1/31/2025	6th Cycle	In Progress	The City will consider incentives for accessible ADUs as part of proposed ADU ordinance updates to be reviewed by the Planning Commission and City Council in spring 2026.	Other		None

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Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H3.J Marketing for Accessible Units	Expand housing opportunities for people living with disabilities	1/31/2031	6th Cycle	Continuous	The City will focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities.	Other		None
H3.K Employment Services	Host a working meeting or workshop with employers and advocacy groups to develop a strategy for creating jobs for persons with disabilities and boosting the number of workers with disabilities among area employers	12/31/2026	6th Cycle	Not Yet Started	The City will focus efforts on this program in 2026, consistent with the timeframe listed in the Housing Element.	Meetings		None
H3.L Large Units	Encourage the development of housing for large families	1/31/2025	6th Cycle	Completed	The City began implementation of this program with the adoption of amendments to the Affordable Housing Overlay as noted in H3.H and in Specific Plan in November 2023, which included potential bonus floor area ratio (FAR) for the development of units with three or more bedrooms. Additional efforts to expand FAR bonus options for large family units in other areas of the city may be evaluated in the future. The quantified outcome is the update to the Specific Plan to incentivize large units with 2, 3 or more bedrooms.	Other	1	Table E2 of the Specific Plan (PDF page 145) includes a provision to allow additional FAR ("Step-Up FAR") for developments that incorporate units with multiple bedrooms (as described in the Notes section under *): https://www.menlopark.gov/files/sharedassets/public/v/1/community-development/documents/general-plan/20240701-specific-plan-update.pdf
H3.M Wheelchair Visitability	Allow for people with wheelchairs to have greater visitation access to homes in Menlo Park	1/31/2029	6th Cycle	Not Yet Started	The City will focus efforts on this program consistent with the timeframe listed in the Housing Element. The quantified outcome will consider a wheelchair visitability ordinance.	Other		None

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H4.A Amend the Below Market Rate Inclusionary Housing Regulations	Coordinate with 21 Elements in preparation of a regional nexus study to determine the cost of the in-lieu fee and provide input into amendments to the City's BMR Program. Implement requirements to assist in providing housing affordable to extremely low-, very low-, low- and moderate-income households throughout Menlo Park's high resource neighborhoods	1/31/2025	6th Cycle	In Progress	In October 2025, the Housing Commission reviewed and the City Council adopted amendments to the BMR Housing Program to provide clarification or additional language to create a smoother project review process and to help ensure equity for BMR residents, as an initial step in implementing Program H4.A. The City is planning for a second round of revisions after the conclusion of a County-wide Grand Nexus Study expected to be completed by the end of 2026. This study evaluates the impacts of development on the need for affordable housing and helps determine calculations such as commercial linkage fees and the percentage of inclusionary units required in a residential development.	Meetings	2	<p>The October 1, 2025 Housing Commission staff report is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/housing-commission/2025-meetings/agendas/20251001-housing-commission-regular-meeting-agenda.pdf</p> <p>The October 21, 2025 City Council staff report is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2025-meetings/20251021/k2-20251021-cc-bmr-program-guidelines.pdf</p>

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H4.B Modify BMR Guidelines Regarding Allocations	Amend the Zoning Ordinance to require additional affordable units in market-rate developments	1/31/2025	6th Cycle	In Progress	The City continues to participate in the 21 Elements BMR Guidelines working group. The City is planning for a round of BMR Housing Program revisions that will address Program H4.B after the conclusion of a County-wide Grand Nexus Study expected to be completed by the end of 2026. This study evaluates the impacts of development on the need for affordable housing and helps determine calculations such as commercial linkage fees and the percentage of inclusionary units required in a residential development.	Meetings	2	<p>The October 1, 2025 Housing Commission staff report is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/housing-commission/2025-meetings/agendas/20251001-housing-commission-regular-meeting-agenda.pdf</p> <p>The October 21, 2025 City Council staff report is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2025-meetings/20251021/k2-20251021-cc-bmr-program-guidelines.pdf</p>
H4.C Increase Commercial Linkage Fee	Increase local funding to support production of affordable housing	1/31/2025	6th Cycle	In Progress	The City continues to participate in the 21 Elements BMR Guidelines working group. The City is planning for a round of BMR Housing Program revisions that will address Program H4.C after the conclusion of a County-wide Grand Nexus Study expected to be completed by the end of 2026. This study evaluates the impacts of development on the need for affordable housing and helps determine calculations such as commercial linkage fees and the percentage of inclusionary units required in a residential development.	Meetings	2	<p>The October 1, 2025 Housing Commission staff report is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/housing-commission/2025-meetings/agendas/20251001-housing-commission-regular-meeting-agenda.pdf</p> <p>The October 21, 2025 City Council staff report is available here: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2025-meetings/20251021/k2-20251021-cc-bmr-program-guidelines.pdf</p>

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H4.D Modify the Affordable Housing Overlay (AHO)	Incentivize affordable housing development on housing opportunity sites located in high resource areas of the community. Annually monitor progress under the AHO in conjunction with the Housing Element Annual Progress Report; after three years of implementation (2027), report back to City Council, including any recommended adjustments to the AHO to improve effectiveness	1/31/2024	6th Cycle	In Progress	The AHO was modified on December 5, 2023 with the adoption of an ordinance by City Council to amend chapter 16.98 of the Municipal Code to allow a density of up to 150 dwelling units per acre (du/ac) for a development with 100 percent affordable housing. A handout will be developed to explain the updated requirements and incentives. The current quantified outcome is the adopted AHO ordinance.	Other	1	The updated AHO ordinance is available here: https://ecode360.com/47188590
H4.E Streamlined Project Review	Utilize objective design and development standards to add greater certainty to and streamline the development review process	12/31/2026	6th Cycle	In Progress	Objective design standards were included with each of the new and updated zoning districts adopted by City Council on December 5, 2023. Additional streamlining actions outlined in the program will be undertaken in 2026. The City has incorporated state streamlining legislation in the development review process where applicable, such as AB 130 development and Section 66323 ADUs. The current quantified outcome is the new and updated zoning districts with objective design standards adopted in 2023.	Other	7	The ordinances adopted by the City Council are available in the December 5, 2023 City Council staff report: https://www.menlopark.gov/files/sharedassets/public/v1/agendas-and-minutes/city-council/2023-meetings/agendas/20231205/e1-20231205-cc-housing-element-zoning-amend.pdf

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H4.F Modify Accessory Dwelling Unit (ADU) Development Standards and Permit Process	Zoning Ordinance amendment and accompanying public-facing documentation (i.e., on the City website). Seek to produce at least 85 ADUs between 2023-2031, including 51 affordable to lower income households, furthering economic integration in traditionally single-family neighborhoods	12/31/2024	6th Cycle	In Progress	In December 2025, the Planning Commission held a study session on proposed updates to the City's ADU ordinance. During that same month, the City received an HCD letter regarding ADU regulations non-compliance issues and responded with information on the ADU ordinance update in progress. Staff is preparing to return to the Planning Commission with an updated draft ADU ordinance in spring 2026. The City Council is anticipated to review the draft ordinance shortly thereafter. Previously, the City also launched a pre-approved ADU process to comply with AB 434. The City has continued to see robust development trends for ADUs in the community, achieving over 100% of the total planning period goal though 2031. The current quantified outcome is the December Planning Commission study session on a proposed ADU ordinance update.	Other	1	The December 2025 Planning Commission study session staff report is available at the following link: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/planning-commission/2025-meetings/agenda/20251215-planning-commission-agenda-packet.pdf

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H4.G Prioritize Affordable Housing on City-Owned Parking Lots Downtown	Achieve the development of 345 affordable units on a combination of City-owned parking lot sites in the downtown, supporting the integration of affordable housing options in high resource areas of the community	12/31/2027	6th Cycle	In Progress	In August 2024, the City Council reviewed a feasibility study and directed staff to proceed with exploring development on Parking Plazas 1, 2, and 3. The three parking lots could accommodate more than 345 units using the existing zoning provisions on the three sites. In January 2025, the City Council authorized release of an RFQ for the three parking lots, with responses due in March 2025. Seven development teams responded. In September 2025, the City released an RFP to seek further refinement of potential development on the sites. Three of the seven development teams responded in December 2025. The selection process is anticipated to continue in 2026. The current quantified outcome is the number of proposals submitted for development on the sites.	Other	10	A project timeline and copies of all RFQ and RFP responses is available on the project webpage maintained by the City: https://www.menlopark.gov/Government/Departments/Community-Development/Planning/Comprehensive-planning/Development-on-downtown-parking-lots
H4.H Review the Subdivision Ordinance	Review and adopt amendments to the Subdivision Ordinance as needed	1/31/2026	6th Cycle	In Progress	In the first half of 2026, the City will consider removing a subdivision ordinance front setback variance requirement for single-family residential lots with applicable curved frontages. The intent of the change would be to reduce barriers to residential development on affected lots.	Other		None

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H4.I Create New Opportunities for Mixed-Use Development	Adopt a Zoning Ordinance amendment	1/31/2024	6th Cycle	Completed	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code to create and update mixed use zoning districts. The quantified outcome is the series of Housing Element implementation ordinances adopted by the City Council in 2023.	Other	7	The ordinances adopted by the City Council are available in the December 5, 2023 City Council staff report: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2023-meetings/agendas/20231205/e120231205-cc-housing-element-zoning-amend.pdf
H4.J Increase Residential Density and Maximize Development Proposals	Increase residential density in certain high resource areas of the city, develop additional multifamily housing on suitable parcels, and facilitate achievement of maximum permitted densities through adoption of appropriate development standards	1/31/2024	6th Cycle	Completed	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code to update the City's R-3 and R-4 zoning districts. The quantified outcome is the series of Housing Element implementation ordinances adopted by the City Council in 2023.	Other	7	The ordinances adopted by the City Council are available in the December 5, 2023 City Council staff report: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2023-meetings/agendas/20231205/e120231205-cc-housing-element-zoning-amend.pdf
H4.K Rezone for Lower Income Shortfall	Increase residential density to a range from a minimum of 20 du/ac and allowing for densities of up to 100 units/acre or greater and affordable housing on sites identified for housing for at least 6.8 acres to provide for at least 202 lower-income units	1/31/2024	6th Cycle	Completed	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code and implement Programs H4.D, H4.I, H4.J, H4.L, H4.Q, and H4.T. The quantified outcome is the series of Housing Element implementation ordinances adopted by the City Council in 2023.	Other	7	The ordinances adopted by the City Council are available in the December 5, 2023 City Council staff report: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2023-meetings/agendas/20231205/e120231205-cc-housing-element-zoning-amend.pdf
H4.L Modify El Camino Real/Downtown Specific Plan	Increase housing opportunities in El Camino Real/Downtown Specific Plan Area, thereby facilitating production of affordable housing and enhancing economic integration in high resource areas of the community	1/31/2024	6th Cycle	Completed	This program was completed November 28, 2023 with the City Council adoption of amendments to the Specific Plan.	Other	1	The Specific Plan amendments adopted by the City Council are available in the November 28, 2023 City Council staff report: https://www.menlopark.gov/files/sharedassets/public/v/2/agendas-and-minutes/city-council/2023-meetings/agendas/20231128-city-council-special-agenda-packet-w-pres.pdf#page=3

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H4.M Update Parking Requirements and Design Standards	Modify Municipal Code to include amended parking requirements and establish a parking or alternative transportation in-lieu fee	1/31/2025	6th Cycle	Completed	Parking requirements for the City's multifamily and mixed use zoning districts were modified so that no more than one parking space is required for smaller units (e.g., one-bedroom, studio, or single-room occupancy units) as part of the adoption of amendments to the Specific Plan and Municipal Code in November and December 2023. Additional program actions will be conducted in the future according to the program timeline. The quantified outcome is the series of Housing Element implementation ordinances and the Specific Plan amendments adopted by the City Council in late 2023.	Other	8	<p>The Specific Plan amendments adopted by the City Council are available in the November 28, 2023 City Council staff report: https://www.menlopark.gov/files/sharedassets/public/v/2/agendas-and-minutes/city-council/2023-meetings/agendas/20231128-city-council-special-agenda-packet-w-pres.pdf#page=3</p> <p>The ordinances adopted by the City Council are available in the December 5, 2023 City Council staff report: https://www.menlopark.gov/files/sharedassets/public/v/1/agendas-and-minutes/city-council/2023-meetings/agendas/20231205/e120231205-cc-housing-element-zoning-amend.pdf</p>
H4.N Achieve Long-Term Viability of Affordable Housing	Establish project management and other ongoing project coordination needs	1/31/2031	6th Cycle	Continuous	<p>The City will focus efforts on this program as new projects on the Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element.</p> <p>In 2025, no new BMR units were rented or sold.</p>	Other		None
H4.O Identifying SB 10 Sites	Amend the Zoning Ordinance and Map to implement an SB 10 overlay; target the development of 2 SB 10 projects per year from 2027 through 2031 (5 years), averaging 5 units per project, for at least 50 total SB 10 units. At least 80 percent of these units are targeted for Racially Concentrated Areas of Affluence (RCAs) south of US-101	12/31/2026	6th Cycle	Not Yet Started	The City will focus efforts on this program during or before 2026, consistent with the timeframe listed in the Housing Element.	Other		None

Housing Programs Progress Report								
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H4.P Community Opportunity to Purchase	Adopt a community opportunity to purchase ordinance. Increase opportunities for affordable housing development	12/31/2024	6th Cycle	In Progress	The City included community opportunity to purchase as a potential anti-displacement strategy for the anti-displacement plan, but community members ranked greater preferences for other strategies. The City will return to consideration of community opportunity to purchase as a potential area of focus following implementation of the anti-displacement plan and other key Housing Element programs, as prioritized by the City Council and based on community feedback.	Other		None
H4.Q Reuse Sites	Allow for ministerial review for housing development on reuse sites that propose at least 20 percent of the units as affordable for lower-income households	1/31/2026	6th Cycle	Completed	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code. The quantified outcome is the adopted section 16.08.075 of the Municipal Code.	Other	1	Section 16.08.075 of the Municipal Code is available here: https://ecode360.com/47186004
H4.R Work with the Fire District	Undertake local amendments to the State Fire Code and approve City Council Resolution ratifying the Fire District's local amendments	12/31/2026	6th Cycle	In Progress	The City will collaborate with the Menlo Park Fire Protection District as needed. In December 2022, the City Council last adopted a resolution ratifying the Fire District's amendments to the 2022 California Fire Code. In 2026, the City is anticipated to consider ratifying a Menlo Park Fire Protection District ordinance adopting amendments to the 2025 Fire Code.	Meetings		None

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H4.S Coordinate with School Districts to Link Housing with School District Planning Activities	Coordinate with local school districts in planning for future housing in consideration of each school district's long-range planning, resources and capacity	1/31/2031	6th Cycle	Continuous	The City will focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element. City staff periodically meet with local school districts and/or their consultants to provide data on housing permitting and developments under review to help determine future enrollment projections and needs. The quantified outcome is the number of school district and/or consultant requests for housing production data during the Housing Element cycle.	Other	3	None
H4.T Residential Overlay	Allow residential uses in currently non-residential areas of Menlo Park	1/31/2024	6th Cycle	Completed	This program was completed December 5, 2023 with the adoption of an ordinance by City Council to create chapter 16.95 of the Municipal Code. The quantified outcome is the adopted Chapter 16.95 of the Municipal Code.	Other	1	Chapter 16.95 of the Municipal Code is available here: https://ecode360.com/47188382

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H4.U Federally-Owned Sites and School Sites	Facilitate residential development on sites owned by the USGS, VA, and Ravenswood City School District to achieve at least 131 new affordable housing units in Menlo Park.	12/31/2028	6th Cycle	In Progress	<p>In early 2025, the City received correspondence from the General Services Administration (GSA) indicating that the USGS site would be reoffered for sale by sealed bid auction. Bids were opened in April 2025 and the site was awarded to Presidio Bay Ventures. In early 2026, Presidio Bay submitted an application to redevelop the USGS site with a variety of uses including 670 housing units (with 101 BMR units) and a childcare center.</p> <p>The VA site is technically not subject to the City's discretionary planning approvals, however, MidPen complied with the City's R-4-S zoning requirements in recognition of the development's location and connection to the surrounding community. In September 2024, the City Council committed \$2 million in BMR NOFA funds. The Oak Gardens project is anticipated to open in spring 2026.</p>	Units	820	<p>The City maintains a project page for the USGS site here: https://www.menlopark.gov/Government/Departments/Community-Development/Projects/Under-review/345-Middlefield-Road-former-USGS-campus</p> <p>MidPen Housing maintains an Oak Gardens project page here: https://www.midpen-housing.org/property/oak-gardens/</p> <p>The City maintains a 320 Sheridan Drive project page here: https://www.menlopark.gov/Government/Departments/Community-Development/Projects/Approved-projects/320-Sheridan-Dr</p>
H4.V Local Density Bonus Law Ordinance	Facilitate utilization of State Density Bonus Law	12/31/2024	6th Cycle	Not Yet Started	The City has not yet initiated this program. The quantified outcome will be consideration of an ordinance.	Other		None
H5.A Fair Chance Ordinance	Expand renter protections	1/31/2028	6th Cycle	Not Yet Started	The City will focus efforts on this program during or before 2028, consistent with the timeframe listed in the Housing Element. The quantified outcome will be consideration of a fair chance ordinance.	Other		None

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H5.B Undertake Community Outreach When Implementing Housing Element Programs	Conduct community outreach and distribute materials	1/31/2031	6th Cycle	Continuous	Outreach on Housing Element-related efforts utilized an integrated communication strategy including direct mail, targeted email, weekly newsletters, social media, newspaper notices, A-frames/posters, electronic message boards, and in-person and virtual community meetings. The City maintains up-to-date information on multiple Housing Element-related webpages, and community members can continue to subscribe to specific project email lists. The City partnered with community-based organizations (e.g., Climate Resilient Communities) to enhance community outreach and engagement through local networks, particularly striving to reach underserved communities. This program will continue throughout the planning period.	Other	2	<p>A variety of outreach activities have been conducted when implementing Housing Element programs and can be quantified in different ways. Relevant examples for purposes of the APR can be found on project webpages for housing resources and development projects: https://www.menlopark.gov/Government/Departments/Community-Development/Housing</p> <p>https://www.menlopark.gov/Government/Departments/Community-Development/Projects</p> <p>Other digital examples include the City's weekly email digest, which has included updates on relevant housing-related projects, such as program H4.G, regarding the downtown parking lots development: https://www.menlopark.gov/Government/Departments/City-Managers-Office/Communications-and-public-engagement/Weekly-Digest</p>
H5.C Provide Multilingual Information on Housing Programs	Improve access to information on housing programs to persons with limited English proficiency	12/31/2024	6th Cycle	In Progress	The City's website is readily translatable and information regarding Spanish language interpretation/translation is provided on public hearing notices. The City will focus efforts on expanding to written materials and the availability of information in multiple languages. The current quantifiable outcome is the number of languages into which the City website can be translated.	Other	7	The City's website is translatable into 7 languages (including English) from a drop-down menu near the top right of each webpage: https://www.menlopark.gov/Home

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H5.D Address Rent Conflicts	Increase awareness among residents, including low income and special needs populations, of available resources for addressing rent conflicts and fair housing complaints	12/31/2028	6th Cycle	In Progress	<p>The City has produced a Housing Resource Guide that includes tenant/landlord resolution information and legal assistance resources. Current legal services offered by the City are through partnerships with organizations such as Legal Aid Society of San Mateo County, Project Sentinel, Samaritan House South, and Community Legal Services of East Palo Alto.</p> <p>The City received a grant of \$250,000 from the Metropolitan Transportation Commission (MTC) to implement a Legal Assistance Program and Rental Assistance Program. City staff is close to finalizing the agreement with the MTC to implement a new legal assistance program and bolster the city's existing rental assistance program. Work commenced on the rental assistance program in late 2025.</p>	Other	1	The City maintains a housing resources webpage with information on the BMR program, housing assistance program, home repairs assistance, legal resources, and other topics at the following link: https://www.menlopark.gov/Government/Departments/Community-Development/Housing

Housing Programs Progress Report								
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H5.E Publicize Fair Housing Laws and Respond to Discrimination Complaints	Affirmatively further fair housing by increasing awareness among residents, including low income and special needs populations, of available resources for addressing fair housing issues	12/31/2028	6th Cycle	Continuous	<p>The City has produced a Housing Resource Guide that include fair housing information and housing discrimination investigation. Current legal services offered by the City are through partnerships with organizations such as Legal Aid Society of San Mateo County, Project Sentinel, Samaritan House South, and Community Legal Services of East Palo Alto.</p> <p>The City works with Project Sentinel, whose mission is to development fairness and equality of housing for all persons, when it receives fair housing complaints.</p>	Other	1	The City maintains a housing resources webpage with information on the BMR program, housing assistance program, home repairs assistance, legal resources, and other topics at the following link: https://www.menlopark.gov/Government/Departments/Community-Development/Housing
H5.F First-Time Homebuyer Program	Provide opportunities for moderate income first-time homebuyers to reside in the community, thereby fostering housing mobility	12/31/2024	6th Cycle	Continuous	<p>The City has a Legacy List, which is currently closed. Moderate income homebuyers have access to purchase opportunities through the BMR program if they are on the Legacy List and there is a moderate income unit available. The City will continue to monitor opportunities to enhance the program. As part of the City's Below Market Rate Housing Program, the City requires prospective below market rate homebuyers to complete a first time homebuyer education workshop, class, or counseling session. However, no BMR ownership units were sold in 2025.</p>	Units		None

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H5.G Improve Access to City Law	Have a one-stop landing page for development information that can be easily understood by developers and members of the public	12/31/2024	6th Cycle	In Progress	The City will continue to focus efforts on this program in 2026, consistent with the program in the Housing Element. The current quantified outcome are two webpages for planning resources and housing resources.	Other	2	<p>The City maintains a webpage with development resources including zoning requirements, application forms, guidelines, handouts, policies and other planning information at the following link: https://www.menlopark.gov/Government/Departments/Community-Development/Planning</p> <p>The City maintains a housing resources webpage with information on the BMR program, housing assistance program, home repairs assistance, legal resources, and other topics at the following link: https://www.menlopark.gov/Government/Departments/Community-Development/Housing</p>
H5.H Tenant Readiness Education Program	Provide educational assistance and identify resources to help renters acquire and maintain decent and affordable housing	12/31/2024	6th Cycle	In Progress	The City will continue to focus efforts on this program in 2026, consistent with the program in the Housing Element.	Other	1	<p>The City maintains a webpage with renter/tenant resources at the following link: https://www.menlopark.gov/Government/Departments/Community-Development/Housing/Rentertenant-resources</p>

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H5.1 Racial Equity Training Program	Increase awareness, build organizational capacity and infrastructure, and strive for racial equity in housing and other local government matters	12/31/2031	6th Cycle	In Progress	<p>In 2025, representatives from the City Manager's Office, Community Development Department, Police Department, and Library and Community Services Department participated in quarterly "Equity in Government" training meetings facilitated by the County of San Mateo Office of Racial and Social Justice. In 2025, four training meetings were held with the following topics: Leadership Buy-in and Organizational Imperative; Language and Landscape Change Around Equity; Inclusive Workforce Strategies During Economic Uncertainty; and Community Engagement in Times of Heightened Fear.</p> <p>In February 2024, City representatives participated in a Foundational Equity Training organized by the County of San Mateo and presented by The Justice Collective, with the intent to assess training capacity and appropriateness for potential</p>	Meetings	4	None

Housing Programs Progress Report
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H5.J Environmental Justice Element	Prioritize the needs of Underserved Communities (Disadvantaged Communities); reduce pollution exposure; improve access to public facilities; promote food access; promote safe and sanitary housing; promote physical activity; promote civic engagement.	1/31/2031	6th Cycle	In Progress	<p>In September 2024, following three years of community outreach and engagement with a focus on meeting people where they are and empowering the voices of Menlo Park's underserved Belle Haven and Bayfront communities, the City of Menlo Park adopted its first General Plan Environmental Justice (EJ) Element.</p> <p>In March 2025, the Planning Commission and City Council reviewed the first EJ Element Annual Progress Report. Together with the community, the City will continue to advance EJ through implementation of the programs and action items identified in the EJ Element Action Guide.</p> <p>The quantified outcome is the adopted EJ Element.</p>	Other	1	The City's EJ Element is available here: https://www.menlopark.gov/files/sharedassets/public/v2/community-development/documents/housing-element-annual-progress-reports/city-of-menlo-park-environmental-justice-element_0821.pdf?_gl=1*1fpvnvj*_gc_au*MTU0Mjl0NDkwMy4xNzcwMzA4MTUy

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H6.A Reach Codes	Achieve greenhouse gas reduction targets	1/31/2031	6th Cycle	Continuous	In 2024, the City Council gave direction to staff to prepare a local amendment to promote residential electrification. Staff developed an ordinance to require prewiring for future appliance electrification at the time of replacing a main electrical panel. The City also adopted a code amendment of additional energy efficiencies beyond the 2025 Energy Code for single-family home modifications. The City will continue to encourage reduction in greenhouse gas emissions as projects are reviewed. The City maintains an electrification resources webpage for new and existing buildings, highlighting resource opportunities in six categories. The current quantified outcome are the adopted local amendments.	Other	2	<p>The City's pre-wiring for future electrification ordinance is described on the following webpage: https://www.menlopark.gov/Government/Departments/Community-Development/Building/Residential-information/2025-CalGreen-Pre-Wiring-for-Future-Electrification-Requirements</p> <p>The building energy efficiencies/green building amendment is described on the following webpage: https://www.menlopark.gov/Government/Departments/Community-Development/Building/Building-Energy-EfficienciesGreen-Building</p> <p>The City's building electrification resources webpage is available here: https://www.menlopark.gov/Government/Departments/City-Managers-Office/Sustainability/Building-electrification-resources</p>
H6.B Electric Vehicle Charging	Achieve greenhouse gas reduction targets	12/31/2025	6th Cycle	Continuous	The City continued implementation of the residential electric vehicle reach codes. Additionally, the City updated the 2025-2030 Climate Action Plan scope of work which identified new priority actions to expand access to electric vehicle charging for multifamily properties. Staff promoted Peninsula Clean Energy's electric vehicle charging rebate for multifamily properties and explored partnerships with other programs. In 2025, the City advertised PCE's EV Ready program on the City website.	Other	1	<p>The City advertised the PCE EV charger program with the following article in September 2025: https://www.menlopark.gov/News-articles/City-news/20250908Learn-how-to-add-value-to-your-property-with-EV-chargers-Sept.-16</p>

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H6.C Air Conditioning or Cooling Alternatives	Ensure healthy building environments	1/31/2025	6th Cycle	In Progress	In 2025, the City expanded the Menlo Park Home Upgrade Services program to include portable air conditioners, space heaters, induction cook hobs, and batteries for income-qualified renters in Belle Haven. In November 2025, the City expanded the program citywide.	Other	1	The home upgrade services program is described in more detail here: https://www.menlopark.gov/Government/Departments/City-Managers-Office/Sustainability/Home-Electrification
H6.D Promote Energy Efficient/Renewable Programs	Encourage participation in the energy efficient and renewable energy programs	1/31/2031	6th Cycle	Completed	The City's website was updated in 2025 with information on energy efficiency programs offered by Peninsula Clean Energy. Announcements for these programs were also published in the City's weekly electronic newsletter and social media channels. The City provided education about the programs at community events.	Other	1	A variety of resources related to energy efficient and renewable energy programs are detailed under the City's Sustainability webpage: https://www.menlopark.gov/Government/Departments/City-Managers-Office/Sustainability
H6.E Explore Multimodal Improvements	Coordinate with Redwood City on potential pedestrian and bicycle improvements	1/31/2026	6th Cycle	Not Yet Started	The City will seek out opportunities to coordinate with the City of Redwood City on Capital Improvement Plan projects and development projects that could incorporate bicycle and pedestrian improvements linking the two cities. The City will continue to focus efforts on this program during or before 2026, consistent with the timeframe listed in the Housing Element.	Other		None

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
H6.F Transit Incentives	Reduce vehicle trips and parking demand and increase use of alternative forms of mobility	1/31/2031	6th Cycle	In Progress	The City has initiated an update to its Transportation Demand Management (TDM) Guidelines to align trip reduction goals for development projects with C/CAG policy. The City will focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element.	Other	1	As an example of a TDM plan for a project on a Housing Element inventory site, the 320 Sheridan Drive TDM plan is available on the City's website: https://www.menlopark.gov/Government/Departments/Public-Works/Transportation-Division/b-Transportation-projects
H6.G Neighborhood Connectivity	Reduce disparities in access to opportunities	1/31/2031	6th Cycle	In Progress	The 2023-2028 Capital Improvement Plan includes projects for Belle Haven Traffic Calming Plan Implementation, Caltrain Grade Separation, Middle Avenue Caltrain crossing design study and construction, Coleman-Ringwood Avenues Transportation Study, El Camino Real Crossings improvements, Haven Avenue streetscape improvement, Middle Avenue complete street study, and various other pedestrian and bicycle improvements. The City will continue to focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element. The quantified outcome is the 15 projects listed on the City's webpage.	Other	15	The City maintains a list of ongoing transportation projects at the following link: https://www.menlopark.gov/Government/Departments/Public-Works/Transportation-Division/b-Transportation-projects

Jurisdiction	Menlo Park	
Reporting Period	2025	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Note: "+" indicates an optional field
Cells in grey contain auto-calculation formulas

Table F

Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)

Please note this table is optional: The jurisdiction can use this table to report units that have been substantially rehabilitated, converted from non-affordable to affordable by acquisition, and preserved, including mobilehome park preservation, consistent with the standards set forth in Government Code section 65583.1, subdivision (c). Please note, motel, hotel, hostel rooms or other structures that are converted from non-residential to residential units pursuant to Government Code section 65583.1(c)(1)(D) are considered net-new housing units and must be reported in Table A2 and not reported in Table F.

Activity Type	Units that Do Not Count Towards RHNA ⁺ Listed for Informational Purposes Only				Units that Count Towards RHNA ⁺ Note - Because the statutory requirements severely limit what can be counted, please contact HCD at apr@hcd.ca.gov and we will unlock the form which enable you to populate these fields.			TOTAL UNITS ⁺	The description should adequately document how each unit complies with subsection (c) of Government Code Section 65583.1 ⁺ . For detailed reporting requirements, see the checklist here: https://www.hcd.ca.gov/community-development/docs/adequate-sites-checklist.pdf
	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺	TOTAL UNITS ⁺	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺		
Rehabilitation Activity									
Preservation of Units At-Risk									
Acquisition of Units									
Mobilehome Park Preservation									
Total Units by Income									

Jurisdiction	Menlo Park
Reporting Period	2025 (Jan. 1 - Dec. 31)
Planning Period	6th Cycle 01/31/2023 - 01/31/2031

ANNUAL ELEMENT PROGRESS REPORT

Table K	
Tenant Preference Policy	
<p>Local governments are required to inform HCD about any local tenant preference ordinance the local government maintains when the jurisdiction submits their annual progress report on housing approvals and production, per Government Code 7061 (SB 649, 2022, Cortese). Effective January 1, 2023, local governments adopting a tenant preference are required to create a webpage on their internet website containing authorizing local ordinance and supporting materials, no more than 90 days after the ordinance becomes operational.</p>	
Does the Jurisdiction have a local tenant preference policy?	Yes
If the jurisdiction has a local tenant preference policy, provide a link to the jurisdiction's webpage containing authorizing local ordinance and supporting materials.	https://menlopark.gov/files/sharedassets/public/v2/community-development/documents/20220303-below-market-rate-guidelines.pdf
Notes	<p>See section 8.1 of the BMR Guidelines linked from the City's website above. Preferences include live and/or work, unhused, displacement, and accessible unit preferences.</p>

City of Menlo Park

Environmental Justice Element Action Guide Updated February 2026

**Planning Commission March 23, 2026 General Plan Annual
Progress Report Version**

The Environmental Justice (EJ) Element is accompanied by an EJ Element Action Guide. The Action Guide is a tool to be used to manage and coordinate City efforts to accomplish the goals, policies, and programs outlined in the EJ Element. This dual document approach allows for more frequent updating of the Action Guide in response to changing community needs, funding opportunities, and ongoing community outreach – particularly input from Menlo Park’s underserved communities – without requiring a General Plan Amendment. This version of the EJ Element Action Guide, prepared for the March 23, 2026 Planning Commission, General Plan Annual Progress Report, identifies the programs and action items of the top three community-identified priorities (Goal EJ5, Goal EJ4 and Goal EJ2) that are currently in progress. All seven EJ Element goals are listed in Table 1 below.

Table 1: Menlo Park EJ Element Goals and Community-Identified Priorities		
Goal ID	Goal Text	Priority #
EJ1	Address unique and compounded health risks	-
EJ2	Reduce pollution exposure and improve air quality	3
EJ3	Equitably provide appropriate public facilities to individuals and communities	-
EJ4	Promote access to high quality and affordable food	2
EJ5	Provide safe, sanitary, and stable homes	1
EJ6	Encourage physical activity and active transportation	-
EJ7	Create equitable civic and community engagement	-

The organizational structure of the Priority Setting Workshop Version Action Guide is described below:

- Goals: Broad actions to pursue to work toward EJ;
- Programs: Precise steps to further policies and goals; and
- Action Items: Preferred methods to fulfill programs based on community feedback.

The organizing structure and color scheme is demonstrated below.

Item	Structure	Example
Goal	EJ#	EJ1
Program	EJ#.X	EJ1.A
Action Item	EJ#.X.#	EJ1.A.1

The Action Guide includes details on programs and action items, organized under three groups: Descriptive Information, Implementation, and Time Frame.

Descriptive Information

Column A: ID

Identification of the program or action item corresponding to the goal they support (e.g., EJ4):

- Programs are given a letter (e.g., EJ4.D)
- Action items are given a letter and a number (e.g., EJ4.D.1)

Column B: Program / Action Item Text

Text of the program or action item.

Column C: Classification

Identification of whether the row is a program or action item.

Column D: Activity

If City and/or partners are currently conducting a process that would accomplish the objective of the program or action item, this column includes a brief description. As the City fulfills programs and action items, and initiates activity on additional programs and action items, this column may be updated.

Implementation

Implementation data describes who would likely lead carrying out the program or action item and what funding is potentially available to fulfill it. Also included in this section are supporting City departments and partners outside City government, such as County authorities or non-governmental organizations.

Column E: Lead Role

The City department or division who would likely lead the implementation of the program or action item.

Column F: Supporting Role

City departments or divisions, as well as partner organizations, that may support implementation of the program or action item.

Column G: Funding Source(s)

Potential sources of funding that may support program or action item implementation.

Time Frame

The estimated time frame for programs and action items is arranged into two components: initiation (when work will begin) and completion (when work will be finished).

Column H: Initiation

The programs and action items are sorted into four categories: those that can be started in a short-term time frame, a medium-term time frame, a long-term time frame, and those that are in progress. As the City fulfills programs and action items, and initiates action on additional programs and action items, this column may be updated. For the purposes of the Environmental Justice Element, the time frames are defined accordingly:

- **In Progress:** Already in progress. These are highlighted in gold in the Action Guide.
- **Short-Term:** Zero to three years from Element adoption, estimated
- **Medium-Term:** More than three and less than six years from Element adoption, estimated
- **Long-Term:** Six years or more from Element adoption, estimated

Column I: Completion

The programs and action items are sorted into four categories: those that can be accomplished in a short-term time frame, a medium-term time frame, a long-term time frame, and those that are ongoing from initiation of work. For the purposes of the Environmental Justice Element, the time frames are defined accordingly:

- **Ongoing from Initiation:** Estimated to be worked on indefinitely
- **Short-Term:** Zero to three years from beginning of work on the item, estimated
- **Medium-Term:** More than three and less than six years from beginning of work on the item, estimated
- **Long-Term:** Six years or more from beginning of work on the item, estimated

City of Menlo Park Environmental Justice Element Action Guide
Updated February 2026 (reports on 2025 activities)

City of Menlo Park Environmental Justice Element Action Guide Updated February 2026 (reports on 2025 activities)									
DESCRIPTION				IMPLEMENTATION			TIME FRAME		
A	B	C	D	E	F	G	H	I	
ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion	
Community Priority #1: Goal EJ5. Provide safe, sanitary, and stable homes									
EJ5.1	Prioritize housing programs that provide and maintain safe, sanitary, and stable homes, particularly in underserved communities.	Policy	-	-	-	-	-	-	
EJ5.2	Maintain and develop safe, sanitary, and stable homes across all locations and affordability ranges, particularly in underserved communities.	Policy	-	-	-	-	-	-	
EJ5.3	Support housing development distribution throughout the city and not concentrated within Menlo Park's underserved communities.	Policy	-	-	-	-	-	-	
EJ5.A	Soil Remediation. Identify and resolve, to the extent feasible, any potential toxic soil contamination in residential developments, particularly in underserved communities. Identify potential closed (remediated) contaminated sites at risk of groundwater rise or sea level rise. Work with community based organizations and underserved communities to coordinate with regulatory and regional agencies for contaminated sites to be remediated at a level that protects community health under current and future flood conditions.	Program	The California Department of Toxic Substances Control (DTSC) tracks cleanup, permitting, enforcement and investigation efforts at hazardous waste facilities and sites with known contamination or sites where there may be reasons to investigate further. The Safety Element (Table S-4) includes a list of sites along with their current status of evaluation or remediation. The City is typically the lead agency for environmental review under the California Environmental Quality Act (CEQA) and staff coordinates with developers, the community, and other agencies to ensure a comprehensive environmental review process is adhered to whenever there are proposed projects. In 2025, the City continued to adhere to CEQA guidelines for environmental review and if/when there is reportable activity involving hazardous waste and clean up sites, the City will coordinate and communicate with DTSC.	Community Development	San Mateo County Environmental Health Services, Department of Toxic Substances Control (DTSC)	Department of Food and Agriculture (Healthy Soils Demonstration Program)	In Progress	Short Term	
EJ5.B	Outreach to Households. Conduct outreach to potentially eligible households regarding programs that support safe, sanitary, and stable homes.	Program	On May 27, 2025, the City Council introduced a proclamation recognizing the month of May as Affordable Housing Month in Menlo Park. This proclamation acknowledges how affordable housing enhances community life, character, and vitality by providing adequate housing opportunities for all income levels. The Housing Division staffed a table at both the Love Our Earth (April 26, 2025) and the City LCS Community Resource (March 29, 2025) fairs. Staff distributed the Housing Resource Guide as well as information about the City's Below Market Rate (BMR) housing program in both hard copy and electronically. A laptop was provided at fair tables to encourage interested households to register for the City's BMR interest list. The Anti-displacement survey, a survey to solicit public feedback in prioritizing anti-displacement strategies, was also distributed to participants.	Community Development	California Department of Community Services and Development, City Manager's Office	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	

		DESCRIPTION			IMPLEMENTATION			TIME FRAME	
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ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion	
EJ5.C	Multilingual Tenant Protection Resources. Create or partner with providers to provide a central multilingual tenant protection hotline for renters with questions. If such resources already exist, conduct proactive outreach and education to inform the community of available resources. Hold culturally competent, in-language outreach workshops.	Program	<p>On April 26, 2025, the Housing Division participated in the Love Our Earth festival at the Belle Haven Community Campus and distributed the Housing Resource Guide, in both English and Spanish, to community members as well as the Housing Survey for the Anti-displacement Plan. The Guide includes information related to services, including tenant resources such as Project Sentinel, Legal Aid Society of San Mateo Council and Samaritan House. The Housing Survey was to receive community input in prioritizing anti-displacement strategies.</p> <p>In addition, the Housing Division is exploring adding tenant protections resources onto its website. Through the website, the resources can be translated into various languages.</p>	Community Development	Local Tenant Protection Services (e.g., Legal Aid Society of San Mateo County (HomeSavers Project), Project Sentinel by San Mateo County)	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	
EJ5.D	Community Land Trust. Identify opportunities to support a Community Land trust or other fiscal vehicle to purchase land to develop deeply affordable housing.	Program	This item has not yet begun and evaluation for implementation continues.	Community Development	City Manager's Office, Community Development Department, MidPen Housing Community Land Trust	BMR Housing Fund	Long Term	Long Term	
EJ5.E	First-time Homeowner Assistance. Conduct community outreach to help prospective first-time homeowners navigate the process. This includes 6th Cycle Housing Element Program H5.F (regarding collaborating with the Housing Endowment and Regional Trust of San Mateo County (HEART)) and helping to facilitate first-time homeowner workshops for residents in underserved communities.	Program	As part of the City's Below Market Rate Housing Program, the City requires prospective below market rate homebuyers to complete a first time homebuyer education workshop, class, or counseling session. However, no BMR ownership units were sold in 2025.	Community Development	City Manager's Office, Local Community Based Outreach Organizations (e.g., Menlo Together)	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	
EJ5.F	Building Electrification. Promote funds and subsidies that minimize the passing through of any upfront investment costs of building electrification on to tenants.	Program	<p>In 2025, the City promoted Peninsula Clean Energy's (PCE) rebates for heat pump water heaters and heat pump space heating and cooling for multifamily and single family homes. The program only provides incentives for in-unit upgrades which ensures tenants receive the most value. Staff continues to identify incentive structures that enable property owners to make upgrades while not resulting in cost impacts to tenants, such as increased rent or utility bills.</p> <p>In 2025 the City continued to provide electrification building permit fee waivers and promote PCE's rebates for heat pump water heaters and heat pump space heating and cooling for multifamily and single family homes. The rental program only provides incentives for in-unit upgrades which ensures tenants receive the most value. Staff continues to identify incentive structures that enable property owners to make upgrades while not resulting in cost impacts to tenants, such as increased rent or utility bills. Additionally, the City expanded the Menlo Park Home Upgrade Services program to include portable air conditioners, space heaters, induction cook hobs, and batteries for income-qualified renters in Belle Haven.</p> <p>A multifamily electrification summit is planned for April 2026 in coordination with other cities in San Mateo County and PCE.</p>	Sustainability Division	City Manager's Office, Public Works Department, PG&E, Peninsula Clean Energy	Strategic Growth Council (Community Resilience Centers Program)	In Progress (Short Term)	Medium Term	

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EJ5.G	Anti-Displacement Strategy. Ensure that City's Anti-Displacement Strategy (Housing Element Program H2.E) supports households and neighborhoods in underserved communities, including identifying, acknowledging, and addressing racial disparities in the housing market. This will include consideration, at a minimum, the following: <ul style="list-style-type: none"> - Rental inventory of all dwelling units - Updated or expanded rent control laws - Rent increase mitigations, such as longer noticing requirements - Community and tenant opportunity to purchase - Revised BMR guidelines allowing for deeper affordability (e.g., subsidies) - Expand relocation assistance for tenants - Just Cause Eviction protections regardless of tenant duration - Strengthened anti-tenant harassment ordinances - An examination of opportunities to limit additional fees passed to tenants like laundry, parking, and utility costs 	Program	<p>As a continuation of the community outreach for the anti-displacement plan, after conducting the two community meetings in 2024, in early Spring 2025, the City circulated a community survey to get broader feedback on the questions posed in the community meetings. Housing staff gave presentations about the survey to a number of community groups such as the Belle Haven Neighborhood Association and the Belle Haven Climate Change Community Team (BHCCCT) which includes representatives from a number of organizations. The survey included all the considered strategies listed in Program EJ5.G along with additional strategies to address anti-displacement. The feedback from the survey helped prioritize the various anti-displacement strategies.</p> <p>On September 3 and 9, 2025, Housing Division staff held meetings with the Housing Commission and City Council, respectively. The meetings were held to receive feedback from the Housing Commission and City Council. The City Council meeting was a study session with live interpretation in Spanish to present the initial findings of the plan and also the proposed recommendations of the plan. The Council provided direction on the proposed recommendations. Staff will return to the Council with the draft plan in 2026.</p> <p>The City joined other jurisdictions in the Grand Nexus study. The study will evaluate the City's current inclusionary requirements and will research potential revisions, including requiring lower rents to the affordable units. The study is under way and planned for completion by the end of 2026.</p>	Community Development	City Manager's Office, Public Works Department	General Fund	In Progress (Short Term)	Long Term	
EJ5.H	Access to Legal Counsel. As part of an anti-displacement program and to ensure stable housing, support increasing access to legal counsel for tenants facing eviction by conducting community outreach, education, and engagement to ensure renters are aware of this resource. Include progress reports on usage annually.	Program	<p>Current legal aid services offered by the City are through partnerships with organizations such as Legal Aid Society of San Mateo County, Project Sentinel, Samaritan House South, and Community Legal Services of East Palo Alto.</p> <p>The City received a grant of \$250,000 from the Metropolitan Transportation Commission (MTC) to implement a Legal Assistance Program and Rental Assistance Program. City staff is close to finalizing the agreement with the MTC to implement a new legal assistance program and bolster the city's existing rental assistance program, which funds were depleted in early 2025.</p>	Community Development	City Manager's Office, Local Tenant Protection Services (e.g., Legal Aid Society of San Mateo County (HomeSavers Project), Project Sentinel by San Mateo County)	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	
Community Priority #2: Goal EJ4. Promote access to high quality and affordable food									
EJ4.1	<i>Encourage adequate food access to fresh and healthy foods for all residents, particularly those in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ4.A	Increasing Food Security. Work with grocery stores and online food service delivery and meal providers to increase access to high-quality affordable and healthy food (e.g., reduced or waived delivery service fees). Encourage and support the acceptance of SNAP (Supplemental Nutrition Assistance Program), CalFresh, and other governmental food assistance programs that increase food security.	Program	In 2025 the Environmental Quality Commission formed a Food Systems ad hoc subcommittee to begin evaluation of options to advance implementation of EJ4.a. Their recommendation to the full commission was on Feb. 26, 2026.	Community Development	Local Grocery Stores (e.g., Safeway, Trader Joe's), Local Grocery Delivery Services (e.g., Uber Eats, GrubHub, DoorDash), CalFresh	Strategic Growth Council (Community Resilience Centers Program)	Medium Term	Long Term	
EJ4.B	Food Assistance Outreach. Inform low-income households and people experiencing homelessness about food assistance programs through multilingual fliers, community events, information at shelters and food banks, as well as other appropriate outreach methods.	Program	<p>In 2025, the City continued partnering with Second Harvest of Silicon Valley for grocery distribution at BHCC on the second and fourth Thursdays of each month. Library and Community Services provides a community resource guide, including information on available housing, medical, and food support programs that is distributed to families and available at the Menlo Park Library and BHCC. Additionally, the City's Housing Resource Guide highlighted food pantries/food assistance services and shelter services such as: <ul style="list-style-type: none"> -Bread Basket, Brown Bag Program, and the Samaritan House Pantry -Mobile food programs such as Second Harvest of Silicon Valley (program is marketed to senior center attendees) and Peninsula Volunteers' Meals on Wheels -Project WeHope Shelter and the Salvation Army Harbor House -The Housing Resource Guide was distributed to RV dwellers regularly parked in the Bohannon Park area. </p> <p>The City also collaborates with the County of San Mateo Department of Housing Encampment Resolution Funding (ERF) Program and WeHope in coordinating food assistance programs for those experiencing unsheltered homelessness in three identified homeless encampments.</p>	Community Development	Communications and Public Engagement Division, Second Harvest of Silicon Valley, Homeless Outreach Team, San Mateo County Human Services Agency	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Medium Term)	Long Term	
EJ4.C	Food Options at City Events. Encourage healthy food options, including vegan and vegetarian options, at municipal buildings and City-participating events. Encourage sourcing food from local small businesses.	Program	<p>The Menlo Park Senior Center operates Monday to Friday, morning to lunchtime, and is based at the Belle Haven Community Campus. The Senior Center lunch program provides nutritionally balanced meals prepared fresh on site. The meals are paired with health, recreation, dance, creative arts, educational programs, and opportunities for conversation, fun, and connection.</p> <p>In 2025 the City hosted the fifth annual Love Our Earth Festival at the Belle Haven Community Campus with a plant-based (vegan) food market.</p>	All City Departments	-	General Fund	In Progress (Long Term)	Long Term	

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ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion
EJ4.D	Healthy Food Markets. Encourage and facilitate the establishment and operation of a farmer's market(s), farm stands, ethnic markets, and mobile health food markets in underserved communities. Conduct widespread outreach and engagement to advertise these markets.	Program	In 2025 the Environmental Quality Commission formed a Food Systems ad hoc subcommittee to begin evaluation of options to advance implementation. Their recommendation to the full commission was on Feb. 26, 2026.	City Manager's Office	Community Development, Second Harvest Food Bank	Strategic Growth Council (Transformative Climate Communities Program)	Long Term	Long Term
EJ4.D.1	At existing and future farmer's markets, or similar events, offer free or subsidized space for vendors who provide healthy, fresh, and affordable food for underserved communities.	Action Item	Farmer's market vendors participated at City events including the Love Our Earth Festival at BHCC on April 26, 2025 and Juneteenth celebrations.	City Manager's Office	Community Development, Second Harvest Food Bank	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Long Term
EJ4.E	Community Gardens. Encourage and simplify the process of developing community gardens within or adjacent to neighborhoods and housing development sites. Facilitate the creation or enhancement of one community garden within three years of Environmental Justice Element adoption.	Program	MidPen's Oak Gardens, a 100% affordable residential development, located on the VA Campus includes a community garden for its residents. The City continues to encourage opportunities for these amenities for its residents and beyond. In 2025, the City helped process development-related items to support the Oak Gardens project and the project broke ground. Oak Gardens is anticipated to be completed in spring 2026.	Community Development	Library and Community Services, Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Round 1 Planning Grant)	In Progress (Medium Term)	Long Term
EJ4.E.1	Explore identifying unused City-owned property to support community gardens. Encourage community gardens as an amenity in required open space areas of new multifamily and mixed-use development projects.	Action Item	In 2025, the Environmental Quality Commission formed a Food Systems ad hoc subcommittee to begin evaluation of options to advance implementation. Their recommendation to the full commission was on Feb. 26, 2026.	Community Development	Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Short Term)	Short Term
EJ4.E.2	Identify private properties suitable for community gardens on vacant or undeveloped lots, or other opportunities for community-supported agriculture within the community. Encourage community gardens as an amenity in required open space areas of new multifamily and mixed-use development projects.	Action Item	In 2025, the Environmental Quality Commission formed a food security subcommittee to begin evaluation of options to advance implementation. Their recommendation to the full commission was on Feb. 26, 2026.	Community Development	Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	Short Term	Short Term
EJ4.E.3	Facilitate the installation of community gardens at senior centers and senior housing facilities.	Action Item	At the BHCC, planning is underway for a container garden on the back patio. This effort is being managed by the Recreation Coordinator who oversees the daily senior lunch program. The container garden will focus on cultivating edible plants that can be incorporated into the daily lunches.	Library and Community Services	Community Development, Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term
EJ4.E.4	Develop programs and encourage developments that make smaller planter boxes or garden beds accessible for apartment dwellers.	Action Item	This item has not yet begun and evaluation for implementation continues.	Community Development	Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	Medium Term	Medium Term
Community Priority #3: Goal EJ2. Reduce pollution exposure and improve air quality								
EJ2.1	<i>Prioritize pollution reduction, air quality (both indoor and outdoor), and water quality programs to reduce inequitable exposure in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ2.2	<i>Implement regenerative and nature-based land management practices at the city scale, as well as collaborate on countywide and regional efforts. Reduce greenhouse gas emissions and improve watershed and human health.</i>	Policy	-	-	-	-	-	-
EJ2.3	<i>Develop the Urban Forest Management Plan for Menlo Park to promote and encourage urban greening on public and private projects (e.g., bioswales, raingardens, habitat restoration) in areas with relatively less tree canopy or other greenery to provide health and safety benefits to underserved communities residents.</i>	Policy	-	-	-	-	-	-

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EJ2.4	Collaborate with the Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)] and other agencies to continuously monitor air quality and seek opportunities to minimize exposure to air pollution and other hazards and maximize air quality (both indoor and outdoor) in underserved communities.	Policy	-	-	-	-	-	-	
EJ2.5	Work with Caltrans on improvements on State-owned rights of way.	Policy	-	-	-	-	-	-	
EJ2.6	When updating or installing transportation infrastructure, consider factors such as stormwater management, Universal Design Principles and attractive green roadway design.	Policy	-	-	-	-	-	-	
EJ2.A	Stationary Pollutant Generators. Work with any identified significant stationary pollutant generators to the extent it is within the City's jurisdiction (e.g., gas stations, automobile repair, dry cleaners, and/or diesel generators) to minimize the generation of pollution through best available control technologies.	Program	As part of any development proposal involving existing or former stationary pollutant generators, the City would review the proposal to ensure it complies with the California Environmental Quality Act (CEQA), including ensuring appropriate mitigations are identified and implemented.	Community Development	Peninsula Clean Energy, Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)], Westbay Sanitary District, San Mateo County Environmental Health, San Mateo County Fire, Sustainability Division	Department of Resources Recycling and Recovery (Greenhouse Gas Reduction Loan Program)	Long Term	Ongoing From Initiation	
EJ2.B	Climate Action Plan Implementation. Implement and periodically update the City's Climate Action Plan to improve air quality and reduce greenhouse gas emissions.	Program	The Climate Action Plan (CAP) is subject to annual progress reports and is scheduled for an update in 2028. The City Council received the 2025 progress report outlining priority actions to achieve carbon neutrality by 2030. Most significant efforts in 2025 include expanding the state grant-funded Home Upgrade Services program to enroll more residents, adopting local building code amendments to encourage energy efficiency and electrification, and making significant strides to eliminate fossil fuel use at municipal facilities. Specifically, 21 homes in Belle Haven have received electrification upgrades as of Jan. 2026 and in partnership with the Belle Haven Community Development Fund a new program to support renters was launched. Gas water heaters at City Hall and the Burgess Pool were replaced with efficient heat pump water heaters through PG&E's Government, K-12 Energy Efficiency Program. Staff also scoped work to replace the final gas water heater at the Arrillaga Family Gymnasium, planned for early 2026. On fleet electrification, the City secured \$2.2 million in grant funding for electric vehicle charging infrastructure for fleet and community vehicles and brought on project management support, with construction planned to begin in 2026. CAP implementation also includes education and outreach, prioritizing bilingual engagement through workshops, door-to-door canvassing, mailers, and community events in Belle Haven and the Bayfront. The City hosted the Love Our Earth Festival at BHCC alongside partners including 350 Silicon Valley, Acterra, the City of East Palo Alto, Menlo Spark, and Peninsula Clean Energy, offering bike fix-it clinics, information about available incentives and programs, free food, and more. The City also continued implementation of its zero emission landscaping equipment ordinance, which took effect for leaf blowers and string trimmers in July 2024, with remaining equipment — chain saws, lawnmowers, and hedge trimmers — phasing in by January 2029.	Sustainability Division	City Manager's Office	General Fund, grants (e.g., California Energy Commission, PG&E, Peninsula Clean Energy, and CALFIRE)	In Progress	Long Term	
EJ2.C	Air Quality Education and Outreach. Conduct proactive education and outreach about indoor and outdoor air quality and protective actions that can be taken to both improve air quality inside one's home and to minimize exposure to poor air quality index days.	Program	In 2025, the City continued providing no-cost whole home electrification to income qualified homeowners (<120% area median income) in Belle Haven with State grant funds. Community outreach focuses on the health impacts of natural gas and has been shared broadly through door-to-door canvassing, the Weekly Digest, social media, collaboration with community based organizations, presentations at public meetings, and posting of information at the Belle Haven Community Campus. As of Feb. 2026, PCE has reported 113 scheduled assessments, 71 completed assessments, 45 signed participation agreements, three emergency water heater replacements and 26 fully completed projects (Attachment C). The completed projects are anticipated to avoid a total of 51.77 metric tons of carbon dioxide equivalent (CO2e) annually. In 2025, the City adopted local amendments to the California Building Standards Code to ensure that homes are energy efficient and either use electric appliances or will be ready for future installation of electric appliances. Property owners replacing main electrical panels will be required to install an outlet for a future electric water heater and reserve space on the panel for electrification (for stoves, dryers, and electric vehicle chargers). Property owners completing home remodels or additions will be required to choose energy efficient measures from a list of options including installing electric appliances.	Sustainability Division [formerly Public Works]	Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)], City Manager's Office, Peninsula Clean Energy, County Office of Sustainability	Department of Resources Recycling and Recovery (Greenhouse Gas Reduction Loan Program)	In Progress (Short Term)	Ongoing From Initiation	

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EJ2.C.1	Identify and implement methods and avenues for public education and outreach about air quality issues in the community.	Action Item	<p>City staff continuously provide information encouraging sign-up for Spare the Air alerts. City staff help educate the community on the impacts of using gas-powered landscaping equipment through methods including, but not limited to, citywide mailing, banners, Weekly Digest and social media posts, outreach to landscapers, and posting information at the Belle Haven Community Campus.</p> <p>Sustainability staff attend Belle Haven Community Climate Change Team meetings to help identify community priorities and solutions for addressing air quality issues in Menlo Park.</p>	All City Departments	Public Works, Communications and Public Engagement Division, Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)], City Manager's Office, Peninsula Clean Energy, San Mateo County Sustainability Department	-	In Progress (Long Term)	Ongoing From Initiation
EJ2.C.2	Support the distribution of air purifiers and/or other air cleaning devices within underserved communities, especially for sensitive populations.	Action Item	<p>In 2025, the City initiated a partnership with the Belle Haven Community Development Fund (BHCDF) to distribute portable electric appliances and air purifiers through the Electrification Bundle for Renters program. Five purifiers were purchased in 2025. In addition, the sustainability purchased two air purifiers to offer as a giveaway to attendees of City outreach events.</p> <p>In 2025, the City continued to support Peninsula Clean Energy's partnership with Climate Resilient Communities to conduct outreach for the Home Upgrade Services Program focused on income-eligible Menlo Park homeowners. The program helps residents transition to electric appliances by providing financial incentives like emergency hot water heater replacements, rebates and zero-percent loans to upgrade their homes, with a particular focus on offering free installations for low-income households to replace outdated gas appliances with cleaner electric options, aiming to electrify homes, reduce carbon emissions, and have cleaner air.</p>	Sustainability Division	Police, Sustainability Division, San Mateo County Sustainability Department	General Fund	In Progress (Long Term)	Ongoing From Initiation
EJ2.D	Illegal Waste Dumping. Minimize and mitigate illegal solid waste dumping (as defined in 7.04.030 of the Municipal Code), potentially through minimizing fees for disposal at landfills in collaboration with South Bayside Waste Management Authority (SBWMA).	Program	<p>The City has several ongoing partnerships to help minimize illegal dumping:</p> <ul style="list-style-type: none"> -Recology offers two free bulky item pick up services that residents can use to dispose of large items (e.g., mattresses and sofas). -The City organizes free electronic waste and document shredding events with RethinkWaste. -The City hosts free household hazardous waste collection events with the San Mateo County Health Department. -Public Works staff receive illegal dumping reports from ACT Menlo Park and staff or Recology responds/collects the item(s) within the next business day. 	Public Works	Communications and Public Engagement	Strategic Growth Council (Transformative Climate Communities Planning Grant)	In Progress (Medium Term)	Ongoing From Initiation
EJ2.D.1	Conduct proactive outreach in underserved communities to inform households of free trash pickup days and solid waste disposal opportunities and programs, including the ACT Menlo Park reporting app. Outreach can include signage about ACT Menlo Park along Pierce Road.	Action Item	The City creates quarterly Recology bill inserts to provide information about free sustainable community related-events (e.g., household hazardous waste collection, document shredding, electronic waste collection, bulky item pick-up services, and compost and mulch giveaways) and to encourage multifamily and commercial properties to contact Recology for free compost pails. The bill inserts also include information about the City's rate assistance program which provides eligible users discounts on their Recology and Menlo Park Municipal Water bills. Additionally, the bill inserts encourage use of the City's online and mobile application called ACT Menlo Park, which makes it easy to report non-emergency issues from a smartphone, tablet, or desktop computer. Public Works staff have QR codes on their business cards to encourage the public to utilize ACT Menlo Park. The City partners with RethinkWaste to produce and distribute spring/summer and fall/winter Rethinker newsletters through direct mailing. Newsletters are also available electronically on the RethinkWaste website. Public Works staffed debris collection monthly events are being planned for Belle Haven beginning in spring 2026 as a pilot program.	Public Works	Communications and Public Engagement, Recology, Public Works	Strategic Growth Council (Transformative Climate Communities Planning Grant)	In Progress (Medium Term)	Ongoing From Initiation
EJ2.D.2	Explore ways to subsidize or eliminate fees for disposal at landfills and implement for underserved communities.	Action Item	The City offers a rate assistance program for solid waste services to help income-eligible residents facing financial hardship.	Public Works	Communications and Public Engagement, Recology, Public Works	Clean California (Local Grants)	In Progress (Long Term)	Ongoing upon commencement
EJ2.E	Green Infrastructure Plan. Review the City's Green Infrastructure Plan and update, as necessary, to incorporate environmental justice. Focus on underserved communities and implement programs in this Element, in coordination with related regional efforts.	Program	Ongoing implementation of the 2019 Green Infrastructure Plan through development reviews through conditions for green infrastructure/LID and complete-streets frontage elements on applicable projects, with attention to Belle Haven/Bayfront areas where relevant. Continued evaluation of green infrastructure requirements on public projects for stormwater permit compliance.	Public Works	Community Development	General Fund	In Progress (Medium Term)	Long Term
EJ2.E.1	Support efforts by other agencies to abate hazardous, polluted, or toxic sites. Align with community members and collaborate with regulatory and regional agencies to clean up hazardous, polluted, or toxic sites and incorporate sea-level rise and groundwater rise in remediation decisions.	Action Item	In 2025, the City advanced efforts for the Strategy to Advance Flood protection, Ecosystems Restoration and Recreation along San Francisco Bay (SAFER Bay) project, a multi-jurisdictional and public-private collaboration to protect communities and critical infrastructure from sea level rise and tidal flooding in the cities of Menlo Park and East Palo Alto. In Menlo Park, the project will use levees, floodwalls, and natural solutions to protect 3.7 miles of shoreline – safeguarding homes, schools, business, and roads from coastal flooding. Aspects of sea level rise include, but are not limited to: structure and contaminant risk, roads and other structures weaken, stream flooding and rising groundwater, loss of shoreline habitat, rising waters, and seawater intrusion.	If on private property then Community development, if for public projects then Public Works	San Mateo County Health, Department of Water Resources, OneShoreline	Governor's Office of Emergency Services (Hazard Mitigation Grant Program)	In Progress (Short Term)	Long Term

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EJ2.E.2	Prioritize comprehensive undergrounding of utilities in underserved communities on private and public property to promote resilience. Consider the impact of shallow groundwater rise on underground utilities.	Action Item	Ongoing implementation of Menlo Park Municipal Code Chapter 15.16 requirements for undergrounding electric and communication service connections on private property under applicable circumstances. For qualifying private development in O, LS, and R-MU zoning districts, projects were reviewed/conditioned to underground eligible overhead electric distribution (<60 kV) and communication lines along the project frontage where required by code; these districts are adjacent to and serve underserved communities.	Public Works	Community Development, City Manager's Office, utilities (e.g., PG&E)	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), PG&E Rule 20 Program, Community Amenities Fund, Bonds per project specific deferred frontage agreements	In Progress	Medium Term	
EJ2.E.3	Focus green stormwater improvements for areas at risk of flooding with an emphasis on underserved communities.	Action Item	Ongoing evaluation of applicable private development projects for stormwater retention and treatment consistent with the stormwater permit requirements and the City's Green Infrastructure Plan, including requiring onsite capture of increases in runoff and installation of stormwater treatment measures to retain and treat runoff prior to discharge to the public storm drain. Where feasible and applicable, staff also continue to evaluate green infrastructure in the public right-of-way/frontage for large developments and qualifying projects consistent with City standards. The City's capital improvement program includes upgrades to its stormwater facilities to mitigate flooding.	Public Works	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Long Term	
EJ2.E.4	Support West Bay Sanitary District, the respective responsible agency, in their efforts to prevent sewage discharges during large stormwater events. In the event of occurrence, coordinate with the responsible agency in conducting proactive, extensive, and prolonged community outreach and education to inform underserved communities of protective actions and risks. The City can coordinate with agencies to promptly share their information with the City Council and community after storms.	Action Item	City staff host regular coordination meetings with West Bay Sanitary District (WBSD) to review upcoming projects including sewer main upgrades to address capacity and leakage issues. Staff also reviews development projects with WBSD to condition upgrades to the sewer main as a condition of the project's frontage improvement where applicable. The City issues notices to impacted residents, prior to resurfacing any given street, for owners to repair their sanitary sewer lateral in advance. In the event that emergency repairs are required due to large storm events, Public Works coordinates with WBSD to expedite corrective measures. For example, staff will issue an emergency encroachment permit, and assist with public outreach and traffic control as required.	Public Works	City Manager's Office, West Bay Sanitary District, East Palo Alto Sanitary District, Fair Oaks Sewer Maintenance District	Strategic Growth Council (Transformative Climate Communities Planning and Project Development Grant)	In Progress (Long Term)	Long Term	
EJ2.E.5	Collaborate with landowners to decrease the risk of flooding by advancing watershed management projects that reduce and/or store runoff during rainfall events, including the installation of green infrastructure and Low Impact Development (LID) practices, and improve the condition in the floodplain, for example through floodplain restoration or improvement.	Action Item	Through development reviews, Engineering/Land Development required feasible LID/green infrastructure measures and stormwater detention/treatment consistent with the City's stormwater permit, GI Plan, and City grading/drainage guidelines. Regulated projects were conditioned to manage increases in runoff onsite and provide treatment prior to discharge to the public storm drain.	Public Works	OneShoreline, Department of Water Resources, City Manager's Office, Community Development	Infrastructure and Economic Development Bank (Infrastructure State Revolving Fund (ISRF) Program)	In Progress	Medium Term	
EJ2.E.6	Encourage green infrastructure in future developments, including using green infrastructure as preferred alternative.	Action Item	Applied the City's Green Infrastructure (GI) Plan and during development review to avoid "missed opportunities," including conditioning feasible GI in public ROW/frontage through frontage improvement requirements.	Public Works	Community Development, City Manager's Office, Sustainability Division	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Long Term	

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EJ2.E.7	Establish requirements for major development and redevelopment projects to construct and maintain urban greening projects in the adjacent public right of way. Community benefits for such projects could include shade trees for pedestrian and biking routes.	Action Item	The existing heritage tree and street tree ordinances have requirements for tree preservation during development and re-planting on private property and in the public right-of-way, with a focus on diversity and large canopy species where site conditions allow. The City is currently updating administrative guidelines to increase the amount of mitigation required for development-related tree removals. City staff review qualifying development projects for frontage improvements which can include the addition of street trees, landscaping, planters, and green infrastructure, within the public right-of-way where feasible. Staff are in the process of developing a request of proposals for the development of the City's urban forest management plan. The plan will provide updated guidelines for tree replanting for development projects.	Public Works	Caltrans, Silicon Valley Bicycle Coalition, Canopy	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), CAL FIRE Urban and Community Forestry Grants	In Progress	Long Term	
EJ2.E.8	Restore and enhance parks, natural lands and large open spaces and explore expansion of the City's natural areas preservation system through land transfers and acquisitions of undeveloped/unprotected private and public lands.	Action Item	The Flyway Trail, which opened in Fall 2024, continues to provide an important new access point to Bedwell Bayfront Park at the terminus of Chilco Street. The trail marked the completion of an approximately decade-long wetland restoration project in the Don Edwards San Francisco Bay National Wildlife Refuge, situated directly adjacent to Bedwell. A pedestrian bridge connects Meta's West Campus (across the Bayfront Expressway) to both the Flyway Trail and the Bay Trail, giving Menlo Park residents easier access to the existing trail network at Bedwell Bayfront Park and other bayside open space preserves. Since the trail's opening, Belle Haven residents have formed a local birdwatching group, and LCS continues to explore additional programming opportunities for the Flyway Trail.	Library and Community Services	City Manager's Office, Community Development, Public Works, Save The Bay, California Department of Conservation	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	Long Term	Long Term	
EJ2.F	National Flood Insurance Program. Increase community outreach and awareness of the City's participation in the National Flood Insurance Program, including the Community Rating System, and the potential benefits to homeowners (e.g., reduced insurance premiums).	Program	In 2025, the City continued to implement the Community Rating System (CRS) activities required to maintain its Class 8 rating. This includes, maintaining elevation certificates, furnishing inquirers with flood information, and general public outreach. Due to reduced funding, FEMA did not require the City to perform annual recertification in 2025. For the 2025-26 wet weather season, the City included messaging on how to prepare for potential flooding in the weekly digest, on social media, and on the City's website.	Communications and Public Engagement Division	Public Works	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	Short Term	Ongoing From Initiation	
EJ2.G	Transportation to City Events. Develop incentives to encourage shared commute programs and alternative methods of travel for city events, meetings, and official business.	Program	In 2025, the City provided transportation from the Belle Haven neighborhood for two City Council meetings including the annual priority setting workshop and budget public hearing. The City's ongoing free shuttle program includes two community shuttles (M1-Crosstown and Shoppers' shuttles) and two commuter shuttles (M3-Marsh Road and M4-Willow Road shuttles) that encourage individuals to take transit instead of driving. The shuttle service complements existing transit services in San Mateo County provided by SamTrans, Caltrain, and the Dumbarton Express. A Comprehensive Shuttle Study was conducted to analyze how to improve the shuttle service to connect the community to transit, jobs, shopping, and other destinations while maximizing ridership and cost-efficiencies. The study was accepted by the City Council on December 17, 2024. The study was accepted by the City Council on December 17, 2024. An update on the study and potential next steps was provided to the City Council in January 2026. SamTrans began piloting the RidePlus microtransit (public transit, on demand) service in the Belle Haven neighborhood in 2024. Caltrain offers the Pass Forward program, where local community-serving organizations partner with Caltrain to provide unused transit passes to residents in underserved communities. The Community Transportation Benefits Program offered by the US 101 Express Lanes provides a \$200 toll or transit credit to qualifying individuals.	City Manager's Office, Public Works	SamTrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition), Public Works, Sustainability Division, Library and Community Services	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Long Term	

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EJ2.H	Collaboration for Electrification. Collaborate with SamTrans and Ravenswood City School District, as well as Meta and other large employers to leverage transportation electrification initiatives to prioritize bus electrification in underserved communities.	Program	SamTrans anticipates being fully electric by 2034, in compliance with State law requiring transit fleets be all electric by 2040.	Public Works	Sustainability Division, SamTrans, Ravenswood City School District, Large Local Businesses (over 50 employees, e.g., Meta, SRI International, Grail, others)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Medium Term
EJ2.I	Regulations Revisions. Consider revisions to applicable City regulations that will reduce pollution exposure, eliminate environmental inequities, and improve quality of life in underserved communities.	Program	In 2025, City Council adopted local building code amendments that require enhanced energy efficiency, pre-wiring and electrification for existing buildings ahead of the 2025 code cycle. Electrification eliminates the combustion of fuel gases and improves community air quality and indoor air quality for residents.	All City Departments	All City Departments	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Medium Term
EJ2.I.1	Review truck routes and/or identify and pursue measures for reductions to diesel emissions in underserved communities.	Action Item	This item is planned for action in 2026.	Public Works	Caltrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	Medium Term	Long Term
EJ2.I.2	Identify, evaluate and implement potential mitigation measures that support Caltrans mitigation efforts to reduce noise and air quality impacts from adjacent freeways and highways, particularly those impacting underserved communities.	Action Item	Coordination with Caltrans on noise mitigation efforts is ongoing. For streets, the City incorporates rubberized asphalt concrete (RAC) as a bid alternate on street resurfacing projects impacting arterials and collectors. RAC is composed of recycled tires and is a considered a more environmentally friendly material compared to traditional asphalt. RAC can also reduce vehicular noise for speeds at 45 miles per hour or greater.	Public Works	Caltrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Long Term)	Long Term
EJ2.I.3	Install improved vegetative buffers between freeways and highways and adjacent land uses to reduce noise and air quality impacts, upon identification of the roadway segments for such installations.	Action Item	The U.S. 101/ Willow landscaping plans reached 95% with planned construction in summer 2026. The City continued to respond to resident requests for street tree plantings to serve as vegetative buffers from freeways. Over the past year, three trees have been planted for this purpose.	Public Works	Caltrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning) Community Amenities Fund	In Progress	Long Term
EJ2.I.4	Review and update the Transportation Toolkit (Appendix I to the Transportation Master Plan) and the City's standard design details to incorporate Universal Design principles to enhance access for all people.	Action Item	This item has not yet begun and evaluation for implementation continues.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	Long Term	Medium Term

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EJ2.I.5	Support roadway design that integrates green stormwater infrastructure into traffic calming (where appropriate) and includes trees, landscape buffer areas, public art, public space, and other visual enhancement.	Action Item	The City has a Green Infrastructure (GI) Plan to guide the implementation of GI and ensure "no missed opportunities" across projects. Staff evaluates all qualifying development and street resurfacing projects for implementation of complete streets and GI features. Contingent upon factors such as right-of-way width and funding, traffic calming, landscaping, and GI are assessed when planning roadway projects or leveraged as part of frontage improvements for development projects.	Public Works	Caltrans, Library and Community Services	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Long Term
EJ2.I.6	Consider rezoning and limiting the intensity and usage of industrially zoned properties and/or other means such as landscaping to ensure a healthier and safer separation between residential and industrial uses.	Action Item	As part of any development proposal in the LS (Life Sciences) zoning district and M-2 (General Industrial) zoning district, the City would review the proposal to ensure it complies with the California Environmental Quality Act (CEQA), including ensuring appropriate mitigations are identified and implemented to support healthy and safe separation between different land uses.	Community Development	Public Works	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	Medium Term	Medium Term
EJ2.I.7	Explore reductions to parking requirements with the intent to encourage balanced live, work, and play environments.	Action Item	In 2025, the City advanced efforts for the Downtown Parking Management Study which strives to manage existing public parking spaces in a fair and efficient manner for the benefit of the entire community. The Downtown Parking Management Study will evaluate ways to make the best use of existing parking resources while balancing convenience for all users. Establishing minimum and maximum parking requirements is one part of the transit-oriented communities planning approach that supports housing, shops, and services within walking distance of public transit.	Community Development	Public Works	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	Medium Term	Medium Term
EJ2.I.8	Inform residents and organizations in underserved communities of the permit application process for temporary street closures for temporary events such as farmers' markets, arts and craft fairs, bicycle and pedestrian events, and other public events. Consider easing the permitting process for temporary street closures in the city.	Action Item	In 2025, there were eight major events at Bedwell Bayfront Park with only parking spaces impacted and not full, temporary street closures.	Police	City Manager's Office, City Attorney's Office, Community Development, Public Works.	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Short Term
EJ2.J	Urban Forest Management Plan. Develop Urban Forest: Developing the Management Plan for Menlo Park within four years of the adoption of the Environmental Justice Element.	Program	Staff are in the process of developing a request of proposals for the developmet of the City's urban forest management plan. A request for proposals for early action tree planting plan was released in December. Tree planting is planned for 2026.	Public Works	Sustainability Division, Canopy	Strategic Growth Council (Community Resilience Centers Round 1 Planning Grant), United States Department of Agricultural (USDA) Grants, CALFIRE grants. City of Menlo Park Heritage Tree in-lieu fee program	In Progress	Long Term

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EJ2.J.1	Urban canopy expansion prioritizing underserved communities and areas vulnerable to urban heat effects, using tools such as the Tree Equity Score and Bay Area Greenprint.	Action Item	Staff are in the process of developing a request of proposals for the developmet of the City's urban forest management plan. A request for proposals for early action tree planting plan in Belle Haven was released in December. Tree planting is planned for 2026.	Public Works	Sustainability Division, Canopy	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), Community Amenities Fund	In Progress	Short Term
EJ2.J.2	Implement equitable canopy expansion procedures and promote and maintain healthy and vibrant trees that may require dedicating additional resources within the City Arborist Division, Public Works.	Action Item	The City replaces each street tree and park tree that is removed, as long as there is space. Staff are in the process of developing a request of proposals for the developmet of the City's urban forest management plan. A request for proposals for early action tree planting plan in Belle Haven was released in December. Tree planting is planned for 2026.	City Manager's Office, Public Works	Sustainability Division, Public Works	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program),	In Progress	Short Term
EJ2.J.3	Include trees, landscape buffer areas, public art, public space, and other visual enhancements in roadway projects, emphasizing tree planting and landscaping along all streets.	Action Item	Contingent upon factors such as right-of-way width and funding, traffic calming, and landscaping, green infrastructure is assessed when planning roadway projects and leveraged as part of frontage improvements for development projects. Routine maintenance is conducted every five years for street and park trees. Residents may request evaluation of work needs outside of routine maintenance and request new tree planting as needed. All removed public trees are replaced as long as there is space.	Public Works	Community Development, Menlo Park Library and Community Services Department	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), Community Amenities Fund (north of 101 implementation of Action Item 2.N.3)	In Progress	Long Term
EJ2.J.4	Use Urban Forest: Developing the Management Plan for Menlo Park to prioritize the retention of mature street trees in public rights of way or City-owned parcels during infrastructure modifications (e.g., using solutions such as bulb-outs, basin expansion, and sidewalk re-routing).	Action Item	The City has preservation requirements for heritage and street trees. Staff are in the process of developing a request of proposals for the developmet of the City's urban forest management plan. A request for proposals for early action tree planting plan in Belle Haven was released in December. Tree planting is planned for 2026.	Public Works	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress (Medium Term)	Long Term

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EJ2.J.5	Coordinate with property owners to help preserve mature trees by replacing any that require removal in any redevelopment process. Explore opportunities to transplant trees and vegetation that require removal during construction to other places within underserved communities. Consider requiring multiple new trees be planted for each mature tree removed.	Action Item	The City is updating administrative guidelines to require increased mitigation for development-related removals. The City Arborist reviews each proposed heritage and street tree removal and ensures there is "good cause" for removal after exhausting all other alternatives. The City Arborist also ensures sufficient mitigation (e.g., multiple replacement trees or a large tree replacement) is provided for each approved heritage tree removal.	Public Works - Trees	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term
EJ2.K	Extreme Heat Relief. Prioritize relief from extreme heat (Safety Element Program S1.T) in underserved communities. Information on these resources shall be provided at community facilities (e.g., BHCC).	Program	The City operates three cooling centers at the Arrillaga Family Recreation Center, Belle Haven Community Campus, and the Menlo Park Library. The facilities are air-conditioned and open to the public everyday. A-frames are placed on extreme weather days inviting community members to seek relief in the facility. Signage improvements for facilities continue to be considered (e.g., branded, informational/directional signage for A-frames). Additionally, the Home Upgrade Services program provides air conditioning through the installation of heat pumps and has installed 24 at no-cost to Menlo Park homeowners since program launch in Sept. 2024.	Library and Community Services	Communications and Public Engagement	General Fund	In Progress	Ongoing From Initiation
Goal EJ1. Address unique and compounded health risks								
EJ1.1	<i>Prioritize programs that address the unique and compounded health risks present in underserved communities currently and in the future.</i>	Policy	-	-	-	-	-	-
EJ1.2	<i>Reduce climate vulnerability in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ1.3	<i>Strengthen collaboration efforts with residents in underserved communities, particularly on public improvement projects.</i>	Policy	-	-	-	-	-	-
EJ1.4	<i>Prioritize active transportation (e.g., walking, bicycling, wheelchair) improvements, transit incentives, and neighborhood connectivity in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ1.A	Prioritizing Public/Capital Improvements. Prioritize public/capital improvements needed in underserved communities with priority allocation of funding, available to the City locally and from regional, statewide, and federal entities, for such projects, and to address climate change.	Program	The Belle Haven Child Development Center was included in PCE's 2023 GovPV program for solar panel installation. The solar panels were installed in 2025 and will be energized in 2026. PCE plans to revisit project sites in 2027 to install battery systems for additional resilience and load shifting to further reduce electricity bills. In 2025, the City won technical assistance and up to \$100K in gap funding from the BayREN Decarbonization Showcase for a zero-net energy electrification retrofit at the Belle Haven Child Development Center. City Council authorized the use of CEC communitywide electrification grant funding for the project, with construction planned for completion by summer 2026. Additionally, the City received PG&E funding to replace the facility's existing gas water heaters with electric heat pumps. By the end of 2026, BHCDC will be fully electric powered by the rooftop solar system. Belle Haven is vulnerable to flooding from a 100-year tide event / sea level rise. Protecting the community is a priority of the SAFER Bay project. The SAFER Bay Project is a multi-benefit, multi-jurisdictional, public-private collaboration that will protect critical infrastructure, protect and restore critical habitat, provide community resilience to current tidal flooding and projected sea level rise, and improve recreational access, using both engineered structures and nature-based flood protection. The City received a FEMA grant for the Menlo Park SAFER Bay Project which focuses on the development of a levee system from the Dumbarton Bridge to Bedwell Bayfront Park for storm and sea level rise protection. The design is currently underway and will be completed in 2027.	City Manager's Office, Public Works	Community Development, Sustainability Division	General Fund, General Capital Fund, Countywide Transportation Sales Tax Funds (Measure A & W), State and Federal Gas Taxes	In Progress (Short Term)	Long Term
EJ1.A.1	Support (to the extent possible and subject to funding limitations) non-governmental agencies' grant applications and projects that will specifically help implement the Environmental Justice Element and address highlighted issues in underserved communities such as safe housing, increased tree coverage, recreational resources, active transportation, environmental concerns, and air quality.	Action Item	The Community Funding Program provided approximately \$350K for projects that advance basic services, community enrichment, and community health. To see recipients: https://www.menlopark.gov/Government/Departments/City-Managers-Office/Special-projects/Community-funding-program . Provided letter of support for Caltrans' Clean California Community Cleanup and Employment Pathway grant proposal submitted by C/CAG, Climate Resilient Communities and the San Jose Conservation Corps to coordinate cleanup locations and promote our community cleanup workdays.	City Manager's Office	All City Departments	Bayfront Mitigation Fund (project specific) Community Amenities Fund (projects specific)	In Progress (Short Term)	Ongoing From Initiation
EJ1.B	Reporting EJ Considerations. Prepare publicly available reports annually to describe how underserved communities are considered and prioritized in capital improvement plans, departmental work plans, and budgets within four years after the adoption of the Environmental Justice Element.	Program	This item has not yet begun and evaluation for implementation continues.	All City Departments	-	General Fund	Medium Term	Ongoing From Initiation
EJ1.C	Progress Report. Develop and publicize annual or every-other-year reports that measure progress and outcomes of the implementation of the Environmental Justice Element programs within six years after the adoption of the Environmental Justice Element.	Program	In March 2025, the Planning Commission and City Council reviewed the 2024 Environmental Justice Element Annual Progress Report (EJ APR). The EJ APR summarizes progress to advance environmental justice during the prior calendar year. The Planning Commission and City Council will review the 2025 EJ APR in March 2026.	Community Development	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation

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EJ1.D	CalEnviroScreen Review. Review CalEnviroScreen to support evaluation of Environmental Justice Element policies and programs.	Program	CalEnviroScreen was used as an informational tool to support the early preparation of materials to develop the City's first urban forest management plan. CalEnviroScreen is also being used to shape the eligibility for resident's to receive an electric vehicle or e-bike voucher through the City's program launching in 2026 in partnership with Acterra.	Community Development	California Office of Environmental Health Hazard Assessment, All City Departments	General Fund	In Progress (Long Term)	Ongoing From Initiation
Goal EJ3. Equitably provide appropriate public facilities to individuals and communities								
EJ3.1	<i>Prioritize providing public facilities and programming for underserved communities.</i>	Policy	-	-	-	-	-	-
EJ3.2	<i>Ensure accessibility of public facilities for all community members, especially those in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ3.3	<i>Support programs that increase access to public and private health resources for underserved communities in locations that are convenient and accessible.</i>	Policy	-	-	-	-	-	-
EJ3.4	<i>Coordinate with local school districts, transit operators, and other public agencies to provide adequate public facilities, improvements, and programs in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ3.A	Climate Resilience Centers. Identify, renovate, and retrofit candidate public buildings in underserved communities to serve as Climate Resilience Centers as outlined by the California Strategic Growth Council. These buildings should be places where the community already regularly gathers, such as libraries, community centers, or the Belle Haven neighborhood substation.	Program	The Belle Haven Community Campus was completed in 2024 and serves as a Red Cross shelter and community hub. The Campus received the 2025 Green Building Honorable Mention cosponsored by Sustainable San Mateo County and the San Mateo County Chapter of the American Institute of Architects and awards from the American Society of Civil Engineers. Sustainable San Mateo County notes, "The project was recognized in a highly competitive field, which included a diverse array of sustainable residential, commercial and civic projects. This LEED Platinum, net-zero energy facility stands as a beacon of resilience and innovation in the Belle Haven neighborhood of Menlo Park."	Public Works	Sustainability Division, Menlo Park Library and Community Services Department	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term
EJ3.B	Pet Waste Management. Work with relevant departments to install infrastructure allowing for easy disposal of pet waste at parks and along highly trafficked streets.	Program	This item has not yet begun and evaluation for implementation continues.	Public Works	City Manager's Office	General Fund	Medium Term	Medium Term
EJ3.C	Expand Internet Access. Work with internet service providers to support affordable access for low-income households, potentially in partnership with neighboring jurisdictions or state agencies. Inform the community of existing or future partnerships through community workshops that also serve to improve internet literacy and technological skills. In addition, expand outreach and community access to the City Library's laptop and wireless hotspot, or similar, borrowing programs.	Program	The City currently offers laptop lending and wi-fi hotspots free to residents at the library with their library card. In 2025, the City increased number of laptops and facilitated 2,588 laptop loans and 402 wireless hotspot loans. Providing internet access continues to be a priority for the department.	Library and Community Services	Local Internet Providers (e.g., AT&T, Xfinity, Spectrum), San Mateo County Public Works, California Public Utilities Commission, Administrative Services Department/Information Technology Department	California Advanced Services Fund: Broadband Public Housing Account	In Progress (Medium Term)	Medium Term
EJ3.D	Health Care Partnerships. Seek to form partnerships, particularly with community based organizations and businesses, and consider options for the use of City facilities to promote and support access to health care for underserved communities.	Program	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant), Department of Health and Human Services (Service Area Competition Grant)	Medium Term	Long Term
EJ3.D.1	Encourage local transit providers to establish and maintain routes and services that provide underserved communities with convenient access to health service facilities.	Action Item	The City's ongoing free shuttle program includes two community shuttles (M1-Crosstown and Shoppers' shuttles) and two commuter shuttles (M3-Marsh Road and M4-Willow Road shuttles) that encourage individuals to take transit instead of driving. The shuttle service complements existing transit services in San Mateo County provided by SamTrans, Caltrain, and the Dumbarton Express. Coordination between the City and local transit agencies for service is ongoing. A Comprehensive Shuttle Study was conducted to analyze how to improve the shuttle service to connect the community to transit, jobs, shopping, and other destinations while maximizing ridership and cost-efficiencies. The study was accepted by the City Council on December 17, 2024. Changes to the shuttle program were implemented in 2025.	Public Works	SamTrans, Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term

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EJ3.D.2	Partner with local transit providers to provide a comprehensive system of para-transit service for seniors and people of all abilities and enhance service within the city and to regional public facilities, especially for access to health care and other needs.	Action Item	SamTrans provides paratransit through Redi-Wheels. Coordination between the City and SamTrans for service is ongoing.	Public Works	SamTrans, Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Medium Term
EJ3.D.3	Identify means of supporting a citywide paramedicine program providing health care delivery, pop-up clinics, and home visits, especially to those most vulnerable or underserved, such as seniors and residents of underserved communities through partnering with health care services.	Action Item	This item has not yet begun and evaluation for implementation continues.	Community Development	Library and Community Services, City Manager's Office, Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant), Department of Health and Human Services (Service Area Competition Grant)	Medium Term	Medium Term
EJ3.D.4	Identify a partner who can provide a community health clinic in Belle Haven.	Action Item	Ravenswood City School District is currently investing approximately \$65 million towards renovating all of the instructional rooms on the Belle Haven Elementary School campus, creating new spaces for early childhood and students with special needs, adding brand new classrooms, and relocating and expanding the gym on the site to be more community facing. The Belle Haven construction project is underway. The District and the Ravenswood Family Health Clinic are exploring options to develop a health clinic at the campus.	City Manager's Office	Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant), Department of Health and Human Services (Service Area Competition Grant)	In Progress (Medium Term)	Medium Term
EJ3.E	After-school Programs Coordination. Coordinate with schools and other local organizations (e.g., Boys and Girls Club) to support after-school activities and related outreach/communications generally.	Program	In 2025, after-school activities included expanded teen events, recreational activities, and educational programs (cooking/coding) timed for neighborhood school release times (Beechwood School and Ravenswood City School District). In 2026, an after-school homework help program is planned at Belle Haven Community Campus.	Library and Community Services	Ravenswood City School District	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Long Term
EJ3.E.1	Coordinate with the Ravenswood City School District and Beechwood School to help publicize affordable after school care options/programs and explore opportunities to enhance transportation options for youth to BHCC.	Action Item	Ravenswood City School District has a number of after school care options/programs and the City can help publicize and enhance usage. City vans provide transportation to Belle Haven Community Campus for youth enrolled in the City's after school program. Staff continue to evaluate opportunities to increase transportation options (e.g., transportation for youth interested in going to BHCC after school but are not enrolled in the City's program) and staffing capacity.	Library and Community Services	Communications and Public Engagement, Ravenswood City School District	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Long Term
EJ3.E.2	Encourage joint use of recreational fields.	Action Item	The City's joint use agreement with Ravenswood City School District for the Belle Haven School field was amended due to construction at the school in 2023. Staff anticipates a revised agreement once school construction is completed, expected in the Fall 2026.	Library and Community Services	Public Works, Ravenswood City School District	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term
EJ3.F	Community Banking Services. Seek to form partnerships or other agreements with a banking specialist and other identified partners to provide a community bank or banking services in the underserved communities.	Program	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	Local banks	Strategic Growth Council (Transformative Climate Communities Planning Grant)	Medium Term	Long Term

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EJ3.G	Programming Plans. Ensure delivery on the needs of underserved communities through the City's Programming Plans currently in place and continue to adapt programming based on community feedback through regular community surveys and outreach.	Program	<p>The City provides a wide range of lifelong learning and recreational opportunities for Menlo Park residents of all ages, abilities, and lived experiences. Programs and facilities include public libraries, recreation and sports, early childhood education, after-school programs, summer youth camps, older adults (senior) services, athletic fields and courts, community events, and aquatics. Based on survey results, staff are looking at programming and offerings to meet diverse needs.</p> <p>In 2025, several policies were adopted by the Library Commission and Parks and Recreation Commission to address community and operational needs. recommended updates and the adoption of policies that addressed community and operational needs. Some policies directly addressed new services at the new Belle Haven Community Campus. This new facility combines a public library, senior center, gymnasium, after-school program, and aquatics center, all under one roof. The campus is designed to Leadership in Energy and Environmental Design (LEED) Platinum environmental standards, showcasing leading-edge sustainability. There has been significant community engagement and opportunities for feedback not only for the programming and operations planning of the new Belle Haven Community Campus but also focused on childcare, recreation programming, aquatics, tennis, and more.</p>	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Long Term
EJ3.G.1	During facility renovations, install distributed solar panels and battery storage over facility parking lots for resiliency and heat reduction.	Action Item	In 2025, in partnership with Peninsula Clean Energy through the GovPV Solar and Storage for Public Buildings program, solar was installed at the Belle Haven Child Development Center, the Menlo Park Library, and Arrillaga Family Gymnastics Center with additional systems under construction for City Hall. Additionally, the final phase of the Belle Haven Community Campus microgrid, the solar carports at Kelly Field, is under construction and planned for completion by spring 2026.	Public Works	Menlo Park Library and Community Services Department, Menlo Park Public Works Department, Silicon Valley Clean Energy, Menlo Park Building Division	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Short Term
EJ3.G.2	Provide equitable access to programs at the Belle Haven Community Campus (BHCC) through appropriate costs and proactive, multilingual, and multimodal outreach for residents of underserved communities.	Action Item	Programming plans for the Belle Haven Community Campus (BHCC) emphasize equitable access to programs through appropriate costs and proactive, multilingual, and multimodal outreach for residents of underserved communities. In May 2024, a hyperlocal resident enrollment fee program began. Menlo Park residents who live or attend K-12 school within the BHCC service area (generally the area north of the US-101 and also the Flood Triangle neighborhood) are eligible for hyperlocal resident enrollment fees at BHCC. As of Jan. 5, 2026 there was an approximate 50% increase from 2024 enrollment with 2,073 hyperlocal residents registered with the City for eligibility to receive the lower cost fees.	Library and Community Services	Library and Community Services Department, Community-Based Outreach Organizations (e.g., Menlo Together, Climate Resilient Communities)	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term
EJ3.G.3	Providing community programming for all age groups, including older teens and older adults not considered seniors.	Action Item	<p>The City provides and is working to develop additional programming for all age groups, including teens and older adults not considered seniors, and will continue to adapt programming to meet community needs and desires as they change over time, with community input.</p> <p>In 2025, there were 66 programs with 1,700 attendees. This represents an increase of number of events by 164% with attendance increased by 421% from 2024.</p> <p>-The Halloweek! community event series attendance and activities expanded in 2024: the Halloween Hoopla parade and carnival's attendance increased approximately 36% from 2024 with an estimated 2,000 attendees; the Pumpkin Splash continued Belle Haven Pool, increasing total attendance and Trunk or Treat at the Belle Haven Community Campus drew 310 attendees.</p> <p>-The October 2025 report compilation includes a new statistic that tracks the numbers of new City recreation client accounts, which are used by people to enroll in recreation classes and summer camps, purchase tickets to events, and apply for facility rentals, among other functions. The number of new recreation client accounts increased by 112% from October 2024 (380 new accounts created) to October 2025 (806 new accounts).</p> <p>-Additionally, there are feedback boxes at all Library and Community service facilities that are responded to quarterly.</p>	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Medium Term

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EJ3.G.4	Provide childcare, potentially with funding support for residents of underserved communities.	Action Item	The City provides childcare with funding support for underserved communities at the Belle Haven Child Development Center and Belle Haven Youth Center. The Belle Haven Youth Center continues to have broad community interest and is fully enrolled for both the after school and summer camp programs. Tuition is subsidized based on income level with grant funding from the State and other sources.	Library and Community Services	Local Childcare Organizations	California Department of Education	In Progress	Medium Term	
EJ3.G.5	Communicate with the Ravenswood City School District to enhance an understanding of preferred amenities and activities that can be included at Belle Haven Community Campus.	Action Item	Communication between the City and the Ravenswood City School District is ongoing. The School District partners with Boys and Girls Club of the Peninsula, East Palo Alto Tennis and Tutoring, and City Year to provide before-school and after-school care. These collaborations offer both academic support and enrichment activities and the City continually seeks opportunities to amplify support for youth and families. The Belle Haven Library provides story times during the school day for Belle Haven Elementary School.	Library and Community Services	Ravenswood City School District, Communications and Public Engagement	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term	
EJ3.G.6	Provide safe and highly visible pathways that connect residential areas in underserved communities to the new community center. Safety and visibility features should include adequate lighting.	Action Item	The Transportation Master Plan and the Vision Zero Action Plan identify high priority systemic safety issues to be addressed in all neighborhoods, with a focus on underserved communities.	Public Works	Library and Community Services, Community Development	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term	
EJ3.G.7	Support the inclusion of artwork (e.g., murals) that reflects the diversity and culture of underserved communities at community centers and beyond. Include community artifacts and testaments to community history in the community center.	Action Item	Belle Haven Community Campus includes exhibits and displays focused on Belle Haven history, people, and neighborhood stories, rotating exhibits by local artists, interpretive artworks and multimedia. Staff continue to research opportunities for adding more permanent displays.	Library and Community Services	Local Art Initiatives (e.g., Elevate Art Menlo Park, Allied Arts Guild)	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Long Term	
EJ3.G.8	Uplift culturally relevant holiday events at Belle Haven Community Campus to foster a feeling of belonging among all residents.	Action Item	The City continually partners with community members to develop culturally relevant events. On Feb. 8, the City held a Black Liberation Month celebration. On June 14, 2025, the City held a Juneteenth celebration. In 2026, the City plans to host Black Liberation Month and Juneteenth celebrations again and will add a Lunar New Year celebration.	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Short Term	

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EJ3.G.9	Facilitate yoga classes and other opportunities for regular community-gathering physical activities, such as walking groups and/or hiking programs for the underserved communities. Plan programs suitable to multiple age groups and abilities.	Action Item	The City currently offers yoga, Zumba, line-dancing and other movement classes for various age groups and the classes are well attended by the community. There remains an opportunity to work with the community to develop new opportunities for community-oriented physical activities such as walking and/or hiking programs.	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Short Term
EJ3.H	Amenities Access. Ensure that recreational facilities throughout Menlo Park provide residents of all ages, income levels, genders, and lifestyles, with access to parks, community centers, sports fields, trails, libraries, and other amenities.	Program	The City provides a wide range of lifelong learning and recreational opportunities for Menlo Park residents of all ages, abilities, and lived experiences. Programs and facilities include public libraries, recreation and sports, early childhood education, after-school programs, summer youth camps, older adults (senior) services, athletic fields and courts, community events, and aquatics.	Library and Community Services	Public Works, Community Development	General Fund	In Progress	Long Term
EJ3.H.1	Provide public facilities that are well designed, energy efficient, maintained, and compatible with adjacent land uses.	Action Item	In 2025, the Belle Haven Community Campus completed one year of operations. The facility is an all-electric, zero combustion, net zero energy public building with onsite renewable energy generation, battery microgrid, and electric vehicle charging stations. The facility is built to Leadership in Energy and Environmental Design (LEED) Platinum environmental standards, and its structural design is resilient to serve as an emergency shelter. In 2025 the City began design of the Belle Haven Child Development Center zero-net energy electrification retrofit. The project is planned to be completed by summer 2026 and includes enhanced ventilation, filtration and controls through efficient systems that will be powered by rooftop solar.	All City Departments	Community Development	General Fund	In Progress (Medium Term)	Long Term
EJ3.H.2	Offer substantially reduced costs for recreation activities, particularly to residents of underserved communities based on economic need.	Action Item	Programming plans for Belle Haven Community Campus emphasize equitable access to programs through appropriate costs and proactive, multilingual, and multimodal outreach for residents of underserved communities. Menlo Park residents who live or attend K-12 school within the service area of the Community Campus (generally the area north of the US-101 and also the Flood Triangle neighborhood) are eligible for hyperlocal resident enrollment fees at the Community Campus. The hyperlocal resident enrollment fee began in May 2024. As of February 19, 2025, there are 1,383 hyperlocal residents registered with the City for eligibility to receive the lower cost fees.	Library and Community Services	Menlo Park Library and Community Services Department	General Fund	In Progress	Medium Term
EJ3.H.3	In coordination with the City's Parks and Recreational Facilities Master Plan, provide public restroom facilities at parks in underserved communities.	Action Item	There are four parks in Belle Haven and Bayfront. Two parks have restrooms (Bedwell Bayfront Park and Kelly Field), and two parks do not have restrooms (Karl E Clark Park and Hamilton Park). The effort to evaluate the provision of additional restrooms has not begun but will be planned in the future.	Public Works	Menlo Park Library and Community Services Department, Menlo Park Public Works Department	General Fund, Recreation In-Lieu Fee Fund	Short Term	Long Term
EJ3.H.4	Expand hours for public recreation facilities to allow working people to take advantage of the facilities. This should include open hours until 9:00 p.m. on weekdays and possibly shortened hours on weekends.	Action Item	Belle Haven Community Campus is open from 8:00 a.m. to 8:00 p.m. on Monday through Friday, 8:00 a.m. to 6:00 p.m. on Saturday, and 10:00 a.m. to 6:00 p.m. on Sunday. City staff continually monitor facility usage and seek opportunities for improvement and enhanced access, as much as possible.	Library and Community Services	-	General Fund	In Progress (Short Term)	Short Term
Goal EJ6. Encourage physical activity and active transportation								
EJ6.1	<i>Prioritize programs that encourage physical activity in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ6.2	<i>Support physically active lifestyles through investment in complete streets and active transportation (e.g., walking, bicycling, wheelchair) and safety in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ6.3	<i>Prioritize the implementation of traffic and transit improvements in underserved communities to reduce excessive speed, limit cut through traffic, and make streets comfortable and accessible places for all users and abilities.</i>	Policy	-	-	-	-	-	-

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EJ6.A	Outdoor Physical Activity. Identify and eliminate barriers to outdoor physical activity, such as damaged, incomplete, blocked, or littered sidewalks and bike paths, lack of safe street crossings and direct connections, excessive speeding, insufficient lighting, and lack of landscaping and shade trees along streets in underserved communities.	Program	City staff review all development projects, subject to a planning permit, for frontage improvements (including sidewalks, gutters, trees, lighting) with respect to City guidelines and transportation master plans. In addition, the Public Works Department retains an on-call asphalt and concrete repair contractor to correct sidewalk gaps or local pavement damages where reported by staff or the public. The City continually evaluates street resurfacing projects for inclusion of complete street goals (such as traffic calming, signing and striping, bicycle lane, accessible curb ramp upgrades) where applicable.	Public Works	Community Development, Sustainability Division	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Long Term	
EJ6.B	Public Safety Education. In concurrence with the City's Vision Zero Action Plan, develop and implement education campaigns to increase the safety and comfort of people walking, bicycling and taking transit. These efforts should include education for people using all modes.	Program	The City continually implements education campaigns. Through the Safe Routes to School Program, the City supports the Ruby Bridges Walk to School Day which is celebrated on November 14th to honor Ruby Bridges' courage in desegregating an all-white school in 1960. The day encourages students to walk to school and learn about the civil rights movement. In 2025, pedestrian safety curriculum materials were distributed through the City's monthly Safe Routes to School newsletter to Belle Haven Elementary School and TIDE Academy.	Public Works	Silicon Valley Bicycle Coalition, SamTrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Ongoing From Initiation	
EJ6.C	Safe Routes to School. Coordinate with Ravenswood City School District to expand the Safe Routes to School program, including potential for increased crossing guards at key intersections.	Program	The City has a Safe Routes to School Program. The Safe Routes to School Task Force meets quarterly and convenes representatives from surrounding school districts and schools, Menlo Park and Atherton police departments, city and county public works departments, San Mateo County Sheriff's Office, San Mateo County Office of Education, local organizations, and parents to discuss challenges around walking and biking to school and share ideas and opportunities for the Safe Routes to School program. The City coordinates with the Ravenswood City School District and has information online regarding their hiring process for crossing guards. Ravenswood City School District has reported challenges hiring for and filling crossing guard positions.	Public Works	Ravenswood City School District	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Long Term	
EJ6.D	Transportation Master Plan. Prepare to update and adopt the City's Transportation Master Plan (best practice is to update every 10-15 years) to improve environmental justice by advancing equity, mobility, reducing air pollution, and increasing bicycle and pedestrian safety.	Program	The Vision Zero Action Plan, which is part of the City's Transportation Master Plan, was adopted by City Council in 2024. The Vision Zero Action Plan identifies high priority systemic safety issues to be addressed in all neighborhoods, with a focus on underserved communities. The implementation of the Transportation Master Plan and Vision Zero Action Plan are ongoing.	Public Works	Caltrans, Community-Based Outreach Organizations (e.g., Menlo Together, Climate Resilient Communities), Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation Grants (Safe Streets and Roads for All, Sustainable Transportation Planning)	In Progress (Long Term)	Long Term	
EJ6.D.1	Consider community solutions for addressing concerns related to parking (e.g., idling and noise, parking availability challenges) in underserved communities and explore the creation of Residential Preferential Parking (RPP) programs.	Action Item	This item has not yet begun and evaluation for implementation continues.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition), Police	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	Medium Term	Medium Term	
EJ6.D.2	Seek opportunities to improve pedestrian safety, at all Willow Road intersections.	Action Item	In 2025, the City worked on completing the preliminary design phase of the Willow Road Pedestrian and Bicycle Safety Project, which includes Willow Road enhanced pedestrian crossings, a new pedestrian crossing at O'Brien Street, and separated (Class IV) bikeways on both sides of the street between Bayfront Expressway and U.S. Highway 101. Design is anticipated to be completed in 2027, with construction in 2028.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Federal Transit Administration (Metropolitan & Statewide Planning and Non-Metropolitan Transportation Planning), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Short Term	

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EJ6.D.3	Consider strategies to reduce excessive speed and cut-through traffic in underserved communities.	Action Item	In 2025, staff presented the Slow Streets Program to the Complete Streets Commission. The program establishing a data-driven and equitable approach for assessing neighborhood street safety concerns, prioritizing projects, and implementing appropriate traffic calming measures. The Complete Streets Commission recommended the Slow Streets Program for City Council adoption.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Long Term
EJ6.D.4	Install traffic calming measures to reduce speeds, as well as flashing stop signs in underserved communities, particularly around schools during pick-up and drop-off periods.	Action Item	In 2025, staff began the design for the resurfacing of Pierce Rd. The project will include additional speed humps and enhanced crosswalks. The project will be constructed in 2026.	Public Works	Caltrans, Menlo Park Fire Protection District, Ravenswood City School District, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Short Term
EJ6.D.5	Install bikeways on Ivy Drive, ideally Class I or Class IV.	Action Item	This item was explored in 2019 during the outreach for the Belle Haven Traffic Calming Plan. At that time, staff heard bicycle lanes were not desirable, because they required parking removal. Since adoption of the EJ Element, reevaluating this proposal has not started but would be planned for the future. The development of options and evaluation of parking removal for bicycle lanes will be planned in the future. Comprehensive community outreach and engagement efforts would be undertaken to invite discussion to confirm local interests.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition), San Francisco Public Utilities Commission	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant), San Francisco Public Utilities Commission	In Progress (Long Term)	Long Term
EJ6.D.6	Expand the network of safe, accessible, and appealing pedestrian and bicycle facilities, including pedestrian connections within and in between neighborhoods. Poles, signs, or other impediments in the center of sidewalks should be modified to improve accessibility and sidewalk safety. Pursue improvements for public transit users and pedestrians where feasible, including, but not limited to, bus shelters, benches, shade structures, and lighting to support alternative transportation.	Action Item	Engineering/Land Development reviewed qualifying development projects for required frontage improvements to support pedestrian connectivity and accessibility; where feasible, conditions included street trees/landscaping/planters and, when applicable, green infrastructure elements within the public right-of-way, consistent with City standards. As part of the City's annual street resurfacing project, traffic calming, pedestrian crossings and bicycle improvements are incorporated.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress (Medium Term)	Medium Term

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EJ6.D.7	Install and regularly maintain adequate lighting to encourage walking and safe travel at night. This may begin with installation on Ivy Drive, Hamilton Avenue, Chilco Street, Newbridge Street, and at public buildings at parks. It should continue after subsequent community outreach that identifies other streets and locations with inadequate lighting, prioritizing underserved communities.	Action Item	This item has not yet begun and evaluation for implementation continues.	Public Works	Community Development	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	Short Term	Long Term
Goal EJ7. Create equitable civic and community engagement								
EJ7.1	Prioritize civic and community engagement programs that enhance the participation and inclusion of underserved communities.	Policy	-	-	-	-	-	-
EJ7.2	Keep residents informed about governmental meetings and actions by ensuring transparency and accessibility in government and decision making.	Policy	-	-	-	-	-	-
EJ7.3	Treat all members of the community fairly and promote equity and capacity building toward creating a healthy environment and just community.	Policy	-	-	-	-	-	-
EJ7.A	Engaging Underserved Communities. Promote and evaluate capacity-building efforts to educate and involve traditionally underrepresented populations, including underserved communities, in the public decision-making process.	Program	In 2025, Menlo Park advanced equitable disaster preparedness outreach by engaging traditionally underserved communities through targeted, neighborhood-based events. Efforts included the April 1 Main Library presentation on City readiness initiatives, the May 21 and October 18 Belle Haven preparedness events with trusted community partners, the July 19 bilingual Listos workshop with Menlo Park Fire Protection District, and the October 16 Belle Haven Community Campus evacuation drill. A January 15 joint meeting with MPCReady, REACT, and ADAPT further strengthened collaboration with community-based organizations. Together, these efforts expand access to preparedness resources, build local capacity, and increase inclusive participation in emergency planning. Additionally, in 2025, The Belle Haven Pool hybrid model task force (Task Force) met on Oct. 14, 2025, Oct. 28, 2025, and Dec. 8, 2025. In November 2025, staff had individual conversations with Task Force members to confirm and refine desired pool programming that could be offered under the hybrid model. The purpose of the Task Force is to gather neighborhood-oriented feedback to help develop a potential hybrid operating model at the Belle Haven Pool. The table below shows the programs desired by Task Force members as developed during the three Task Force meetings. Additional suggestions for programming gathered during individual meetings with Task Force members are marked with an *. All programming suggestions were reviewed and confirmed by Task Force members at the Dec. 8, 2025, meeting. Additional comments from the Belle Haven Task Force meetings are listed on the aquatics webpage at: https://menlopark.gov/aquatics . The Police department worked with community based organizations to host National Night Out block parties. There were 8 block parties held on Tuesday, August 5, 2025. One was held in Belle Haven by the Belle Haven Haven Community Development Fund had an estimated attendance of 200. Though there was only one held in Belle Haven, it was one of the largest gatherings of the night.	City Manager's Office	Belle Haven Action	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.A.1	Partner with community-based organizations that have relationships, trust and cultural competency with target communities to outreach on local initiatives and issues and allow them the use of space in the Belle Haven Community Campus at no cost.	Action Item	The City has formalized a partnership with Belle Haven Community Development Fund to engage Belle Haven residents on the communitywide electrification program. City staff also supported in blocking parking spaces on Ivy Drive for Belle Haven Action's community clean up and farmers' market. The Belle Haven Neighborhood Association and Belle Haven Empowered meet regularly at no-cost at BHCC per the City hosted groups policy.	City Manager's Office	Belle Haven Action	General Fund	Short Term	Ongoing From Initiation
EJ7.A.2	Use culturally appropriate approaches to public participation and involvement in a partnership with community based organization.	Action Item	The City partnered with Climate Resilient Communities and community-based organizations to develop Menlo Park's first Environmental Justice Element which was adopted in September 2024. Through the Element's development, outreach and engagement used culturally appropriate approaches to public participation and involvement, meeting community members where they already were and providing tools, incentives, and assistance to enhance civic participation.	City Manager's Office	Belle Haven Action	General Fund	Short Term	Ongoing From Initiation
EJ7.A.3	Deploy educational workshops for City staff to enhance understanding of social injustice and housing needs pertaining to diversity, equity, and inclusion.	Action Item	In 2025, City staff from different departments and divisions participate in the Quarterly San Mateo County Equity in Government Community of Practice meetings. The quarterly meetings are ongoing in 2026.	City Manager's Office	Belle Haven Action	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.A.4	Provide training for decision makers, City staff, applicants, and public on social justice issues that affect community members.	Action Item	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	-	General Fund	Short Term	Ongoing From Initiation
EJ7.B	Meeting People Where They Are. All meetings with an agenda item located in an underserved community should take place in a location easily accessible to the underserved community and/or by means that facilitate such access, such as satellite meeting centers, simulcasting, and/or remote participation. Consider hardcopy materials for outreach, particularly door-to-door outreach.	Program	There were two City Council meetings at BHCC and several commissions met at BHCC in 2025. In the Fall, the City Clerk's office hosted an open house at BHCC with interpretation with the purpose of educating the community on how to engage with government. This open house provided an opportunity for community members to learn about applying for commissions, participating in city council meetings, understanding elections and public records act requests, shuttle schedules and how to make interpretation requests. Additionally, public meetings are typically simulcast online to increase access and participation. The City has provided transportation to City Council meetings from the Belle Haven neighborhood for the budget public hearing. City Council provided direction in Dec. 2025 for staff to develop a public meetings transportation, location, interpretation and translation services accessibility policy.	City Manager's Office	Library and Community Services	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.C	Encouraging Community Outreach. Consider and provide, as feasible, compensation (such as food and refreshments, stipends, on-site child care) at community outreach events in underserved communities.	Program	In May 2025, the City provided food for participants attending the Building a Cleaner Tomorrow building code feedback workshop at the Belle Haven Community Campus (BHCC). In June 2025, the City provided food for participants who attended the Home Upgrade Services program electrification workshop at BHCC and Climate Resilient Communities (CRC) provided stipends. In addition, all community events at BHCC hosted by the City include food for community members. Stipends, and on-site child care, are provided when feasible.	City Manager's Office	-	General Fund	In Progress (Short Term)	Ongoing From Initiation

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EJ7.D	Equitable Engagement. Pursue equitable civic and community engagement.	Program	In 2025, Spanish translation was included in nearly all print materials to reach more community members. Digital materials such as emails and the website have offered accessibility in multiple languages since 2021.	City Manager's Office	-	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.D.1	Initiate outreach efforts as early as possible in the decision-making process before significant resources have been invested.	Action Item	In fiscal year 2025-26, outreach for citywide initiatives included the downtown parking management study and SAFER Bay (design phase). Also, the Home Upgrade program started within the Belle Haven neighborhood and then expanded to the entire City. Outreach materials were developed in English and Spanish to be more accessible for all community members.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.D.2	Conduct open meetings on issues affecting land use and the environment.	Action Item	City Council adopted a resolution accepting the 2024 General Plan Annual Progress Report, including the Housing Element and Environmental Justice Element, and annual housing successor report in March 2025.	City Manager's Office	Community Development, Public Works	General Fund	Short Term	Ongoing From Initiation
EJ7.D.3	At least twice per year, beginning immediately following Environmental Justice Element Adoption, conduct City Council meetings in underserved communities.	Action Item	The City Council conducted meetings at the Belle Haven Community Campus (BHCC) on March 25 and December 16, 2025. Other City commissions that conducted meetings at BHCC in 2025 include: Complete Streets Commission (April 9), Environmental Quality Commission (August 20), and Housing Commission (December 3). Staff will explore opportunities to hold Planning Commission meetings at BHCC, especially when there is an agenda item of particular interest to underserved communities.	Community Development	City Manager's Office	General Fund	In Progress	Ongoing From Initiation
EJ7.D.4	Encourage representation from all districts on City boards and commissions.	Action Item	In 2025, approximately 12 percent of individuals serving on City boards and commissions resided in District 1. The City Clerk provides opportunities for commissioners to receive Advisory Body training convenient to a typical and atypical working schedules in Spring. The oath of office is now provided digitally, so new commissioners can complete on their own schedule without needing to come to City Hall. The City continues to seek opportunities to encourage greater representation from all districts on City boards and commissions and has started noting applicants' district in application materials so the City Council can help encourage diversity amongst districts. In 2025, the City Council continued advertising opportunities to join advisory boards in Spanish to attract more diversity and these efforts continue in 2025.	City Manager's Office	-	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.D.5	Evaluate scheduling of public meetings in order to allow for a wide range of participation options around typical and atypical working hours.	Action Item	In September, the City Clerk hosted an open house at 11 am to provide a time outside of the typical City Council meeting times for community members to learn about attending and participating in City Council meetings, contacting your City Council representative, working with City Commissions among other topics to support participation.	City Manager's Office	-	General Fund	Short Term	Ongoing From Initiation
EJ7.D.6	Coordinate outreach efforts between City departments to avoid duplication and encourage that all Menlo Park community stakeholders receive notification and information.	Action Item	The City's weekly newsletter, the Weekly Digest, provides information on City initiatives for community members as well as staff. In addition, the City's Public Engagement team ensures that information shared with community members is accessible (provided in multiple languages and formats such as digital, mailers, banners, etc.) and works across departments to implement and continually improve outreach opportunities.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.D.7	Inform the public on decisions – and seek feedback on decisions – using multiple communication methods, including traditional and online forms of communication.	Action Item	The City shares regular information and opportunities for feedback through subscription-based digital communications such as the weekly City newsletter (Weekly Digest), mailed notices, TV monitors with informational 'ads' throughout the city, street banners, message boards, A-Frame signs, social media channels, and partner community-based organizations communications. In addition, the City hosts workshops and/or partners with organizations for community meetings or open houses to provide more details about projects, resources and initiatives.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.D.8	Incorporate multilingual outreach, announcements and noticing into City procedures for public meetings and hearings and offer interpretation services at all meetings and workshops on environmental issues.	Action Item	Upon request, using the Spanish interpretation request form, meeting materials were provided in both English and Spanish languages and live interpretation was provided. Nine City Council meetings had Spanish interpretation and the Police Department quarterly updates were provided to City Council with both English and Spanish staff reports. Monolingual Spanish meetings were provided as well. During outreach for building electrification programs and policies, bilingual outreach with workshops were hosted at BHCC. Additionally, every event hosted by LCS staff at BHCC is offered bilingual with interpretation.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.D.9	Consider offering childcare at key meetings and workshops on environmental issues affecting entire neighborhoods and the city as a whole.	Action Item	For the building electrification programs and policy workshops, activities for children were provided. For LCS events that pertain to families and children, childcare is provided. For other events, childcare can be requested and arranged if needed to encourage participation.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.D.10	Distribute contact information (such as phone numbers to call) for various departments, programs and other functions in the City organization in underserved communities and in appropriate languages.	Action Item	The City produces hardcopy outreach materials in English and Spanish when feasible and needed (e.g., Home Upgrade Services program flyer). Phone numbers and emails for bilingual support are provided whenever possible. Information on how to engage with the City Council is printed and available at all public counters including at BHCC. There is also printed information about making public records act requests and contacting the City Clerks office.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.E	Community Resource Hub. Encourage resources for in-person outreach, enhancing the BHCC as a community hub for learning and engagement opportunities strengthened with partner organizations. These will connect residents in underserved communities with pre-existing city and state resources as well as encourage resident participation in public meetings, events, and decision making.	Program	The BHCC now has a public notice board installed outside of the main entrance for posting of public meetings. At the main reception, there are displays with brochures containing information about city and state resources that residents can take.	City Manager's Office	All City Departments	General Fund	Short Term	Ongoing From Initiation
EJ7.E.1	Provide resources at BHCC about environmental safety, including flooding, extreme heat, and other issues identified in the Safety Element. Consider having a concierge or dedicated staff/resources to provide outreach on local mitigation efforts in underserved communities.	Action Item	In 2025, a sustainability information booth was available at the Belle Haven Library. All information is provided in Spanish and English and focuses on available resources related to water conservation, electrification, waste reduction, and advertising upcoming events.	Community Development	Library and Community Services, Public Works, Sustainability Division	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.F	Increasing Accessibility and Representation. Review Planning Commission stipend pilot and consider compensating City Councilmembers and appointed commissioners for the time they spend in their positions to make the positions more accessible to residents of underserved communities.	Program	A Planning Commission stipend pilot program was added in the 2023-2024 budget and continues to be a part of the City budget. The City Council compensation was adjusted in March 2024.	City Manager's Office	-	General Fund	In Progress	Short Term

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EJ7.G	Paratransit Services. Expand outreach on SamTrans' paratransit services to support increased attendance at public functions.	Program	SamTrans provides paratransit through Redi-Wheels. Coordination between the City and SamTrans for service is ongoing. In 2024, SamTrans launched a new service called SamTrans Ride Plus. SamTrans Ride Plus is an on-demand service offering easy, affordable transportation for riders in the Belle Haven neighborhood of Menlo Park, East Palo Alto, Half Moon Bay and El Granada. SamTrans' has attended community events hosted by LCS to get the word out about their new services.	Library and Community Services	SamTrans, Public Works	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Medium Term	
EJ7.H	Multilingual and Multimodal Disaster Preparedness. Ensure that disaster preparedness planning as described in the Safety Element includes multilingual and multimodal outreach in Menlo Park's underserved communities. Upon adoption of the Environmental Justice Element, conduct regular disaster preparedness outreach that may include participation and information dissemination at public event and/or fairs in underserved communities with proactive encouragement and opportunity for the residents to sign up for emergency alert systems.	Program	<p>On May 21, 2025, the Emergency Services Coordinator spoke about disaster preparedness at a community event hosted by community-based organization, Belle Haven Action – The hour and a half bilingual (English/Spanish) session focused on household disaster preparedness. The session was attended by over 30 residents.</p> <p>On July 15, 2025 the Emergency Services Coordinated a two hour bilingual (English/Spanish) as well as American Sign Language planning meeting with the San Mateo County Department of Emergency Management, other local jurisdictions and members from Community Based Organizations severing those with Access and Functional Needs. To focus was to identify actionable solutions that enhance coordination between AFN-serving organizations and CBOs during emergencies, ensuring that the Emergency Operations Plans includes practical strategies to meet the needs of the entire community.</p> <p>In September 2025, the City promoted National Preparedness Month by writing a weekly article focused on different activities to be better prepared as a community. Some of those activities that the City continues to promote are registering for emergency alerts through SMC Alert and joining the Fire District Community Emergency Response Team. A bilingual post card (English/Spanish) was mailed to every household in in the 94025 zip code encouraging residents to sign up for SMC Alert. This resulted in 300 new registrations.</p> <p>On October 18 2025, the City Manager's Office, Emergency Services Division participated in "Let's Get Ready Belle Haven" a collaborative three hour event with multiple Community Based Organizations. The bilingual (English/Spanish) event focused on health impacts of natural disasters, what to do in case of a natural disaster, how to do basic CPR and how to get involved in your community. More than 75 attendees went home with a solar battery phone recharger and an emergency gas valve shut off tool, compliments of the City.</p> <p>Ongoing activities include continued partnership with community-based organizations and the Fire District to provide bilingual (English/Spanish) disaster preparedness training and partnering with the American Red Cross to install smoke/carbon dioxide detectors free to Belle Haven residents. Additional work is in progress to develop bilingual literature on how to prepare for and respond to disasters.</p> <p>The City provides preparedness information throughout the year in various channels such as newsletters, email, social media, and TV ad monitors located within the city to help community members be ready for storms and other disasters. The City also coordinates with other agencies and/or offers programs to inform community members on ways to prepare for disasters. In addition, the City regularly communicates on storm impacts and provides resources to the community to recover.</p>	City Manager's Office	Menlo Park Fire Protection District	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress (Short Term)	Ongoing From Initiation	
EJ7.I	Long Term Adaptation Planning. Encourage the sustained engagement and involvement of underserved communities in long term adaptation planning projects related to sea-level rise and coastal flooding. Maintain membership and partnership with the San Francisquito Creek Joint Powers Authority during their oversight of levee installations and expansions protecting underserved communities.	Program	Belle Haven is vulnerable to flooding from a 100-year tide event / sea level rise. Protecting the community is a priority of the SAFER Bay project. The SAFER Bay Project is a multi-benefit, multi-jurisdictional, public-private collaboration that will protect critical infrastructure, protect and restore critical habitat, provide community resilience to current tidal flooding and projected sea level rise, and improve recreational access, using both engineered structures and nature-based flood protection. The City received a FEMA grant for the Menlo Park SAFER Bay Project which focuses on the development of a levee system from the Dumbarton Bridge to Bedwell Bayfront Park for storm and sea level rise protection. The design is currently underway and will be completed in 2027.	Public Works	City Manager's Office, San Francisquito Creek Joint Powers Authority	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Long Term	
EJ7.J	EJ Element Action Guide Maintenance. Continually maintain the Environmental Justice Element Action Guide in response to changing community needs, funding opportunities, and ongoing community outreach. Annual reporting, at a minimum, should be provided to the City Council and made available on the City website.	Program	On March 22, 2025, the City conducted the annual City Council priority setting workshop, including discussion of priorities for EJ implementation. The EJ Element webpage (menlopark.gov/ejelement), including EJ Element Action Guide, was continuously monitored and maintained in 2025. In February 2026, the Environmental Justice Element Action Guide was comprehensively updated to reflect 2025 activities.	Community Development	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.J.1	Monitoring programming at community centers for usage, popularity, and equitable access, including an annual report on community center programming to Council. The report shall include community outreach and will recommend any updates to programming and outreach methods to address inequitable access.	Action Item	The City collects usage data and statistics and provides monthly usage reports to Library Commission and Parks and Recreation Commission. An annual report to the City Council is provided.	Library and Community Services	-	General Fund	In Progress	Ongoing From Initiation	

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EJ7.J.2	Publish an annual report on the progress of the Transportation Master Plan, beginning a year after adoption of the updated Transportation Master Plan.	Action Item	This item is under development.	Public Works	Community Development Department, Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Ongoing From Initiation
EJ7.J.3	Diligently implement all state laws and mandated bias and sensitivity training requirements for law enforcement officers, current and new upon hire, who may interact with historically discriminated groups. The Police Department shall maintain records as required by state law to show vigilant compliance with all state laws and California Commission on Peace Officer Standards and Training (POST) requirements. The Police Department includes documentation of records generated in compliance with the department's "Bias-Based Policing" policy as well as California's Racial and Identity Profiling Act in its quarterly reporting to the community through City Council.	Action Item	The Police Department continues its diligent adherence to bias and sensitivity factors, including policy changes, mandated training, mandated pre-employment screening, and policy transparency to the community. The Police Department continues to strictly adhere to the reporting requirements of the Racial and Identity Profiling Act and provides related data to the public quarterly through an informational bilingual (English/Spanish) report to the City Council.	Police	City Manager's Office	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.J.4	Prepare and publicize an annual report describing the City's progress on promoting and evaluating capacity-building efforts per Program EJ7.D. This report shall also evaluate outreach methods and recommend adjusting outreach strategies to reflect best practices and results.	Action Item	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	All City Departments	General Fund	Short Term	Ongoing From Initiation
EJ7.K	EJ Element Action Guide Updating. The City will update the Environmental Justice Element Action Guide annually to indicate progress, especially in meeting community-identified priorities. Revisions to existing action items and/or community-identified priorities will include outreach, particularly in underserved communities, and include a public process with City Council consideration. Outreach to further environmental justice will be ongoing. The Action Guide does not require a General Plan amendment to be updated.	Program	In February 2025, the Environmental Justice Element Action Guide was comprehensively updated to reflect 2024 activities. On March 22, 2025, the City conducted the annual City Council priority setting workshop, including discussion of priorities for EJ implementation. The EJ Element webpage (menlopark.gov/ejelement), including EJ Element Action Guide, was continuously monitored and maintained in 2025.	Community Development	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation
EJ7.L	City Council Consideration. The City Council shall consider the community-identified environmental justice priorities during its annual priority and goal setting workshop.	Program	The City Council will consider the community-identified environmental justice priorities at its March 2026 priority setting workshop. Identifying top priorities helps the City Manager create a work plan of projects for the year. Many of the projects take multiple years to plan, fund and complete.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation