



REGULAR MEETING AGENDA

Date: 11/17/2025
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

How to participate in the meeting

- Access the live meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:
zoom.us/join – Meeting ID# 846 9472 6242
- Access the meeting real-time via telephone (listen only mode) at:
(669) 900-6833
Regular Meeting ID # 846 9472 6242
Press *9 to raise hand to speak
- Submit a written comment online up to 1-hour before the meeting start time:
planning.commission@menlopark.gov*
Please include the agenda item number related to your comment.

*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

Subject to change: The format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the city website menlopark.gov. The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information (menlopark.gov/agendas).

Regular Meeting

- A. Call To Order**
- B. Roll Call**
- C. Reports and Announcements**
- D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The

Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Study Session

E1. Study session/Menlo Park Fire Protection District/300 Middlefield Rd. and 114 Santa Margarita Ave.:

Request for a study session to redevelop Fire Station 1, including the demolition of the existing fire station and training tower, and subsequent construction of a new fire station (two stories), training tower (five stories), district operations center (two stories), and underground parking. The project would include rezoning from R-1-S (Single Family Suburban Residential) to PF (Public Facilities), an associated General Plan Land Use Designation amendment, a Zoning Ordinance text amendment to allow greater than 60 percent FAR (Floor Area Ratio), a General Plan text amendment to allow the proposed FAR within the Public Facilities designation, a Use Permit for the higher FAR, overall development as an emergency services facility (Special Use), and the use of hazardous materials (diesel fuel for an emergency generator and propane for training exercises), and Architectural Control for the buildings and site improvements. The applicant is also requesting use permit approval for a temporary emergency services facility (Special Use) at 114 Santa Margarita Avenue during construction of the project. ([Staff report #25-051-PC](#))

F. Informational Items

F1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: December 1, 2025
- Regular Meeting: December 15, 2025

G. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or before, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.gov. Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Cal. Gov. Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the city website at menlopark.gov/agendas and can receive email notifications of agenda postings by subscribing at menlopark.gov/subscribe. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 11/12/2025)



STAFF REPORT

Planning Commission

Meeting Date:

11/17/2025

Staff Report Number:

25-052-PC

Study Session:

Consider and provide feedback on the proposed Fire Station 1 redevelopment project at 300 Middlefield Road and an associated temporary fire services station at 114 Santa Margarita Ave.

Recommendation

Staff recommends that the Planning Commission review and provide feedback on the proposed redevelopment of the Menlo Park Fire Protection District (MPFPD) Fire Station 1 located at 300 Middlefield Road. The proposed project would demolish the existing fire station and training tower and construct a new fire station building (Building A), new administrative office building (Building B), new training tower (Building C), and underground parking. The new buildings would total approximately 52,621 square feet and would accommodate fire station operations, administrative offices, and firefighter training facilities. The project would include the temporary use of 114 Santa Margarita Ave. for a fire services facility during the redevelopment of the main site. The project is anticipated to include the following actions:

1. **Rezoning:** To change the 300 Middlefield Road site's zoning designation from the R-1-S (Single Family Suburban Residential) district to P-F (Public Facilities) district, to allow the proposed use of the subject site to be more consistent with the appropriate zoning district.
2. **Zoning Ordinance Text Amendment:** To allow the maximum allowable Floor Area Ratio (FAR) in the P-F district to exceed 30 percent through a use permit, up to a maximum of 80 percent on sites with a lot area of two acres or less, where currently up to 60 percent is allowed with a use permit.
3. **General Plan Land Use Designation Change:** To amend the 300 Middlefield Road site's General Plan Land Use designation from Low-Density Residential to Public/Quasi-Public which allows public facilities, including fire stations, government office buildings, and similar compatible uses.
4. **General Plan Text Amendment:** To amend the general plan text to increase the 30 percent maximum allowed FAR within the Public Facilities district to allow for up to 80 percent FAR, as approved by use permit, consistent with the Zoning Ordinance Text Amendment and project proposal.
5. **Use Permit:** To allow for the proposed FAR of approximately 80 percent on 300 Middlefield Road, overall development as an emergency services facility (Special Use) on both sites, and the use and storage of hazardous materials (diesel fuel for an emergency generator and propane for training exercises) at 300 Middlefield Road and possibly on 114 Santa Margarita Ave. as well.
6. **Architectural Control:** To review the design of the proposed fire station buildings and site improvements on both sites.
7. **Sign Review:** To review a comprehensive sign program for a fire station including three signs on Middle Field Road and one Sign along Santa Monica Ave. which would deviate from certain

aspects of the Design Guidelines for Signs.

8. **Heritage Tree Removal:** To allow the removal of 21 heritage trees at 300 Middlefield Road and one heritage tree at 114 Santa Margarita Ave.
9. **Environmental Review:** To evaluate the potential impacts on both sites pursuant to California Environmental Quality Act (CEQA).

Additional actions and entitlements may be required as the project plans are refined. No formal actions will be taken at this time. The Planning Commission should review and provide individual Commissioner feedback on the project to the applicant and staff. Below are some topic areas for the Planning Commission's consideration; however, the Commission's discussion is not limited to these topics:

- Proposed uses
- Gross floor area
- Architectural design and materials
- Parking and circulation
- Landscaping
- Offsite temporary fire station
- Overall approach

Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback on a project, with comments used to inform future review and consideration of the proposal.

Background

In this report, references to "primary project site" and similar terms refer to 300 Middlefield Road, while references to "temporary site" and similar terms refer to 114 Santa Margarita Ave. The primary project site consists of a single parcel totaling approximately 85,285 square feet (1.96 acres) located at 300 Middlefield Road within the R-1-S (Single Family Suburban Residential) zoning district. The site is currently developed with two structures, a fire station building and a five-story training tower, and is actively used by the Menlo Park Fire Protection District as an operational fire station and training facility.

The primary property is located at the northwest corner of Middlefield Road and Santa Monica Ave. The property line which abuts Middlefield Road is considered the front, and the side of the property which abuts Santa Monica Ave. is considered the corner side. In 2017, MPFPD expanded the site through the acquisition and consolidation of parcel area to the north and west that was previously owned by St. Patrick's Seminary, thereby increasing the station site area. Adjacent uses include St. Patrick's Seminary to the north and west, also located within the R-1-S zoning district. Commercial office uses within the C-1 (Administrative and Professional, Restrictive) district are located across Santa Monica Ave. and across Middlefield Road, and residential uses within the R-1-U (Single Family Urban Residential) district are also located farther along Santa Monica Ave.

On Santa Margarita Ave., the proposed temporary site is located within a cluster of commercial properties that are within the C-MU (Neighborhood Mixed Use) zoning district, and additional C-1 and R-1-U parcels

are located along this street as well. Location maps for both project sites are provided as Attachment A.

The project is currently being reviewed for consistency with the City's development requirements and may be subject to change as a result of the plan review process.

Project overview

The applicant is requesting approval to demolish the existing fire station and training tower to allow for the construction of three new buildings and associated site improvements on an approximately 85,344-square-foot (1.96-acre) site at 300 Middlefield Road. The proposed project includes a new two-story fire station (Building A), a two-story administrative building or district operations center (Building B), and a five-story training tower (Building C), along with related site improvements such as surface parking, a below-grade parking structure, and new landscaping. In total, the project would result in approximately 64,120 square feet of gross floor area. Table 1 below shows the breakdown of gross floor area by building. The total proposed floor area ratio (FAR) would be 0.752, or 75.2 percent. The proposed improvements are part of the Fire District's broader effort to modernize its facilities, improve operational efficiency, and enhance emergency response capabilities to better serve the community.

Table 1: Fire Station 1 proposed buildings		
Building name	Building use	Gross floor area (GFA)
Building A	Fire Station	16,296
Building B	Administrative Buildings	33,036
Building C	Training Tower	14,788

To maintain fire station operations during construction, the District proposes to establish a temporary facility at 114 Santa Margarita Ave. The temporary site would accommodate essential operations through the installation of modular buildings and supporting infrastructure. Implementation of the temporary facility would include the demolition of an existing two-story building, removal of a heritage tree, and paving and grading work to accommodate the placement of temporary structures and driveways. Once construction at 300 Middlefield Road is completed, the temporary operations would be removed from the site. MPFPD plans to keep the property as parking until there are plans for future development or the property is sold. A more detailed construction phasing plan is included on sheet A6.1 of the plan set (Attachment C).

As part of the proposal, the applicant intends to pursue the discretionary actions described in greater detail below. The applicant's project description letter is included as Attachment B. The proposed General Plan amendments, rezonings, and amendments to the text of the Zoning Ordinance would be acted on by the City Council. The Planning Commission will be acting in a recommending capacity on the rezoning and General Plan amendments for the primary project site, with those final actions on the overall project conducted by the City Council. The Planning Commission would be the acting body on the use permits, architectural control, and sign review, and the City Council would only review those items if any are appealed. Because the temporary site does not include any rezoning or General Plan actions, the Planning Commission would be the final decision-making body for that site, unless any such actions are

appealed.

Analysis

Rezoning and zoning text amendment

The primary project site is currently zoned R-1-S (Single Family Suburban Residential). The applicant is requesting that this site be rezoned to the P-F (Public Facilities) District to accommodate the proposed fire station and associated uses. The P-F zoning would match how the MPFPD's two other stations within the City of Menlo Park (Station 6 at 700 Oak Grove Ave. and Station 77 at 1467 Chilco St.) are zoned. Under the current P-F zoning regulations, the floor area ratio (FAR) is generally limited to 30 percent, with the possibility of increasing up to 60 percent for sites that are less than two acres in size, through the approval of a use permit. However, the applicant is proposing a development with an FAR of approximately 75.2 percent. Therefore, in addition to the rezoning, the applicant is requesting a text amendment to the zoning ordinance to allow an FAR of up to 80 percent on a parcel less than two acres in size within the P-F zoning district through the use permit process. This amendment would provide the regulatory framework needed for the project to proceed as designed and ensure that the proposed FAR is consistent with the intended use of the site. The temporary project site would remain under its existing C-MU zoning designation, since the Special Uses section of the Zoning Ordinance would conditionally allow the temporary fire station with a use permit, without a specific FAR limit.

General Plan Land Use Diagram and text amendment

The primary project site currently has a General Plan land use designation of Low Density Residential. In conjunction with the proposed rezoning of the site to the P-F (Public Facilities) district, the applicant is requesting an amendment to the General Plan Public Facilities land use designation, which is the corresponding General Plan designation for the proposed zoning.

Currently, the General Plan limits the floor area ratio (FAR) for Public Facilities to 30 percent. However, the proposed project includes an FAR closer to 80 percent, and thus the applicant is seeking a General Plan text amendment to allow for up to 80 percent FAR under the Public Facilities designation. This amendment would ensure consistency between the project's design and the updated General Plan standards for public facilities.

The temporary site would remain under its existing General Plan land use designation of Retail/Commercial.

Floor Area Ratio and Gross Floor Area

The project proposes to develop the primary project site with a Floor Area Ratio (FAR) of approximately 75.2 percent. The Public Facilities (P-F) zoning district generally allows 30 percent FAR and allows sites of two acres or less to be developed up to 60 percent with a use permit. As mentioned above, the proposed project, however, seeks an FAR of 75.2, which exceeds both the base-level and the current maximum allowed with the approval of a use permit in the P-F zoning district. Therefore, the applicant is requesting a text amendment to the zoning code and general plan text to accommodate this increased FAR.

According to Section 16.04.325(c)(3) of the Zoning Ordinance, areas of a building "devoted to covered parking and related circulation for automobiles and bicycles, including garages, carports, below grade

parking structures, and above grade parking structures” may be excluded from gross floor area. While the underground parking is excluded from the gross floor area the apparatus bays in Building A (5,792.4 square feet) and Building B (3,167.9 square feet), a total of area of 8,960.3 square feet are counted toward GFA based on past Planning Commission direction for MPFPD projects in Menlo Park.

Building A, the new fire station, would be approximately 16,296 square feet. Building B, the administrative building, would be approximately 33,036 square feet. Building C, the training tower, would be approximately 14,788 square feet. In total, the project would result in approximately 64,120 square feet of GFA, representing a floor area ratio (FAR) of 0.752 or 75.2 percent.

The temporary project site’s review under the Special Uses conditional allowance does not include a specific FAR limit, but rather allows impacts to be considered holistically.

Proposed buildings

The applicant proposes to demolish all existing buildings and structures on the primary project site and construct three new buildings with associated site improvements.

Building A, the new two-story, 32-foot-tall fire station, would front Middlefield Road and include a garage with four apparatus bays that provide direct access onto Middlefield Road, allowing fire trucks to pull through from the back of the building and exit out the front. The building would be set back approximately 18.4 feet from Middlefield Road, 40.3 feet from the interior side property line, and 18.5 feet from the side street-facing property line along Santa Monica Ave.

Building A would include a four-bay garage for fire apparatus, a public lobby area showcasing an antique apparatus as well as historical firefighting equipment, and living quarters for fire personnel, along with office, work, and fitness areas to support daily operations.

Building B, the new two-story, 30-foot-tall administrative building (District Operations Center), would be located at the rear of the property, set back approximately five feet from the interior side and rear property lines, and 15.5 feet from the street-facing setback along Santa Monica Ave.

Building B would contain administrative offices, boardrooms, storage areas, and a two-bay garage for additional apparatus. The building is intended to consolidate Fire District administrative employees who are currently located at off-site facilities, allowing all staff to operate from a single, centralized location. In addition to administrative functions, Building B would also accommodate public meetings and community gatherings. The building would provide internal access to the basement level and the underground parking structure through elevators and stairwells, with the two-bay apparatus garage accessed from the interior of the site.

Building C, the five-story, 50-foot-tall training tower, would be located within the interior of the site, positioned behind Building A and in front of Building B. The tower would be set back approximately 109 feet from the rear of Building A, 44 feet from the interior side property line, and 107.3 feet from the street-facing side along Santa Monica Ave. Building C would be situated farther from Middlefield Road than Building A, providing additional separation between the training tower and the public street frontage.

Building C would serve as a training tower designed to support a wide range of firefighter training activities under various conditions. The facility would include a five-story concrete masonry unit (CMU) structure approximately 50 feet in height, along with a smaller one-story residential training prop and a basement level to accommodate additional training scenarios. The training tower is intended to provide opportunities for high-rise operations, elevator rescues, high-angle rope training, center-hallway fire simulations, confined space exercises, firefighter survival and rapid intervention crew training, and Class B (propane) live fire training. The applicant has relayed that the proposed facility would enhance the Fire District's ability to conduct realistic and comprehensive training on site.

All three buildings are designed in a contemporary architectural style that incorporates a variety of materials. The exterior finishes include black metal panels, wood-tone fiber cement panels, and CMUs in both black and tan. Building façades would feature aluminum doors and window frames finished in red or black, providing a cohesive and modern appearance. Additional design elements would include black corrugated metal accents, metal railings, and red entry doors. The roof areas would incorporate metal corrugated screening to conceal mechanical equipment and maintain a clean, integrated roofline.

To ensure continuous fire station operations during the construction period, the project proposes the establishment of a temporary fire station at 114 Santa Margarita Ave., one block over from 300 Middlefield Road to the southeast. The current site at that location includes a two-story building used as administrative offices for the Fire Department, which would be demolished as part of this proposal.

The site would then be repaved and reconfigured to accommodate a driveway and seven parking spaces and a paved area for two trailer buildings: one large trailer for living quarters and another serving as a laundry and fitness space. Additionally, an apparatus tent for fire apparatus and a power connection box would be installed. An existing shed in the rear left corner of the site would remain in place. These structures would be more utilitarian in design, which could be considered to align with the site's temporary nature.

Parking and circulation:

The primary project site proposes a total of 96 parking spaces, consisting of 18 surface spaces, 17 of which would be located interior to the site, fenced off and accessed through driveway gates and 76 spaces located within an underground parking structure beneath Buildings B and C, occupying the rear two-thirds of the site. The P-F Zoning District does not impose specific requirements for number of parking spaces, but the MPFPD has indicated 12 of the secure parking spaces are intended for the overlapping change of shift for the fire station, five spaces are for trailers owned by the Fire District, 50 spaces are needed for other staff who work on site, and the additional spaces would be used for district vehicles, overflow parking, public events and emergency personnel if needed.

Site access to the primary project site would be provided through four driveways: two along Middlefield Road and two along Santa Monica Ave. Along Middlefield Road, the first driveway, located to the left of Building A, would provide access to the site's internal circulation and surface parking area, while the second driveway would serve as an egress route for fire apparatus exiting from Building A. Along Santa Monica Ave., one driveway would provide access to the below-grade parking structure, and the second

would provide access to the interior surface parking area. Primary access to the interior portion of the site would be via the Santa Monica Ave. entrance and secondary access will be provided using the Middlefield Road entry. Both driveways would have an automobile gate entry, with access managed by employee key cards.

The temporary site would feature seven parking spaces, in addition to the apparatus tent for the fire vehicle. As part of further project review, staff will ask the applicant to justify the specific parking space number with regard to the operation of this temporary facility, to ensure that parking impacts on neighboring properties are limited.

Sign program

The applicant proposes a comprehensive sign program for the primary project site that identifies the location, size, and design of five building-mounted signs throughout the site. The proposed signage is intended to provide clear identification of the fire station and administrative functions while maintaining a cohesive and professional appearance consistent with the architectural design of the new facility.

Three signs are proposed on the front of Building A (the fire station) along the Middlefield Road frontage. These include a firefighter's medallion logo located on the left side of the building, a sign above the apparatus bays reading "Menlo Park Fire Station No. 1," and a large numeral "1". Along the Santa Monica Ave. frontage, a smaller wall-mounted sign would identify Building B, reading "Menlo Park Fire Protection District Administration Building". An additional sign would be located on the interior-facing elevation of Building B, visible from within the site, which would read "Menlo Park Fire protection District". All proposed signs are shown on Sheet AP5.0, AA5.1 and AB5.1 of project plans (Attachment C).

Staff reviews all sign applications for conformance with both the Zoning Ordinance regulations and the City's Design Guidelines for Signs. If a proposed sign meets the requirements of both documents, staff may approve the sign request administratively. However, if the proposed signage does not comply with the Zoning Ordinance or is inconsistent with the Design Guidelines, the application must be forwarded to the Planning Commission for consideration. In such cases, the review would occur either through a variance application for non-compliance with the Zoning Ordinance or as a general review for consistency with the Design Guidelines.

For this application, staff determined that the proposed signs comply with all applicable Zoning Ordinance regulations. However, the proposed sign program is not fully consistent with the Design Guidelines for Signs. Specifically, the proposal does not conform to Item B.11 of the Design Guidelines, which limits each business or tenant to one building-mounted sign on each street frontage of a parcel. Since three signs are proposed along the Middlefield Road frontage, the request exceeds this guideline and the sign program requires review and approval by the Planning Commission.

Despite this inconsistency, the proposed sign program appropriately identifies the site as a public facility and provides necessary visual cues for emergency response and community recognition. All proposed signs would serve the same occupant, and the total sign area meets the maximum allowable sign area.

Emergency generator and hazardous materials

The proposal includes multiple components involving the use and storage of hazardous materials on the primary project site. An emergency generator, 1,000-gallon diesel fuel tank, a 1,000-gallon unleaded fuel tank and a 1,000-gallon propane tank is proposed to be located within the interior of the site, situated between Building A and Building C, adjacent to the parking area and Santa Monica Ave. driveway entrance. This generator would serve as a backup power source in the event of an outage. A 1,000-gallon above-ground diesel fuel storage tank and a 1,000-gallon propane tank would be located outdoors, protected by bollards and fencing. The fuel tanks would be used for refueling fire engines, district vehicles and powering the emergency generator, while the propane tank would support training exercises within the training tower.

On the temporary site, an emergency generator is planned to provide power in the event of an emergency, although its exact site has not yet been determined. If it includes diesel fuel in excess of the relevant hazardous materials threshold, use permit approval for hazmat on this site would be considered as part of the final project actions.

The use and storage of these materials will require a use permit and will undergo environmental review in compliance with CEQA. The applicant has prepared a Hazardous Materials Business Plan (HMBP), included as Attachment E, which outlines training and protection measures in the event of an emergency.

Heritage tree removal and tree planting plan

There are a total of 23 trees, (21 of which are designated as heritage trees) on the primary project site, all of which are proposed for removal. Tree removal is proposed due to direct conflicts with the footprint of the new buildings, underground parking, and other site improvements. All existing trees are located in areas essential for construction, making their removal unavoidable. Proposed tree removals are shown on sheet L1.0 of project plans (Attachment C).

Landscaping is proposed along the Middlefield Road and Santa Monica Ave. frontages, at the corner of Middlefield Road and Santa Monica Ave., and throughout key areas of the site to enhance the streetscape, soften building edges, and provide visual buffering from surrounding uses. The applicant has submitted an arborist report (Attachment D) that details the species, size, and condition of these existing trees, assesses their current health, discusses the impacts of the proposed development, and provides recommendations for preservation or removal.

To compensate for the loss of all trees, the proposed planting plan includes the planting of 18 coast live oaks off-site on the neighboring St. Patrick's Seminary property, around the perimeter of the site. The applicant has relayed that St. Patrick's Seminary has accepted this concept of off-site planting, which would be documented more formally, and confirmed acceptable by the City Arborist, prior to project actions. On-site, the applicant would plant 23 trees along the street frontage including three trees along Middlefield Road to the left of the fire station building, and 20 trees along Santa Monica Ave. The proposed planting plan is included on sheet L1.1 of project plans (Attachment C).

On the temporary site, there are three heritage trees, two of which would be preserved. However, tree number 24, a 66-inch coast redwood tree in fair health, is proposed to be removed. The removal of tree number 24 is proposed due to conflicts with the planned parking and driveway paving areas, which would

necessitate its removal to accommodate the temporary facility layout. A site plan for the temporary fire station facility is located within project plan sheet TF1.0 (Attachment C).

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The City is working to finalize contract services of a consultant to provide an environmental review pursuant to the California Environmental Quality Act (CEQA). The initial CEQA work would include an Initial Study (IS) to evaluate potential impacts, which would then feed into a Negative Declaration/Mitigated Negative Declaration (ND/MND), or possibly an Environmental Impact Report (EIR) if there are significant impacts that cannot be mitigated.

Public Notice

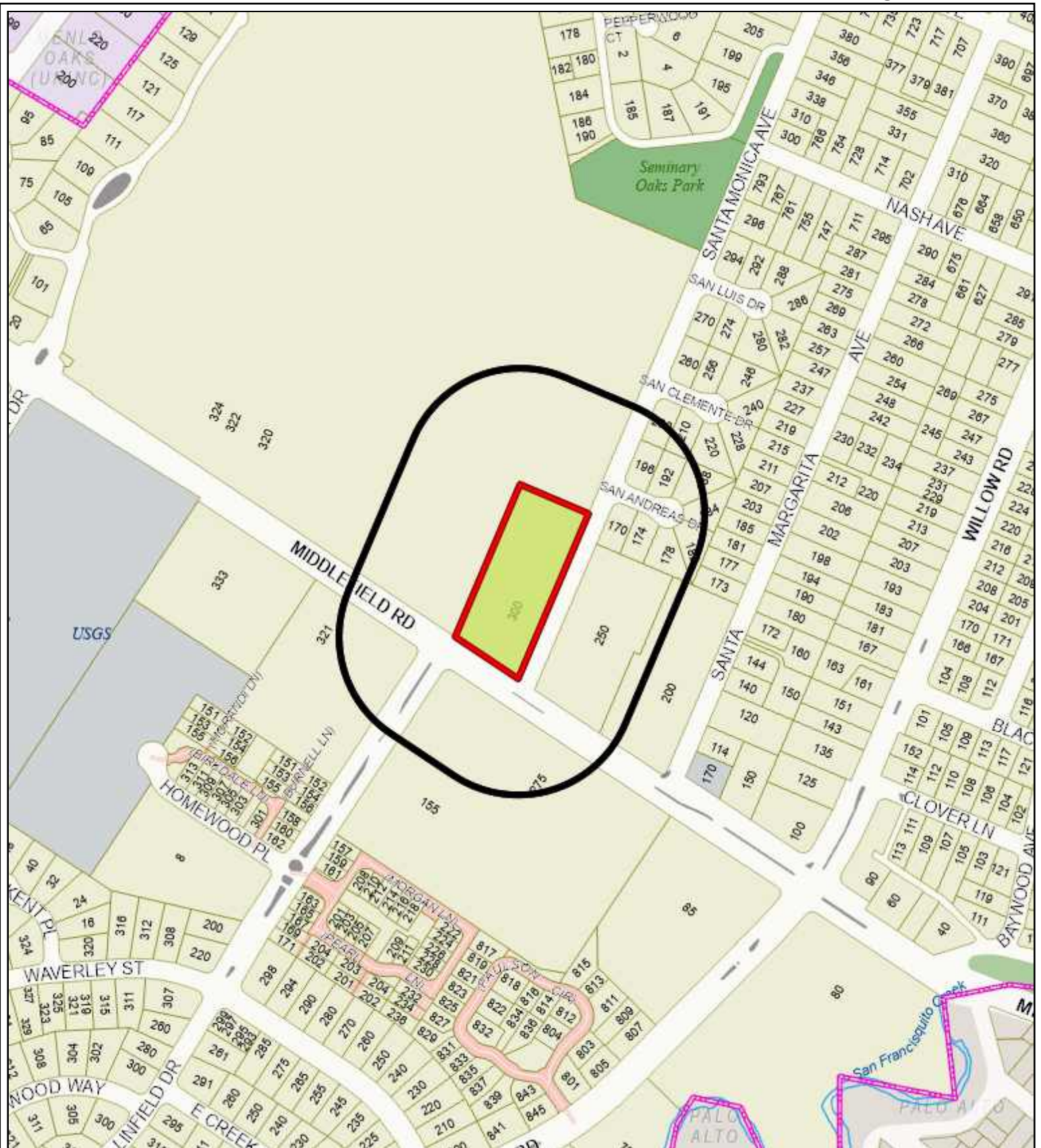
Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a legal notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of both subject properties.

Attachments

- A. Location Map
- B. Project Description Letter
- C. Project Plans
- D. Arborist Report
- E. Hazardous Materials Business Plan HMBP

Report prepared by:
Jacob Garcia, Contract Planner

Report reviewed by:
Thomas Rogers, Principal Planner



City of Menlo Park Location Map Fire Station 1



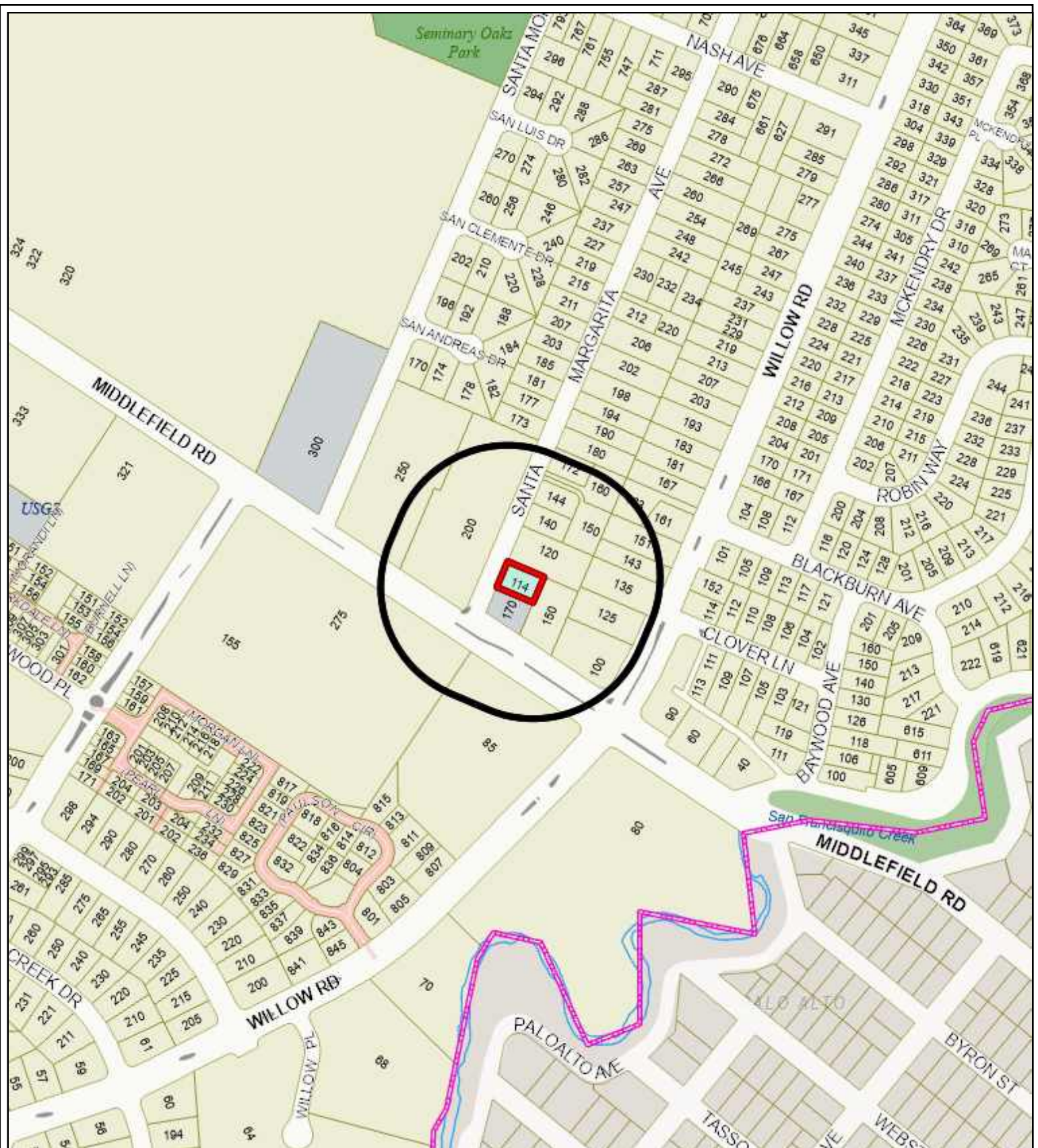
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Drawn By: THR

Checked By: KTP

Date: 11/17/2025

Sheet: 1



City of Menlo Park
Location Map
Fire Station 1 - Temporary Station



Scale: 1:4,000

Drawn By: THR

Checked By: KTP

Date: 11/17/2025

Sheet: 2

**Fire Station No. 01****300 Middlefield Road, Menlo Park, CA****Project Description****History**

Menlo Park Fire Protection District Fire Station 1 is located at 300 Middlefield Road, Menlo Park, CA 94025. This station is located in the County of San Mateo and the authority having jurisdiction is the City of Menlo Park. The two-story fire station was built in 1955 and was seismically retrofitted in the 1990s. The station requires replacement to address its deteriorating infrastructure, to make it compliant with updated building codes, to address fire safety requirements, to incorporate advancements in technology and safety enhancements, and to provide additional space for staff, apparatus, and storage. Fire Station 1 staffs an engine and a squad which is operated by five personnel. In addition, the training division's office staff works out of the second floor of the fire station. The site includes an emergency diesel fueled generator, a 5-story training tower that is attached to the station, and an ancillary building comprised of a multi-purpose room for board meetings and training, a small mechanic shop used for storage, and an exercise room. In 2009 the District completed the remodel of the District owned office building at 170 Middlefield Road. Upon completion of this remodel the District relocated the administration and fire prevention office personnel to this new building. In 2016 the District procured 114 Santa Margarita in order to provide additional office space for its employees. In 2018, the District acquired 1.01 acres adjacent to Fire Station 1 from the Roman Catholic Church. The lot acquired has been merged with the existing lot to form a 1.96-acre lot. The property acquisition provides the District with the ability to develop the site to include a new fire station, training facility, an office building for administration, training, and fire prevention staff, a storage building for equipment and supplies and a multipurpose room that can be used as a board room, trainings and a district operations center.

Scope of Work

Menlo Park Fire District has since outgrown the existing site as well as their headquarters. MPFD intends to utilize 300 Middlefield Road as their new headquarters. The existing site and its features will be completely demolished and make way for 3 new buildings and new code compliant site features. The site will house a new Fire Station, District Administration/Storage building with a District Operation Center, and Training Tower. A temporary facility will be established at 114 Santa Margarita Ave to allow the fire station to remain fully operational during construction of the new facility.



Fire Station

The project includes a new 16,300 square foot, two-story Fire Station with enough room for future growth of the fire district. The Fire Station sits in a similar footprint to the existing station and has an approximate height of 32 feet. The new station will house four drive-through apparatus bays each capable of accommodating a tiller truck or multiple fire engines parked in tandem. The main entry drive for the drive-through bay would be accessed off of Santa Monica Avenue with a secondary entry accessed off of Middlefield Road, while the apparatus bay would exit onto Middlefield Road. In addition to the apparatus space, the first floor of the new fire station would include a public lobby showcasing an antique apparatus as well as historical firefighting equipment, offices, a fitness room and utility space. The second floor of the new fire station would be composed of living quarters for on-duty personnel, including a second story patio deck. The proposed staffing of the fire station would remain at five on-duty firefighters for each rotation. The fire station would include living and sleeping quarters to accommodate up to thirteen firefighters and one Battalion Chief to address future growth. The Fire Station designed in contemporary architectural style. Black metal panels and wood tone fiber cement plank is intended to be used. Glazing will be utilized as much as possible.

Fire Station 1 staffs an engine and a squad which is operated by five personnel. Staffing at this station is not expected to change. The Fire Station will just be staffed by emergency response personnel and its primary and only function is to serve as a fire station.

Office/Storage/District Operations Center Building

Building B will serve as an office building as well as a storage building. Upon completion of the proposed Station 1 project, the administration and fire prevention staffing of approximately 25 personnel will be relocated back to Station 1 from 170 Middlefield road and 114 Santa Margarita. In addition, the training division consisting of 4 personnel, which currently occupies Station 1 will also be relocated to the new office building. The storage portion of the building will contain spare equipment and consumables which will be used District wide as well as additional space for reserve and/or training apparatus. On the first floor of the building will be storage space, office space for the training division and also shared spaces which include locker room space, a breakroom and a multi-purpose room. The multi-purpose room will serve as a training room, a space for Board meetings and as a District Operations Center.



On the second floor of the "L" shaped building at the rear of the lot is proposed to provide office space for the administration and fire prevention personnel. This building is designed in contemporary architectural style which matches the Fire Station. Black metal panels and wood tone fiber cement plank is intended to be used.

The District currently holds public events such as Board meetings, classes, and a couple large events at Fire Station 1. The District plans to continue to hold these events post construction and has no plans to hold additional events at this time. These events include the following:

- CPR classes - one Saturday a month from 9 am-5 pm
- Stop the Bleed class - one Monday a month from 6:00-7:30 pm
- Red Cross Ready class - one Wednesday a month from 6:00-7:30 pm
- CERT Academy twice per year- each is about 20 hours of instruction spread across either Thursday evenings or Saturday full days. In the spring, we do 5 Thursday evenings from 6-9 pm plus one Saturday 9-1. In the fall, we do 3 Saturdays from 9-4.
- We also would have periodic meetings with our CERT team and community groups, about 2-3 times a year that each last around 1-2 hours.
- We have our annual Pancake Breakfast in October from 7:30-11:00.
- Fire Board meetings monthly. Third Tuesday every month from 7pm – 10pm (approximately)

Training Tower

The proposed training facility is anticipated to provide high-rise training, elevator rescue, high-angle rope, center hallway construction, confined space, firefighter survival and rapid intervention crew training, and class B (propane) fire training. This building will be comprised of a 5-story concrete masonry unit structure that is 50' in height along with a smaller 1 story residential training prop. There is also a basement to allow for additional training opportunities. The existing Training Tower has an antenna at the top of the building. This antenna will be removed and relocated to the Temporary Fire Station at the beginning of construction. Once construction is complete, the antenna will be relocated and mounted to the top of the new Training Tower.



The training building has no office space and will have no personnel operating out of it. The building will be comprised of several rooms which contain miscellaneous training props. The building will be used to train the District's emergency response personnel. Typical training consists of 1-2 crews at one time (3-7 personnel) however larger trainings such as cadet training (which we currently perform at Station 1) can include around 15-20 personnel. The number of personnel to be trained at the site would stay consistent with current training practices.

Training activities and hours will remain consistent with the existing training schedule. Training activities include all aspects of fire suppression and rescue training. Training hours are 0900-1700, with occasional evening drills. Trainings are conducted weekly in the classroom or on the drill ground.

The new facility will have class B (propane fueled) props that run on a dead man switch. They will turn off when the instructor takes their hand off the button. These will be located in rooms inside the tower and not visible from the exterior. The building is non-combustible and no smoke is generated by the propane props. Theatrical smoke will be used to simulate fire conditions but is non-toxic and white in color. The smoke will not be visible on the exterior. The fire district currently uses the theatrical smoke often at the current facility.

Training is both indoors and outdoors, depending on the topic. Much of the training will be in the classroom or inside the training tower, some will be on the drill ground surrounding the tower.

The training tower will be constructed of CMU block and intended to be dark in color.

Temporary Facility

In order to allow Station #1 to remain fully operational during the construction of the new site, crew will be housed down the street at 114 Santa Margarita Ave at a Temporary Facility. The site currently houses an existing house and is used as an admin building for Menlo Park Fire Protection District. The existing building will be demolished to allow for the following temporary structures: apparatus tent, living quarter trailer, laundry/fitness trailer, connex box, and the existing shed that will remain. Office staff currently occupying the building will be relocated to leased office space. Once construction is completed the office staff will be relocated to the new office building at 300 Middlefield Road.

The site will have a concrete apparatus driveway and 7 uncovered parking stalls. An existing Coast Redwood, that has significant defects and high risk of breakage, will be removed to allow for the apparatus driveway. A new Silver Linden will be planted as a replacement tree at the plan north-west corner of the site.



The existing building at 114 Santa Margarita was originally located at the corner of Middlefield & Willow, it was moved to its' current location in 1960, and greatly modified. The house was originally constructed in Classical or Colonial Revival style. The building is a box form with hipped shingle roof. The exterior is wrapped in horizontal lap siding. The front door is covered by a hipped shingle roof with pilasters. The building is very simple architecturally and does not have any prominent features. It is our opinion this building does not represent the work of a master or possess high artistic values.

Once the construction of new Fire Station #1 is complete, crew will move back there. The structures at the Temporary Facility will be moved at that time. The site will remain as parking for Menlo Park Fire Protection District until there are plans for future development, or the property is sold.

Purpose of Submittal

For this submittal, we are requesting review for Architectural Control, Heritage Tree Removal, Environmental Review, Zoning Amendment to P-F, Use Permit, Signage Review, and an amendment to the General Plan to allow 80% FAR.

A. Architectural Control

This project request Architectural Control to review the proposed buildings, design, site layout, etc.

B. Heritage Tree Removal

Due to the limited size of the site, it is necessary to remove all existing trees in order to develop the site to meet the needs of the Fire Protection District. The design team explored multiple site layouts to determine if it would be possible to retain any trees while still meeting the Fire District's needs. After a comprehensive analysis, it was determined the Fire District needs to re-develop the entire site. The Site Plan exhibit on AP1.2 demonstrates that all trees are in conflict with the proposed development of the site, making the removal of all trees mandatory. Please see alternate design and cost analysis for additional information.

The team paid special attention to retaining Tree #1. After investigation, it was ultimately determined it is not feasible to retain Tree #1. The arborist noted 15' clearance around the entire tree is required to protect its' existing structure. The clearance requirements around the tree does not allow for the (2) required storm



drain placement. The storm drain would need to be placed in the public right of way to avoid disrupting the tree, which is not allowed by the City.

There has been discussions with the City who have expressed desire to underground utilities along Santa Monica Ave. Recology has also expressed desire to underground the utilities so they do not provide a potential conflict with their service to the trash enclosure. The Fire District has agreed to underground (2) of the utility poles along Santa Monica. With needing to maintain the 15' clearance from the Saucer Magnolia #1, it wouldn't be feasible to underground the utilities without disrupting the tree.

In addition, the tree and its' necessary clearances conflicts with building layout and design. Due to the restricting size of the site it is not feasible to relocate the portion of the proposed building that Tree #1 is in conflict with. The overhang of window shading impedes with tree canopy.

Please note that the Fire District intends to plant new trees within the planter area located south of the existing Saucer Magnolia. This landscaping enhancement will provide foliage along the Fire Station frontage and a more attractive streetscape for pedestrians and passersby on both Middlefield and Santa Monica.

At 114 Santa Margarita, we are requesting the removal of While reviewing the Arborist Report, tree #24 has a significant structural deficiency at the main trunk bifurcates into codominant leaders, this union is weak and there is a high risk of breakage. Even trying to address this defect would result in significantly affecting the trees height which will dramatically affect its appearance. This tree only has a moderate suitability for preservation. As a result, Menlo Park Fire Protection District believe it is best to remove the tree.

Tree #24 location impedes with the proposed Apparatus Drive aisle. Although the team has explored above grade paving to keep Tree #24 intact, the heavy weight of the apparatus driving daily over the roots may be impacted. Above grade paving is costly as it will require grade beams or piers. The above ground paving will also result in steep grades along the driveway which is not desirable.

As a result of the removal of Tree #24, a replacement tree will be planted on site, this project proposes the planting of a 36" Box Tilia tomentosa 'Sterling' : Silver Linden. This new tree will be planted on the plan north-west corner of the site in an existing planter area.

C. Environmental Review

Since this project is not exempt from the California Environmental Quality Act (CEQA), it requires an Environmental Review. We respectfully request that the City retain an independent consultant to prepare an Initial Study for the project. Given that the



project involves an existing site currently occupied by Fire Station No. 01, we believe that the Initial Study will support the issuance of a Mitigated Negative Declaration. However, if the Initial Study determines that a Mitigated Negative Declaration is not appropriate, the project should proceed to the next applicable stage of the CEQA process in accordance with State guidelines.

D. Zoning Amendment

The current zoning does not align with project type or use. As part of this project we request for the property to re-zoned from R-1-S to P-F. The Fire Station and District Operation Center will be able to be accessed and utilized by the public and utilized to service the community. Since the project will be a public facility, this project requests a zoning amendment for this property to be zoned as PF, Public Facility, zone.

E. Use Permit

This project requests a use permit to allow for the use and storage of hazardous materials including a diesel emergency generator and large propane tank which will be utilized for training purposes by the Fire District. This project also requests a use permit to allow the maximum allowable floor area ratio to exceed the 60% FAR that is currently allowed by the Planning Commission Approval. This project requests to allow for 80% FAR. 60% FAR does not allow the Fire District adequate space to fulfill their current needs, 80% allows them to meet their current needs and allow for future growth in order to properly service the Menlo Park community.

Prior to the demolition of existing Fire Station No. 01 a temporary facility will be constructed at a different MPFD property, 114 Santa Margarita. This site will house temporary trailers and an App Bay tent. The facility will be utilized until the completion of the new Fire Station No. 01. This temporary facility is being submitted to the City and is included in this application.

F. Signage Review

This project is submitting proposed signage for the Fire Station and Administration Building, there will be no signage at the Training Tower. This project request review of signage and ultimately to receive a signage permit from the City.

G. Amendment to General Plan

As part of this project, we are requesting the property to be re-zoned to PF zone. Properties within the P-F zoning district are allowed: *The floor area ratio shall not exceed thirty percent (30%), except that sixty percent (60%) may be allowed with*



use permit approval on sites with a lot area of two (2) acres or less. In order to meet the needs of the Fire Protection District, FAR above 60% is required.

Due to the extensive programmatic needs of the Fire District to serve their community, approximately 75% FAR is required. This allows for a state of the art training tower to be utilized by the entire Fire District to train their staff and prepare for emergencies. The

height required of the Training Tower adds gross square footage to the FAR that is vital for the Fire District and their community members. Since this project will serve as a training center, administration headquarters, and Fire Station, ample space is needed simply to house and protect the Fire Apparatus. Substantial square footage is dedicated to Apparatus Bays which are vital for prompt emergency response.

This project is requesting an allowable FAR of 80%. This will allow the Fire District to construct the buildings they need to properly service the community. This will also allow for a small remaining percentage to allow for any necessary future growth.

The District explored options for keeping administration and/or fire prevention staffing at their current locations, however due to space limitations a significant renovation would be required along with a lot merger. The estimated cost to keep the office personnel at 170 Middlefield and 114 Santa Monica would exceed \$10 million and would not provide the needed space for growth. In addition, it is highly desirable to the Fire District to have all administrated personnel located at the same location with a preference to be at 300 Middlefield alongside the training division personnel.

Neighborhood Outreach

On 6/24/24 the Fire District met with representatives from Saint Patrick's Seminary including Father Doherty to discuss the Fire Station 1 project. The Fire District provided and discussed initial site plans and elevations. The discussion revolved around fencing, tree replacement, project phasing, and project duration. The project was well received by the representatives of St Patrick's Seminary. We discussed the District's plan for ongoing emergency response operations during construction and the possible placement of trailers on Saint Patrick's Seminary's property as well as replacement tree planting on their property to provide screening and to reduce noise. The Team has put together a package for St Pat's review and comment which includes, architectural, civil, landscape, and electrical site plans demonstrating the proposed temporary facility. The package also includes images and information for each of the tree species proposed to be planted on their property and options for fence design. Finally, the



package includes renderings of Fire Station No. 1 from the vantage point from St. Pats. St. Pats has reviewed the information provided and has provided their initial response which was included in a prior resubmittal.

In October 2025, a project flyer (previously provided in a prior planning submittal) and invitation was mailed to properties within a 700' radius. In addition, Staff went door to door and talked with several neighbors along Santa Monica Avenue. On November 10, 2025 the District held a neighborhood meeting at Fire Station 1 to present the project to the community and to obtain feedback from our neighbors.

Site Improvements

The site includes twelve secure parking spaces to accommodate the overlapping change of shift, along with five parking spaces for district owned trailers. Parallel parking will be available for public use along Santa Monica Ave. One accessible parallel stall is provided to the south of the Fire Station.

Underground parking can also be used by emergency personnel if needed. 76 total stalls (52 standard stalls, 3 accessible (1 EV), and 21 standard stalls) are provided underground for the office personnel and District vehicles, approximately 50 parking stalls are currently needed for staff. The remaining parking is available for board members, overflow and future growth. During public events the underground parking can be made available to the public in order to reduce offsite street parking. The new sidewalk along Santa Monica Ave is proposed to be located within the public right-of-way.

A new stationary generator would be located onsite in the middle of the lot which shall provide emergency power to all structures onsite in the event of a power outage. A new 1000-gallon above ground diesel fuel storage tank would be located adjacent to the emergency generator. The fuel storage tank would be used for refueling of fire engines and powering the generator. A second 1000-gallon unleaded fuel tank would be located adjacent to the diesel fuel tank for the fueling of the District's vehicles. The site would also include a 1000-gallon propane tank to fuel class B live fire training inside the training building.

To accommodate the construction of the new fire station, all 23 of the existing trees on the subject site are proposed to be removed. Twenty-one of the trees are classified as heritage trees and one is classified as a street tree. The tree inventory is comprised of



four American sweetgum, four coast live oaks, two little leaf linden, one north California black walnut, four Monterey cypress, seven olive tree, and one saucer magnolia. The trees to be removed would be replaced with new trees planted primarily along the street and property lines. Proposed trees to be planted include California buckeye,

American smoke tree, Deodar cedar, Canary island pine, Coast live oak, Cork oak, Fruitless Chinese pistache, Eastern redbud multi-trunk, California wax myrtle. Planted areas would be mulched and irrigated with a low volume irrigation system.

Construction Activities

Project construction is anticipated to occur over a four-and-a-half-year period, and the fire station would continue to operate throughout the construction process. Construction would be broken into the following seven major phases:

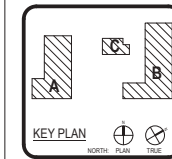
- ❖ Phase 1: Construct off-site temporary facility. Personnel to move out of fire station and into completed temp facility.
 - Estimated duration: 1 month
- ❖ Phase 2: Contractor to occupy site and demolish all existing buildings and site featured.
 - Estimated duration: 1 month
- ❖ Phase 3: Perform site grading and excavation
 - Estimated duration: 2 months
- ❖ Phase 4: Construct the underground parking garage
 - Estimated duration: 4 months
- ❖ Phase 5: Construct the new fire station, office/storage building and training building.
 - Estimated duration: 28 months
- ❖ Phase 6: Construct sidewalks, walkways, paving, landscaping, and install fuel tanks and generator.
 - Estimated duration: 2 months
- ❖ Phase 7: Move personnel into the new fire station, remove temporary structures, and complete site improvements.
 - Estimated duration: 2 months

END OF PROJECT DESCRIPTION



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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MONTEBELLO ROAD
MENLO PARK, CA 94025



DRAWING HISTORY		
No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

COVER SHEET

AP1.0

MENLO PARK FIRE STATION NO. 01

MENLO PARK FIRE PROTECTION DISTRICT

VICINITY PLAN



ARCH SHEET INDEX	
AP1.0	COVER SHEET
AP1.1	AREA PLAN
AP1.2	SITE PLAN
AP1.3	SITE PLAN - UNDERGROUND PARKING GARAGE
AP1.4	SITE DETAILS
AP1.5	PERSPECTIVE RENDERINGS
AP1.6	PERSPECTIVE RENDERINGS
AP1.7	PERSPECTIVE RENDERINGS
AP2.0	EXISTING FLOOR PLANS
AP2.1	EXISTING BUILDINGS
AP3.0	BLDG A - SQUARE FOOTAGE CALCULATION PLANS
AP3.1	BLDG B - SQUARE FOOTAGE CALCULATION PLANS
AP3.2	BLDG C - SQUARE FOOTAGE CALCULATION PLANS
AP5.0	BUILDING SIGNAGE
AP6.1	CONSTRUCTION PHASING PLAN 1-4
AP6.2	CONSTRUCTION PHASING PLAN 5 & 6
AA2.0	BLDG A - CODE ANALYSIS
AA2.1	BLDG A - FIRST FLOOR PLAN
AA2.2	BLDG A - SECOND FLOOR PLAN
AA4.1	BLDG A - ROOF PLAN
AA5.1	BLDG A - EXTERIOR ELEVATIONS
AA5.3	BLDG A - BUILDING SECTIONS
AB2.0	BLDG B - CODE ANALYSIS
AB2.1	BLDG B - BASEMENT
AB2.2	BLDG B - FIRST FLOOR PLAN

AB2.4	BLDG B - SECOND FLOOR PLAN
AB4.1	BLDG B - ROOF PLAN
AB5.1	BLDG B - EXTERIOR ELEVATIONS
AB5.3	BLDG B - BUILDING SECTIONS
AC2.1	BLDG C - BASEMENT 3RD FLOOR
AC2.2	BLDG C - 4TH FLOOR PLAN
AC5.1	BLDG C - EXTERIOR ELEVATIONS
AC5.2	BLDG C - BUILDING SECTIONS

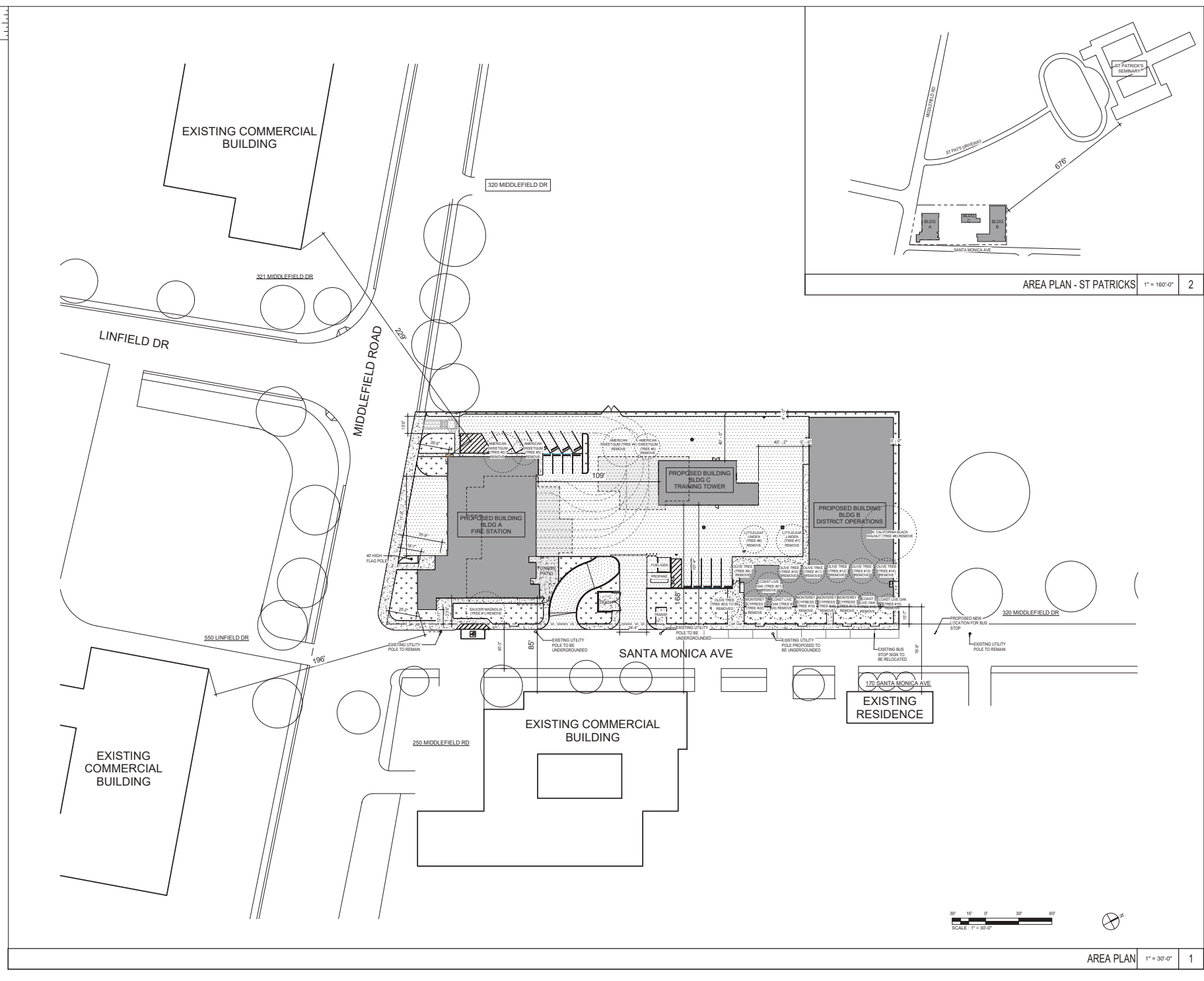
INDEX TEMPORARY FACILITY	
TF1.0	TEMP FACILITY DEMO & PROPOSED SITE PLAN
TF2.0	TEMPORARY FACILITY DETAILS
TF-C1	CIVIL - TEMPORARY FACILITY
TF-E0.1	GENERAL NOTES, SYMBOL LIST, FIXTURE SCHEDULE, SINGLE LINE DIAGRAM AND PANEL SCHEDULE
TF-E0.2	TITLE 24 COMPLIANCE FORMS
TF-E1.1	SITE POWER PLAN
TF-E1.2	SITE LIGHTING & PHOTOMETRIC PLANS
TF-E3.1	ELECTRICAL DETAILS

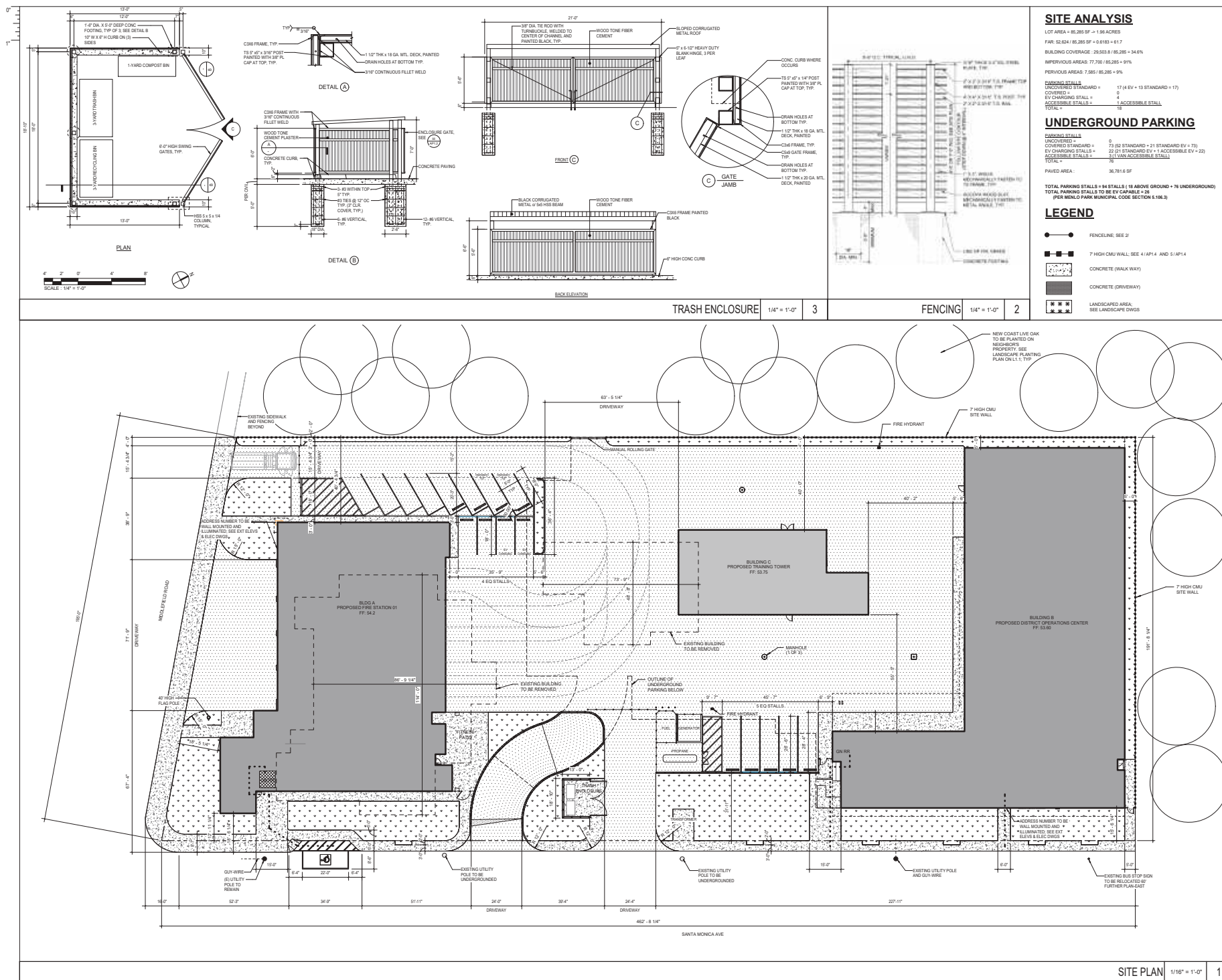
INDEX CIVIL	
C1.0	COVER SHEET
C2.0	BOUNDARY & TOPOGRAPHIC SURVEY
C3.0	DEMOLITION PLAN
C4.0	SITE DEVELOPMENT PLAN
C5.0	GRADING & DRAINAGE PLAN
C6.0	GRADING & DRAINAGE PLAN
C7.0	CROSS SECTIONS
C8.0	UTILITY PLAN
C9.0	STORMWATER CONTROL PLAN
C10.0	CONSTRUCTION DETAILS
C11.0	EROSION CONTROL PLAN
C12.0	BEST MANAGEMENT PLAN

INDEX LANDSCAPE	
L1.0	TREE REMOVAL PLAN
L1.1	PLANTING PLAN
L2.0	IRRIGATION PLAN

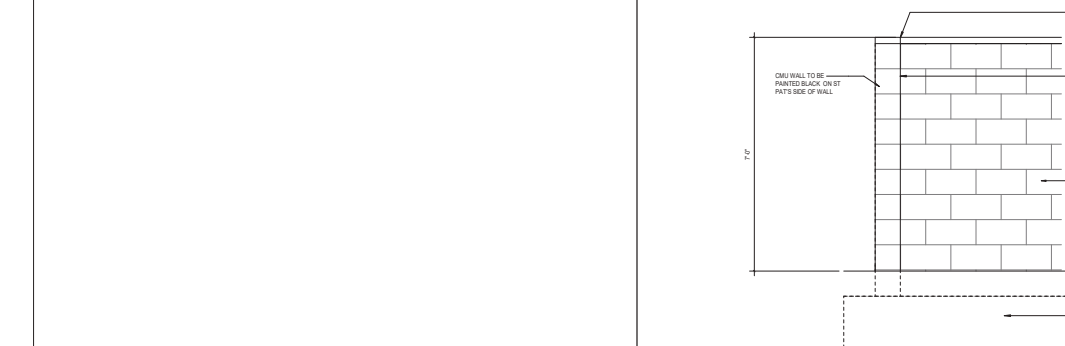
INDEX ELECTRICAL	
E1.0	DEMOL & NEW SITE PLAN
E1.1	SITE PHOTOMETRIC PLAN
E1.2	STREET LIGHTING PHOTOMETRIC PLAN
E1.3	CITY STANDARD AND FIXTURE DATA SHEET



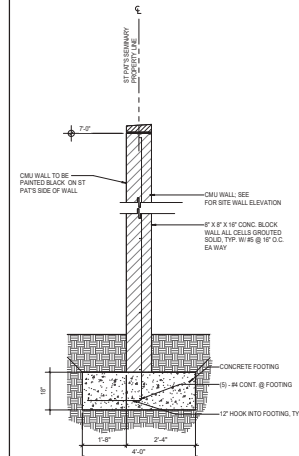




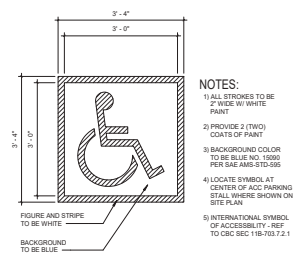




SITE CMU WALL	3/4" = 1'-0"	4
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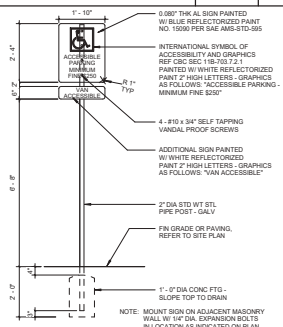
SITE CMU WALL	3/4" = 1'-0"	4
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NOTES:

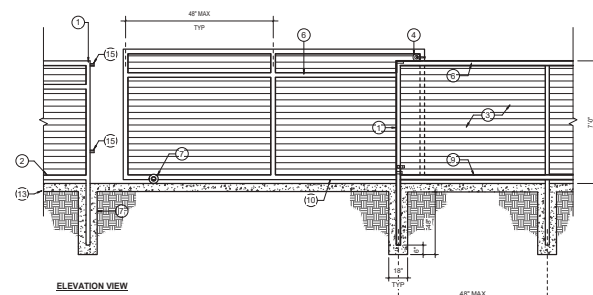
- 1) ALL STROKES TO BE 2" WIDE W/ WHITE PAINT
- 2) PROVIDE 2 (TWO) COATS OF PAINT
- 3) BACKGROUND COLOR TO BE BLUE NO. 15090 PER SAE AMS-STD-595
- 4) LOCATE SYMBOL AT CENTER OF ACC PARKING STALL WHERE SHOWN ON SITE PLAN
- 5) INTERNATIONAL SYMBOL OF ACCESSIBILITY - REF TO CBC SEC 11B-703.7.2

ACCESS SIGN	3/4" = 1'-0"	3
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NOTE: MOUNT SIGN ON ADJACENT MASONRY
WALL W/ 1/4" DIA. EXPANSION BOLTS
IN LOCATION AS INDICATED ON PLAN.

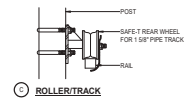
PARKING SIGN	1/2" = 1'-0"	2
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ELEVATION VIEW

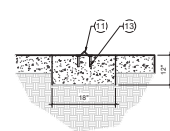


PLAN VIEW



C ROLLER/TRACK

1. 3"x3"x12 GA STEEL GATE POST
2. NOT USED
3. HORIZONTAL 4" WOOD SIDING
4. SAVE 1" REAR WHEEL WITH BRACKET. SEE BELOW DETAIL C.
5. INSTALL PER MANUFACTURER
6. NOT USED
7. 3"x3"x12 GA STEEL RAIL
8. WHEEL & TOLL V.
9. NOT USED
10. 3"x3"x12 GA STEEL BOTTOM RAIL
11. GALVANIZED Y TRACK 1" X 1/2" X 3/16" SET ON A 1/4" X 4" 1/2" HOLE FOR SLEEVE ANCHORS @ 16" O.C.
12. ON ALTERNATE SITES. PROVIDE BURLAP FENCE COMPANY MODEL NUMBER 835702 OR APPROVED EQL.
13. GROUND MOUNTED HEAVY DUTY GATE RECEIVER; VERIFY EXACT LOCATION N FIELD
14. CONCRETE SLAB FOR SLIDING GATE.
15. SIMPSON SL3224P24 PHILLIPS FLAT HEAD SLEEVE ANCHOR 3/8"x2.75" EMBED @ 16" O.C. ON ALTERNATE SITES



SECTION VIEW

NOTE:
1. PROVIDE SHOP DRAWINGS FOR FULLY FUNCTIONING GATE AND FENCE ASSEMBLIES. DETAILS DRAWN ARE GENERIC IN NATURE NOT SHOWING ALL PARTS NECESSARY, BUT REQUIRED

ENTRY ROLLING GATE	3/8" = 1'-0"	1
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AERIAL VIEW



WEST VIEW FROM MIDDLEFIELD ROAD

PRK
ARCHITECT

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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

300 MIDDLEFIELD ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCIPLINE

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 08/29/2024 PROJECT NUMBER: 230532

DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER

PERSPECTIVE RENDERINGS



EVENING VIEW OF FIRE STATION FROM MIDDLEFIELD RD



VIEW OF BUILDING B FROM SANTA MONICA

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PRK, Inc.
10000
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MENLO PARK FIRE PROTECTION DISTRICT
300 MIDDLEFIELD ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN
NORTH
PLAN
TITLE
DISCIPLINE

CLIENT
MENLO PARK FIRE PROTECTION DISTRICT
DATE: 4/24/25
PROJECT NUMBER: 230532
DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

PERSPECTIVE
RENDERINGS

AP1.6



VIEW FROM SANTA MONICA AVE OF DISTRICT OPERATIONS CENTER



METAL PANEL



FIBRE CEMENT PANELS



BUILDING B - ENTRY FROM MIDDLEFIELD



NORTH-EAST VIEW FROM MIDDLEFIELD ROAD

PRK

ARCHITECT

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PRK, Inc.

Menlo Park

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

300 MIDDLEFIELD ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

NORTH

PLAN

TRUE

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 08/29/2024 PROJECT NUMBER: 230532

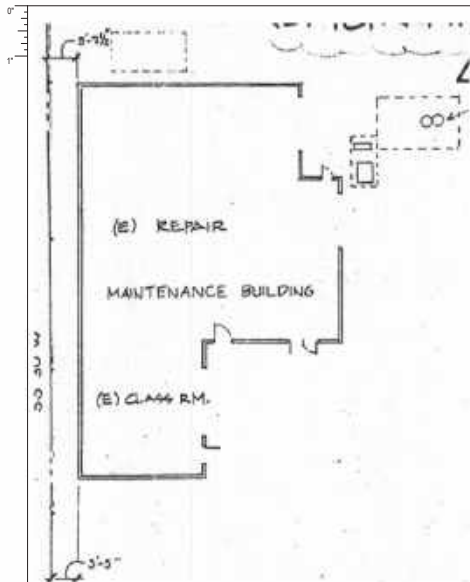
DRAWING HISTORY

No.	Description	Date
1	PERMANENT OFFICE BUILDING	8/29/24

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER

PERSPECTIVE RENDERINGS



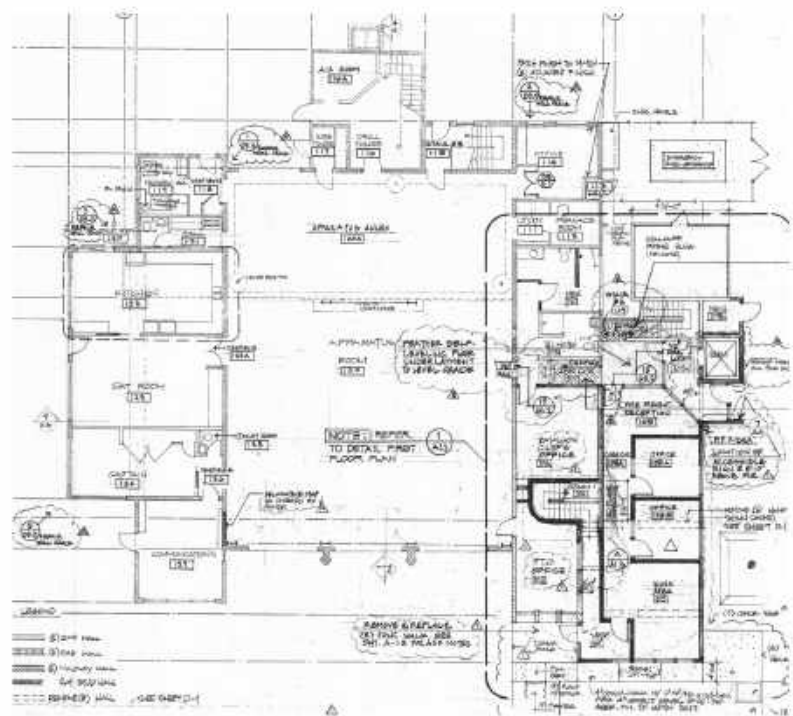
EXISTING MAINTENANCE BLDG FIRST FLOOR PLAN 1" = 10'



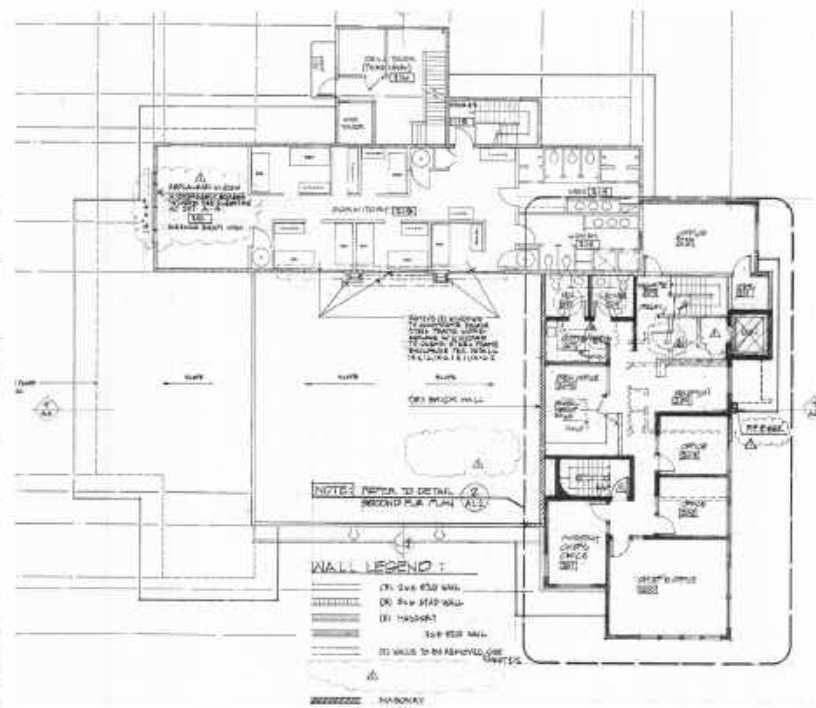
EXISTING FS TRAINING TOWER BLDG FLOOR PLANS 1" = 10'

EXISTING PROJECT DATA

LOT SIZE:	85,343.7 SF
TOTAL BUILDING AREA:	23,781.5 SF
LOT COVERAGE:	13.4%
ZONING :	R-1-S
BUILDING OCCUPANCY :	B-2
CONSTRUCTION TYP :	VN
MAINTENANCE BUILDING :	3,306 SF
FIRE STATION- BASEMENT	984
1ST FLOOR	11,167.3
2ND FLOOR	6,374.5
3RD FLOOR	650
4TH FLOOR	650
5TH FLOOR	650
TOTAL:	20,475 SF



EXISTING FIRE STATION FIRST FLOOR PLAN 1" = 10'



EXISTING FIRE STATION SECOND FLOOR PLAN 1" = 10'

ARCHITECT PRK, Inc.
SAN LUIS OBISPO
1327 Adobe St. Suite 110
San Luis Obispo, CA 93401
805-339-3010
805-339-3010 F

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

MENLO PARK FIRE PROTECTION DISTRICT

300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCIPLINE

ARCHITECT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 4/24/25 PROJECT NUMBER: 230532

DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER

EXISTING FLOOR PLANS

AP2.0



EXISTING MENLO PARK FIRE STATION NO. 01 TO BE DEMOLISHED - WEST ELEVATION



EXISTING MENLO PARK FIRE STATION NO. 01 TO BE DEMOLISHED - SANTA MONICA ROAD ELEVATION
(EAST ELEVATION)



EXISTING MENLO PARK FIRE STATION NO. 01 TO BE DEMOLISHED - MIDDLEFIELD ROAD ELEVATION
(SOUTH ELEVATION)



EXISTING MENLO PARK FIRE STATION NO. 01 TO BE DEMOLISHED - NORTH ELEVATION
(REAR)



EXISTING MENLO PARK MAINTENANCE BLDG TO BE DEMOLISHED - WEST ELEVATION



EXISTING MENLO PARK MAINTENANCE BLDG TO BE DEMOLISHED - SOUTH ELEVATION



EXISTING MENLO PARK MAINTENANCE BLDG TO BE DEMOLISHED - SANTA MONICA ROAD ELEVATION (EAST SIDE)



EXISTING MENLO PARK MAINTENANCE BLDG TO BE DEMOLISHED - ELEVATION (NORTH SIDE)



EXISTING MENLO PARK FIRE STATION NO. 01 & MAINTENANCE BUILDING TO BE DEMOLISHED - MIDDLEFIELD ROAD ELEVATION (EAST SIDE)



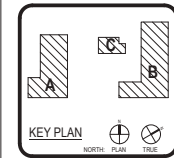
EXISTING MENLO PARK FIRE STATION NO. 01 & MAINTENANCE BUILDING TO BE DEMOLISHED - SANTA MONICA ROAD ELEVATION (EAST SIDE)



ARCHITECT **PBK, Inc.**
SAN LUIS OBISPO
1327 Archer St, Suite 110
San Luis Obispo, CA 93401
805-329-3076 P
805-329-3078 F
PBK.com

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

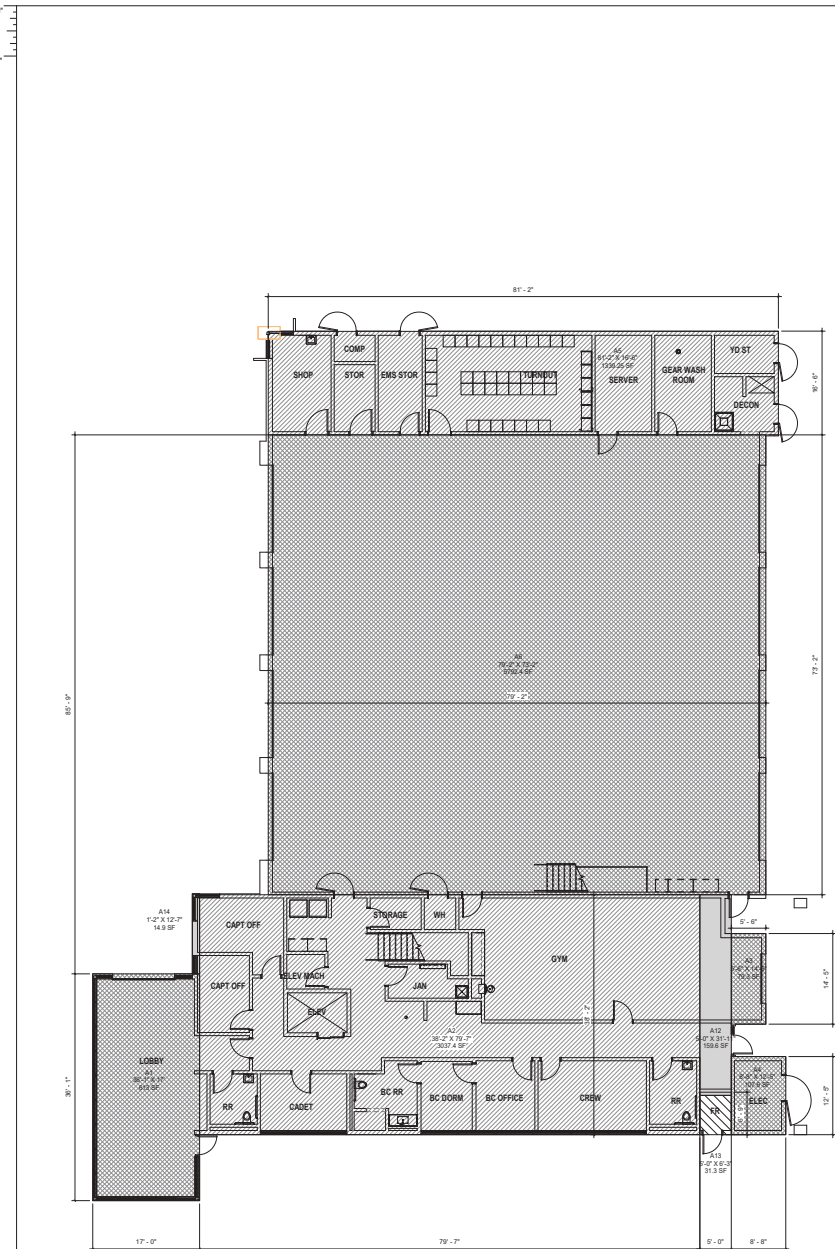
MENLO PARK FIRE PROTECTION DISTRICT

3300 MIDDLFIELD ROAD
MUNIC. OF DAYTON, OH 45424[illegible]

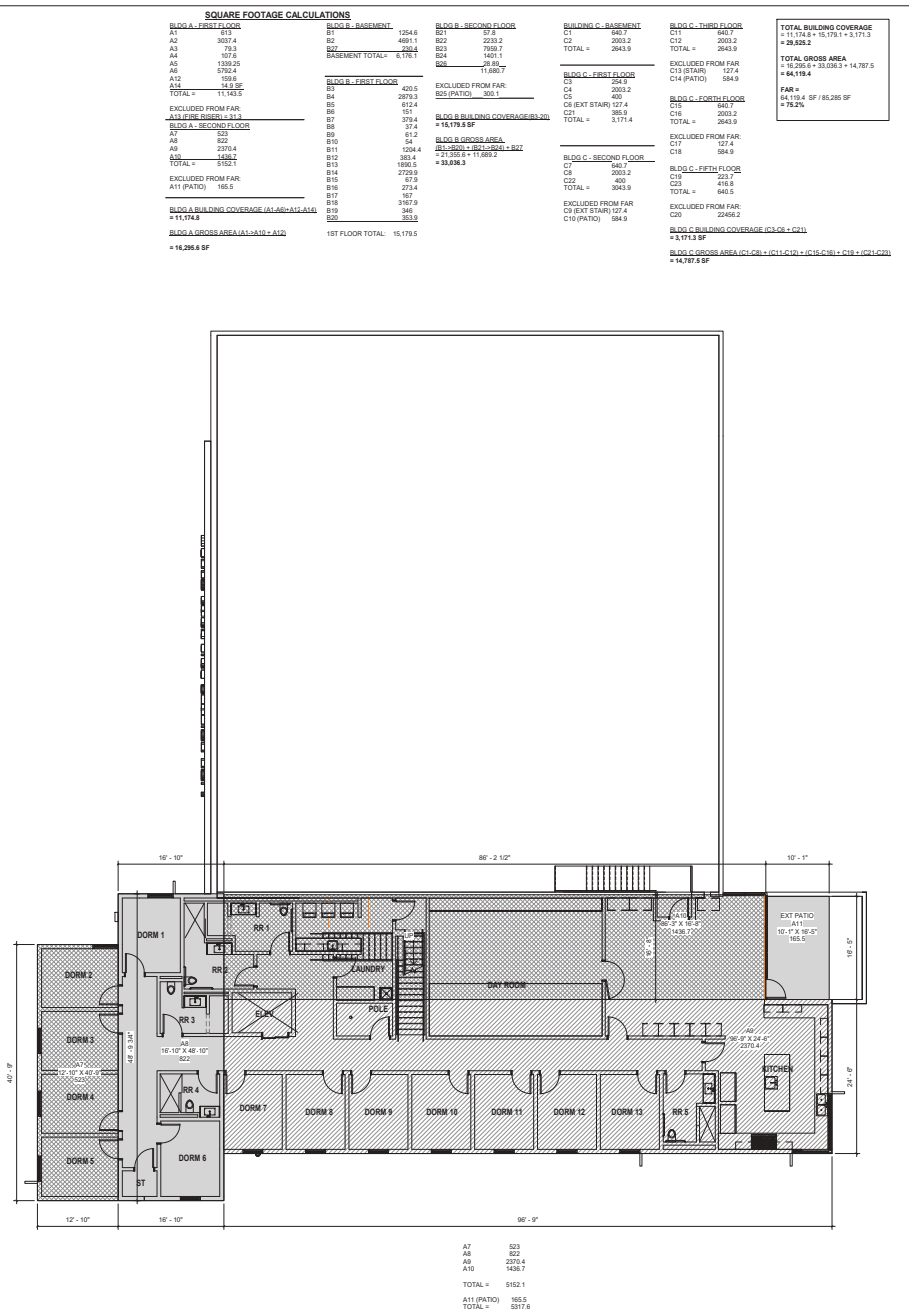
PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

EXISTING BUILDINGS

AP2.1



CALC PLAN - BUILDING A FIRST FLOOR PLAN
1/8" = 1'-0"



CALC PLAN - BUILDING A SECOND FLOOR PLAN
1/8" = 1'-0"

SQUARE FOOTAGE CALCULATIONS											
BLDG A - FIRST FLOOR			BLDG B - BASEMENT			BLDG C - FIRST FLOOR			BLDG C - THIRN FLOOR		
A1	613	B1	1294.6	B21	597.7	C1	640.7	C11	640.7	TOTAL BUILDING COVERAGE	
A2	3037.4	B3	4691.1	B22	2233.3	C2	2003.2	C12	2003.2	= 11,174.6 + 15,179.1 + 3,171.3	
A3	157.8	B4	79.3	B23	79.3	C3	2003.2	C13	2003.2	= 29,825.0	
A4	1589.75	B5	1589.75	B24	79.3	C4	2003.2	C14	2003.2	TOTAL GROSS AREA	
A5	5792.4	B6	1589.75	B25	1401.7	C5	2003.2	C15	2003.2	= 16,209.6 + 33,036.3 + 14,787.5	
A6	1594.8	B7	14.9 SF	B26	11,887.2	C6	2003.2	C16	2003.2	= 64,174.5	
A7	14.9 SF	B8	14.9 SF	B27	11,887.2	C7	2003.2	C17	2003.2	FAR =	
A8	14.9 SF	B9	420.5	B28	11,887.2	C8	2003.2	C18	2003.2	= 61,119.6 SF / 65,205 SF	
A9	14.9 SF	B10	2879.3	B29	11,887.2	C9	2003.2	C19	2003.2	= 79.2%	
A10	14.9 SF	B11	37.4	B30	11,887.2	C10	2003.2	C20	2003.2		
A11	14.9 SF	B12	37.4	B31	11,887.2	C11	2003.2	C21	2003.2		
A12	14.9 SF	B13	37.4	B32	11,887.2	C12	2003.2	C22	2003.2		
A13	14.9 SF	B14	37.4	B33	11,887.2	C13	2003.2	C23	2003.2		
A14	14.9 SF	B15	37.4	B34	11,887.2	C14	2003.2	C24	2003.2		
A15	14.9 SF	B16	37.4	B35	11,887.2	C15	2003.2	C25	2003.2		
A16	14.9 SF	B17	37.4	B36	11,887.2	C16	2003.2	C26	2003.2		
A17	14.9 SF	B18	37.4	B37	11,887.2	C17	2003.2	C27	2003.2		
A18	14.9 SF	B19	37.4	B38	11,887.2	C18	2003.2	C28	2003.2		
A19	14.9 SF	B20	37.4	B39	11,887.2	C19	2003.2	C29	2003.2		
A20	14.9 SF	B21	37.4	B40	11,887.2	C20	2003.2	C30	2003.2		
A21	14.9 SF	B22	37.4	B41	11,887.2	C21	2003.2	C31	2003.2		
A22	14.9 SF	B23	37.4	B42	11,887.2	C22	2003.2	C32	2003.2		
A23	14.9 SF	B24	37.4	B43	11,887.2	C23	2003.2	C33	2003.2		
A24	14.9 SF	B25	37.4	B44	11,887.2	C24	2003.2	C34	2003.2		
A25	14.9 SF	B26	37.4	B45	11,887.2	C25	2003.2	C35	2003.2		
A26	14.9 SF	B27	37.4	B46	11,887.2	C26	2003.2	C36	2003.2		
A27	14.9 SF	B28	37.4	B47	11,887.2	C27	2003.2	C37	2003.2		
A28	14.9 SF	B29	37.4	B48	11,887.2	C28	2003.2	C38	2003.2		
A29	14.9 SF	B30	37.4	B49	11,887.2	C29	2003.2	C39	2003.2		
A30	14.9 SF	B31	37.4	B50	11,887.2	C30	2003.2	C40	2003.2		
A31	14.9 SF	B32	37.4	B51	11,887.2	C31	2003.2	C41	2003.2		
A32	14.9 SF	B33	37.4	B52	11,887.2	C32	2003.2	C42	2003.2		
A33	14.9 SF	B34	37.4	B53	11,887.2	C33	2003.2	C43	2003.2		
A34	14.9 SF	B35	37.4	B54	11,887.2	C34	2003.2	C44	2003.2		
A35	14.9 SF	B36	37.4	B55	11,887.2	C35	2003.2	C45	2003.2		
A36	14.9 SF	B37	37.4	B56	11,887.2	C36	2003.2	C46	2003.2		
A37	14.9 SF	B38	37.4	B57	11,887.2	C37	2003.2	C47	2003.2		
A38	14.9 SF	B39	37.4	B58	11,887.2	C38	2003.2	C48	2003.2		
A39	14.9 SF	B40	37.4	B59	11,887.2	C39	2003.2	C49	2003.2		
A40	14.9 SF	B41	37.4	B60	11,887.2	C40	2003.2	C50	2003.2		
A41	14.9 SF	B42	37.4	B61	11,887.2	C41	2003.2	C51	2003.2		
A42	14.9 SF	B43	37.4	B62	11,887.2	C42	2003.2	C52	2003.2		
A43	14.9 SF	B44	37.4	B63	11,887.2	C43	2003.2	C53	2003.2		
A44	14.9 SF	B45	37.4	B64	11,887.2	C44	2003.2	C54	2003.2		
A45	14.9 SF	B46	37.4	B65	11,887.2	C45	2003.2	C55	2003.2		
A46	14.9 SF	B47	37.4	B66	11,887.2	C46	2003.2	C56	2003.2		
A47	14.9 SF	B48	37.4	B67	11,887.2	C47	2003.2	C57	2003.2		
A48	14.9 SF	B49	37.4	B68	11,887.2	C48	2003.2	C58	2003.2		
A49	14.9 SF	B50	37.4	B69	11,887.2	C49	2003.2	C59	2003.2		
A50	14.9 SF	B51	37.4	B70	11,887.2	C50	2003.2	C60	2003.2		
A51	14.9 SF	B52	37.4	B71	11,887.2	C51	2003.2	C61	2003.2		
A52	14.9 SF	B53	37.4	B72	11,887.2	C52	2003.2	C62	2003.2		
A53	14.9 SF	B54	37.4	B73	11,887.2	C53	2003.2	C63	2003.2		
A54	14.9 SF	B55	37.4	B74	11,887.2	C54	2003.2	C64	2003.2		
A55	14.9 SF	B56	37.4	B75	11,887.2	C55	2003.2	C65	2003.2		
A56	14.9 SF	B57	37.4	B76	11,887.2	C56	2003.2	C66	2003.2		
A57	14.9 SF	B58	37.4	B77	11,887.2	C57	2003.2	C67	2003.2		
A58	14.9 SF	B59	37.4	B78	11,887.2	C58	2003.2	C68	2003.2		
A59	14.9 SF	B60	37.4	B79	11,887.2	C59	2003.2	C69	2003.2		
A60	14.9 SF	B61	37.4	B80	11,887.2	C60	2003.2	C70	2003.2		
A61	14.9 SF	B62	37.4	B81	11,887.2	C61	2003.2	C71	2003.2		
A62	14.9 SF	B63	37.4	B82	11,887.2	C62	2003.2	C72	2003.2		
A63	14.9 SF	B64	37.4	B83	11,887.2	C63	2003.2	C73	2003.2		
A64	14.9 SF	B65	37.4	B84	11,887.2	C64	2003.2	C74	2003.2		
A65	14.9 SF	B66	37.4	B85	11,887.2	C65	2003.2	C75	2003.2		
A66	14.9 SF	B67	37.4	B86	11,887.2	C66	2003.2	C76	2003.2		
A67	14.9 SF	B68	37.4	B87	11,887.2	C67	2003.2	C77	2003.2		
A68	14.9 SF	B69	37.4	B88	11,887.2	C68	2003.2	C78	2003.2		
A69	14.9 SF	B70	37.4	B89	11,887.2	C69	2003.2	C79	2003.2		
A70	14.9 SF	B71	37.4	B90	11,887.2	C70	2003.2	C80	2003.2		
A71	14.9 SF	B72	37.4	B91	11,887.2	C71	2003.2	C81	2003.2		
A72	14.9 SF	B73	37.4	B92	11,887.2	C72	2003.2	C82	2003.2		
A73	14.9 SF	B74	37.4	B93	11,887.2	C73	2003.2	C83	2003.2		
A74	14.9 SF	B75	37.4	B94	11,887.2	C74	2003.2	C84	2003.2		
A75	14.9 SF	B76	37.4	B95	11,887.2	C75	2003.2	C85	2003.2		
A76	14.9 SF	B77	37.4	B96	11,887.2	C76	2003.2	C86	2003.2		
A77	14.9 SF	B78	37.4	B97	11,887.2	C77	2003.2	C87	2003.2		
A78	14.9 SF	B79	37.4	B98	11,887.2	C78	2003.2	C88	2003.2		
A79	14.9 SF	B80	37.4	B99	11,887.2	C79	2003.2	C89	2003.2		
A80	14.9 SF	B81	37.4	B100	11,887.2	C80	2003.2	C90	2003.2		
A81	14.9 SF	B82	37.4	B101	11,887.2	C81	2003.2	C91	2003.2		
A82	14.9 SF	B83	37.4	B102	11,887.2	C82	2003.2	C92	2003.2		
A83	14.9 SF	B84	37.4	B103	11,887.2	C83	2003.2	C93	2003.2		
A84	14.9 SF	B85	37.4	B104	11,887.2	C84	2003.2	C94	2003.2		
A85	14.9 SF	B86	37.4	B105	11,887.2	C85	2003.2	C95	2003.2		
A86	14.9 SF	B87	37.4	B106	11,887.2	C86	2003.2	C96	2003.2		
A87	14.9 SF	B88	37.4	B107	11,887.2	C87	2003.2	C97	2003.2		
A88	14.9 SF	B89	37.4	B108	11,887.2	C88	2003.2	C98	2003.2		
A89	14.9 SF	B90	37.4	B109	11,887.2	C89	2003.2	C99	2003.2		
A90	14.9 SF	B91	37.4	B110	11,887.2	C90	2003.2	C100	2003.2		
A91	14.9 SF	B92	37.4	B111	11,887.2	C91	2003.2	C101	2003.2		
A92	14.9 SF	B93	37.4	B112	11,887.2	C92	2003.2	C102	2003.2		
A93	14.9 SF	B94	37.4	B113	11,887.2	C93	2003.2	C103	2003.2		
A94	14.9 SF	B95	37.4	B114	11,887.2	C94	2003.2	C104	2003.2		
A95	14.9 SF	B96	37.4	B115	11,887.2	C95	2003.2	C105	2003.2		
A96	14.9 SF	B97	37.4	B116	11,887.2	C96	2003.2	C106	2003.2		
A97	14.9 SF	B98	37.4	B117	11,887.2	C97	2003.2	C107	2003.2		
A98	14.9 SF	B99	37.4	B118	11,887.2	C98	2003.2	C108	2003.2		
A99	14.9 SF	B100	37.4	B119	11,887.2	C99	2003.2	C109	2003.2		
A100	14.9 SF	B101	37.4	B120	11,887.2	C100	2003.2	C110	2003.2		
A101	14.9 SF	B102	37.4	B121	11,887.2	C101	2003.2	C111	2003.2		
A102	14.9 SF	B103	37.4	B122	11,887.2	C102	2003.2	C112	2003.2		
A103	14.9 SF	B104	37.4	B123	11,887.2	C103	2003.2	C113	2003.2		
A104	14.9 SF	B105	37.4	B124	11,887.2	C104	2003.2	C114	2003.2		
A105	14.9 SF	B106	37.4	B125	11,887.2	C105	2003.2	C115	2003.2		
A106	14.9 SF	B107	37.4	B126	11,887.2	C106	2003.2	C116	2003.2		
A107	14.9 SF	B108	37.4	B127	11,887.2	C107	2003.2	C117	2003.2		
A108	14.9 SF	B109	37.4	B128	11,887.2	C108	2003.2	C118	2003.2		
A109	14.9 SF	B110	37.4	B129	11,887.2	C109	2003.2	C119	2003.2		
A110	14.9 SF	B111	37.4	B130	11,887.2	C110	2003.2	C120	2003.2		
A111	14.9 SF	B112	37.4	B131	11,887.2	C111	2003.2	C121	2003.2		
A112	14.9 SF	B113	37.4	B132	11,887.2	C112	2003.2	C122	2003.2		
A113	14.9 SF	B114	37.4	B133	11,887.2	C113	2003.2	C123	2003.2		
A114	14.9 SF	B115	37.4	B134	11,887.2	C114	2003.2	C124	2003.2		
A115	14.9 SF	B116	37.4	B135	11,887.2	C115	2003.2	C125	2003.2		
A116	14.9 SF	B117	37.4	B136	11,887.2	C116	2003.2	C126	2003.2		
A117	14.9 SF	B118	37.4	B137	11,887.2	C117	2003.2	C127	2003.2		
A118	14.9 SF	B119	37.4	B138	11,887.2	C118	2003.2	C128	2003.2		
A119	14.9 SF	B120	37.4	B139	11,887.2	C119	2003.2	C129	2003.2		
A120	14.9 SF	B121	37.4	B140	11,887.2	C120	2003.2	C130	2003.2		
A121	14.9 SF	B122	37.4	B141	1						

AP3.1
BLDG B - SQUARE FOOTAGE CALCULATION PLANS
FOR BLDG B - SQUARE FOOTAGE CALCULATION PLANS
FILE PATH: AutoCAD\Drawings\Bldg B - Square Footage Calculation Plans\Bldg B - Square Footage Calculation Plans.dwg
CHECKED BY: [Redacted]
DRAWN BY: [Redacted]
PLOT STAMP: 8/13/2025 4:40:25 PM

SQUARE FOOTAGE CALCULATIONS

BLDG A - FIRST FLOOR	
A1	613
A2	807.4
A3	79.3
A4	107.6
A5	1339.25
A6	8792.4
A12	159.8
A13	143.8
TOTAL	11,143.5

EXCLUDED FROM FAR	
A1 (PATIO)	165.5
TOTAL	11,143.5

BLDG A - SECOND FLOOR	
A7	322
A8	827.4
A9	136.4
TOTAL	11,143.5

EXCLUDED FROM FAR	
A7 (PATIO)	165.5
TOTAL	11,143.5

BLDG A GROSS AREA (A1+A2+A3+A4+A5+A6+A7+A8+A9+A12+A13)	
	16,296.9 SF

BLDG B - BASEMENT	
B1	1254.6
B2	4891.1
TOTAL	6145.7

EXCLUDED FROM FAR	
B1 (PATIO)	350.1
TOTAL	6145.7

BLDG B - FIRST FLOOR	
B3	420.5
B4	2879.3
B5	652.4
B6	379.4
B7	37.4
B8	81.2
B9	54
B10	383.4
B11	1204.4
B12	1892.5
B13	2779.9
B14	273.4
B15	67.9
B16	217.4
B17	167
B18	360
B19	363.8
TOTAL	15,179.5

EXCLUDED FROM FAR	
B1 (PATIO)	350.1
TOTAL	15,179.5

BLDG B GROSS AREA (B1+B2+B3+B4+B5+B6+B7+B8+B9+B10+B11+B12+B13+B14+B15+B16+B17+B18+B19)	
	16,296.9 SF

BLDG C - SECOND FLOOR	
C1	660.7
C2	2003.3
TOTAL	2664.0

EXCLUDED FROM FAR	
C1 (PATIO)	350.1
TOTAL	2664.0

BLDG C - FIRST FLOOR	
C3	350.3
C4	350.3
C5	350.3
C6	350.3
C7	350.3
C8	350.3
C9	350.3
C10	350.3
C11	350.3
C12	350.3
C13	350.3
C14	350.3
C15	350.3
C16	350.3
C17	350.3
C18	350.3
C19	350.3
C20	350.3
C21	350.3
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C90	350.3
C91	350.3
C92	350.3
C93	350.3
C94	350.3
C95	350.3
C96	350.3
C97	350.3
C98	350.3
C99	350.3
C100	350.3

EXCLUDED FROM FAR	
C1 (PATIO)	350.1
TOTAL	2664.0

BLDG C GROSS AREA (C1+C2+C3+C4+C5+C6+C7+C8+C9+C10+C11+C12+C13+C14+C15+C16+C17+C18+C19+C20+C21+C22+C23+C24+C25+C26+C27+C28+C29+C30+C31+C32+C33+C34+C35+C36+C37+C38+C39+C40+C41+C42+C43+C44+C45+C46+C47+C48+C49+C50+C51+C52+C53+C54+C55+C56+C57+C58+C59+C60+C61+C62+C63+C64+C65+C66+C67+C68+C69+C70+C71+C72+C73+C74+C75+C76+C77+C78+C79+C80+C81+C82+C83+C84+C85+C86+C87+C88+C89+C90+C91+C92+C93+C94+C95+C96+C97+C98+C99+C100)	
	14,793.3 SF

BLDG D - SECOND FLOOR	
D1	660.7
D2	2003.3
TOTAL	2664.0

EXCLUDED FROM FAR	
D1 (PATIO)	350.1
TOTAL	2664.0

BLDG D - FIRST FLOOR	
D3	350.3
D4	350.3
D5	350.3
D6	350.3
D7	350.3
D8	350.3
D9	350.3
D10	350.3
D11	350.3
D12	350.3
D13	350.3
D14	350.3
D15	350.3
D16	350.3
D17	350.3
D18	350.3
D19	350.3
D20	350.3
D21	350.3
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D23	350.3
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D32	350.3
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D34	350.3
D35	350.3
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D37	350.3
D38	350.3
D39	350.3
D40	350.3
D41	350.3
D42	350.3
D43	350.3
D44	350.3
D45	350.3
D46	350.3
D47	350.3
D48	350.3
D49	350.3
D50	350.3
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D66	350.3
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D69	350.3
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D71	350.3
D72	350.3
D73	350.3
D74	350.3
D75	350.3
D76	350.3
D77	350.3
D78	350.3
D79	350.3
D80	350.3
D81	350.3
D82	350.3
D83	350.3
D84	350.3
D85	350.3
D86	350.3
D87	350.3
D88	350.3
D89	350.3
D90	350.3
D91	350.3
D92	350.3
D93	350.3
D94	350.3
D95	350.3
D96	350.3
D97	350.3
D98	350.3
D99	350.3
D100	350.3

EXCLUDED FROM FAR	
D1 (PATIO)	350.1
TOTAL	2664.0

BLDG D GROSS AREA (D1+D2+D3+D4+D5+D6+D7+D8+D9+D10+D11+D12+D13+D14+D15+D16+D17+D18+D19+D20+D21+D22+D23+D24+D25+D26+D27+D28+D29+D30+D31+D32+D33+D34+D35+D36+D37+D38+D39+D40+D41+D42+D43+D44+D45+D46+D47+D48+D49+D50+D51+D52+D53+D54+D55+D56+D57+D58+D59+D60+D61+D62+D63+D64+D65+D66+D67+D68+D69+D70+D71+D72+D73+D74+D75+D76+D77+D78+D79+D80+D81+D82+D83+D84+D85+D86+D87+D88+D89+D90+D91+D92+D93+D94+D95+D96+D97+D98+D99+D100)	
	14,793.3 SF

BLDG E - SECOND FLOOR	
E1	660.7
E2	2003.3
TOTAL	2664.0

EXCLUDED FROM FAR	
E1 (PATIO)	350.1
TOTAL	2664.0

BLDG E - FIRST FLOOR	
E3	350.3
E4	350.3
E5	350.3
E6	350.3
E7	350.3
E8	350.3
E9	350.3
E10	350.3
E11	350.3
E12	350.3
E13	350.3
E14	350.3
E15	350.3
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E88	350.3
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E92	350.3
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E99	350.3
E100	350.3

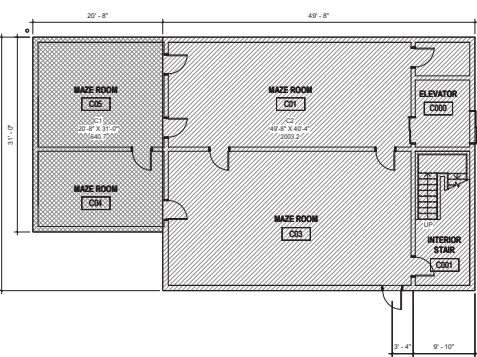
EXCLUDED FROM FAR	
E1 (PATIO)	350.1
TOTAL	2664.0

BLDG E GROSS AREA (E1+E2+E3+E4+E5+E6+E7+E8+E9+E10+E11+E12+E13+E14+E15+E16+E17+E18+E19+E20+E21+E22+E23+E24+E25+E26+E27+E28+E29+E30+E31+E32+E33+E34+E35+E36+E37+E38+E39+E40+E41+E42+E43+E44+E45+E46+E47+E48+E49+E50+E51+E52+E53+E54+E55+E56+E57+E58+E59+E60+E61+E62+E63+E64+E65+E66+E67+E68+E69+E70+E71+E72+E73+E74+E75+E76+E77+E78+E79+E80+E81+E82+E83+E84+E85+E86+E87+E88+E89+E90+E91+E92+E93+E94+E95+E96+E97+E98+E99+E100)	
	14,793.3 SF

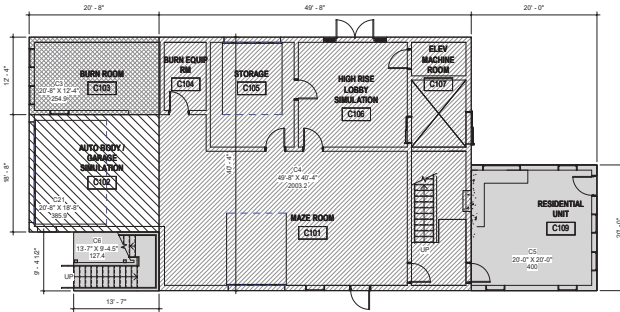
BLDG F - SECOND FLOOR	
F1	660.7
F2	2003.3
TOTAL	2664.0

EXCLUDED FROM FAR	
F1 (PATIO)	350.1
TOTAL	2664.0

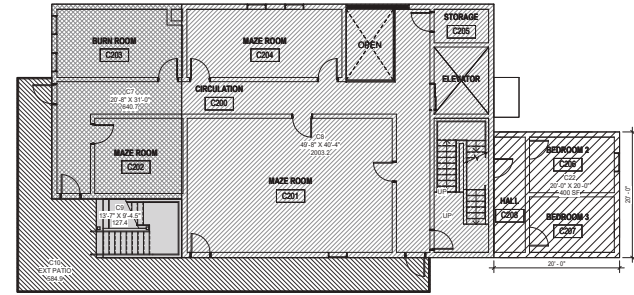
BLDG F - FIRST FLOOR	
F3	350.3
F4	350.3
F5	350.3
F6	350.3
F7	350.3
F8	350.3
F9	350.3
F10	350.3
F11	350.3
F12	350.3
F13	350.3
F14	350.3
F15	350.3
F16	350.3
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F82	350.3



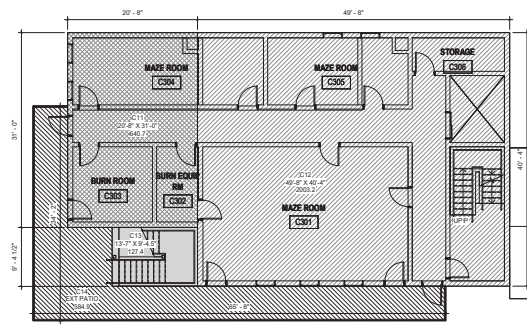
CALC PLAN - BUILDING C BASEMENT
1/8" = 1'-0" ①



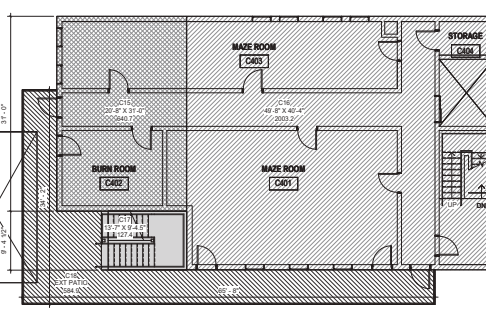
CALC PLAN - BUILDING C FIRST FLOOR PLAN
1/8" = 1'-0" ②



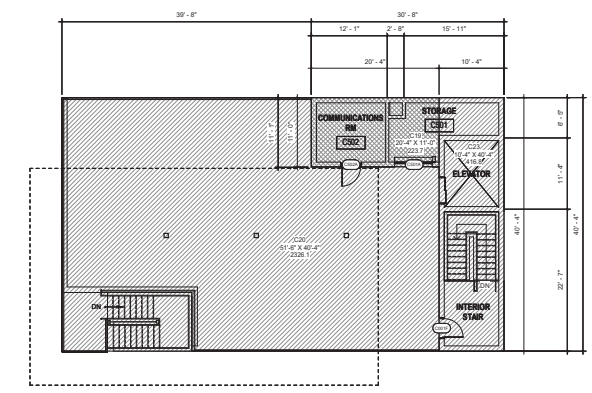
CALC PLAN - BUILDING C SECOND FLOOR PLAN
1/8" = 1'-0" ③



CALC PLAN - BUILDING C THIRD FLOOR PLAN
1/8" = 1'-0" ④



CALC PLAN - BUILDING C FORTH FLOOR PLAN
1/8" = 1'-0" ⑤



CALC PLAN - BUILDING C FIFTH FLOOR PLAN
1/8" = 1'-0" ⑥

SQUARE FOOTAGE CALCULATIONS

BUILD A - FIRST FLOOR

A1	813
A2	3074
A3	793
A4	1078
A5	1300.55
A6	5702.4
A12	1004.1
A13	143.8
TOTAL	11,143.1

EXCLUDED FROM FAR:
A13 (FIRE RISER) = 31.3

BUILD A - SECOND FLOOR

A7	823
A8	822
A9	2370.4
A10	1482.7
TOTAL	5,102.1

EXCLUDED FROM FAR:
A11 (PARTO) = 16.5

BUILD A BUILDING COVERAGE (A1-A10+A12+A13)
= 11,174.8

BUILD B - BASEMENT

B1	1254.6
B2	4891.1
B3	390.4
BASEMENT TOTAL	6,776.1

BUILD B - FIRST FLOOR

B4	420.5
B5	2079.3
B6	612.4
B7	151
B8	37.4
B9	61.2
B10	54
B11	1204.4
B12	383.4
B13	1895.5
B14	2759.9
B15	47.9
B16	273.4
B17	107
B18	3107.9
B19	346
B20	303.0

EXCLUDED FROM FAR:
B20 (PARTO) = 303.1

BUILD B BUILDING COVERAGE (B1-B20)
= 15,175.9 SF

BUILD C - SECOND FLOOR

C1	843.7
C2	2003.2
C3	365.9
TOTAL	3,171.4

EXCLUDED FROM FAR:
C4 (EXT STAIR) = 127.4

BUILD C - FIRST FLOOR

C5	204.9
C6	2003.2
C7	400
C8	365.9
TOTAL	3,171.4

EXCLUDED FROM FAR:
C9 (EXT STAIR) = 127.4

BUILD C BUILDING COVERAGE (C1-C9)
= 15,175.9 SF

BUILD D - THIRD FLOOR

D1	843.7
D2	2003.2
D3	365.9
TOTAL	3,171.4

EXCLUDED FROM FAR:
D4 (EXT STAIR) = 127.4

BUILD D - FOURTH FLOOR

D5	843.7
D6	2003.2
D7	365.9
TOTAL	3,171.4

EXCLUDED FROM FAR:
D8 (EXT STAIR) = 127.4

BUILD D BUILDING COVERAGE (D1-D8)
= 15,175.9 SF

BUILD E - FIFTH FLOOR

E1	843.7
E2	2003.2
E3	365.9
TOTAL	3,171.4

EXCLUDED FROM FAR:
E4 (EXT STAIR) = 127.4

BUILD E BUILDING COVERAGE (E1-E4)
= 15,175.9 SF

TOTAL BUILDING COVERAGE
= 11,174.8 + 15,175.9 + 3,171.4 + 3,171.4 + 3,171.4
= 35,800.5

TOTAL GROSS AREA
= 16,206.6 + 33,206.3 + 14,707.5
= 64,119.4

FAR
= 16,119.4 SF / 85,205 SF
= 75.2%

ARCHITECT PRK, Inc.
SAN LUIS OBISPO
1327 Adobe St., Suite 110
San Luis Obispo, CA 93401
805-325-3017
805-325-3018 F

CLIENT LOGO

KEY PLAN

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 4/24/25 PROJECT NUMBER: 230532

DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

BLDG C - SQUARE FOOTAGE CALCULATION PLANS

FIREFIGHTER MEDALLION, 9" X 9" HIGH ALUMINUM
LETTERS:
COLOR: TO MATCH IMAGE
AREA: 44 SF
PERCENTAGE OF SIGN THAT USES BRIGHT COLOR: 80%
NOTE: MEDALLION TO BE AN ALUMINUM SIGN
ILLUMINATED WITH WHITE LED BACK-LIGHTING. SIGN TO
HAVE WHITE HALO LIGHT AROUND THE PERIMETER OF
THE SIGN.
LENGTH OF PARCEL LINE AT MIDDLEFIELD ROAD: 195'-0"



FIREFIGHTER'S MEDALLION AT MIDDLEFIELD RD



22" HIGH ALUMINUM LETTERS
FONT: ARIAL
COLOR: WHITE
AREA: 22 SF
PERCENTAGE OF SIGN THAT USES BRIGHT COLOR: >25%
NOTE: ALUMINUM SIGN ILLUMINATED WITH WHITE LED
BACK-LIGHTING. SIGN TO HAVE WHITE HALO LIGHT
AROUND THE PERIMETER OF THE SIGN.
LENGTH OF PARCEL LINE AT MIDDLEFIELD ROAD: 195'-0"

FIRE STATION SIGN AT MIDDLEFIELD RD



6" HIGH ALUMINUM LETTERS
FONT: ARIAL
COLOR: WHITE
AREA: 10 SF
PERCENTAGE OF SIGN THAT USES BRIGHT COLOR: LESS
THAN 25%
LENGTH OF PARCEL LINE AT SANTA MONICA AVE: 462.85'

BUILDING B SIGN AT SANTA MONICA AVE



11" HIGH ALUMINUM LETTERS
FONT: CENTURY GOTHIC
COLOR: BLACK
AREA: 4.5 SF
PERCENTAGE OF SIGN THAT USES
BRIGHT COLOR: LESS THAN 25%
LOT FRONTAGE: NOT ALONG STREET

BUILDING B - EXTERIOR ELEVATION EAST SIGN



12" HIGH ALUMINUM LETTERS
FONT: ARIAL
COLOR: WHITE
AREA: 8 SF
PERCENTAGE OF SIGN THAT USES BRIGHT COLOR: >25%
NOTE: ALUMINUM SIGN ILLUMINATED WITH WHITE LED
BACK-LIGHTING. SIGN TO HAVE WHITE HALO LIGHT
AROUND THE PERIMETER OF THE SIGN.
LENGTH OF PARCEL LINE AT MIDDLEFIELD ROAD: 195'-0"

ADDRESS NUMBER AT SANTA MONICA AVE

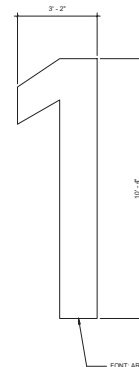


12" HIGH ALUMINUM LETTERS
FONT: ARIAL
COLOR: WHITE
AREA: 8 SF
PERCENTAGE OF SIGN THAT USES BRIGHT COLOR: >25%
NOTE: ALUMINUM SIGN ILLUMINATED WITH WHITE LED
BACK-LIGHTING. SIGN TO HAVE WHITE HALO LIGHT
AROUND THE PERIMETER OF THE SIGN.
LENGTH OF PARCEL LINE AT MIDDLEFIELD ROAD: 195'-0"

ADDRESS NUMBER AT MIDDLEFIELD RD

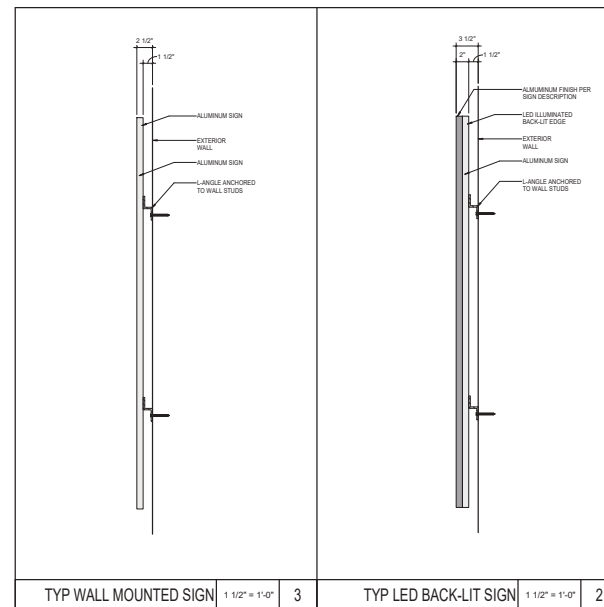
SIGN AREA SUMMARY

FIREFIGHTER'S MEDALLION AT MIDDLEFIELD AVE	44 SF
FIRE STATION SIGN AT MIDDLEFIELD AVE	22 SF
LED FIRE STATION SIGN AT MIDDLEFIELD AVE	18 SF
BUILDING B SIGNAGE AT SANTA MONICA	10 SF
BUILDING B EXTERIOR ELEVATION EAST	4.5 SF
ADDRESS NUMBER AT SANTA MONICA	8 SF
ADDRESS NUMBER AT MIDDLEFIELD	16 SF
TOTAL	120 SF



FONT: ARIAL
COLOR: BRONZE TRIM
AREA: 18 SF
PERCENTAGE OF SIGN THAT USES BRIGHT COLOR: >25%
NOTE: ALUMINUM SIGN ILLUMINATED WITH WHITE LED
BACK-LIGHTING. SIGN TO HAVE WHITE HALO LIGHT
AROUND THE PERIMETER OF THE SIGN
LENGTH OF PARCEL LINE AT MIDDLEFIELD ROAD: 195'-0"

LED FIRE STATION SIGN AT MIDDLEFIELD RD



ARCHITECT: SAN LUIS GROUP
1327 Arthur St. Suite 110
San Luis Obispo, CA 93401
805-325-3078 F
805-325-3078 F

CLIENT: LOCO

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MIDDLEFIELD ROAD
MENLO PARK, CA 94025

KEY PLAN

DISCIPLINE

PROJECT: MENLO PARK FIRE PROTECTION DISTRICT
DATE: 4/24/25
PROJECT NUMBER: 230332

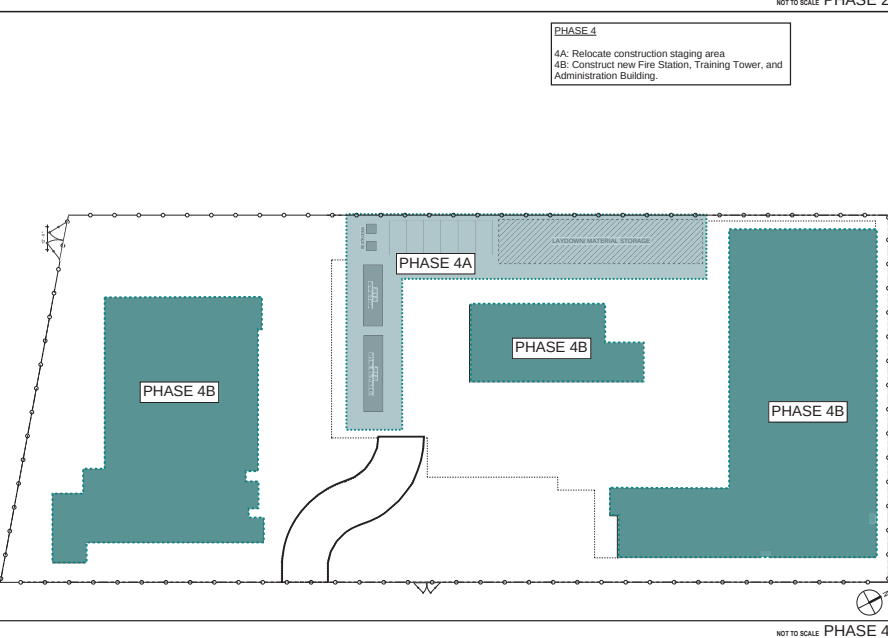
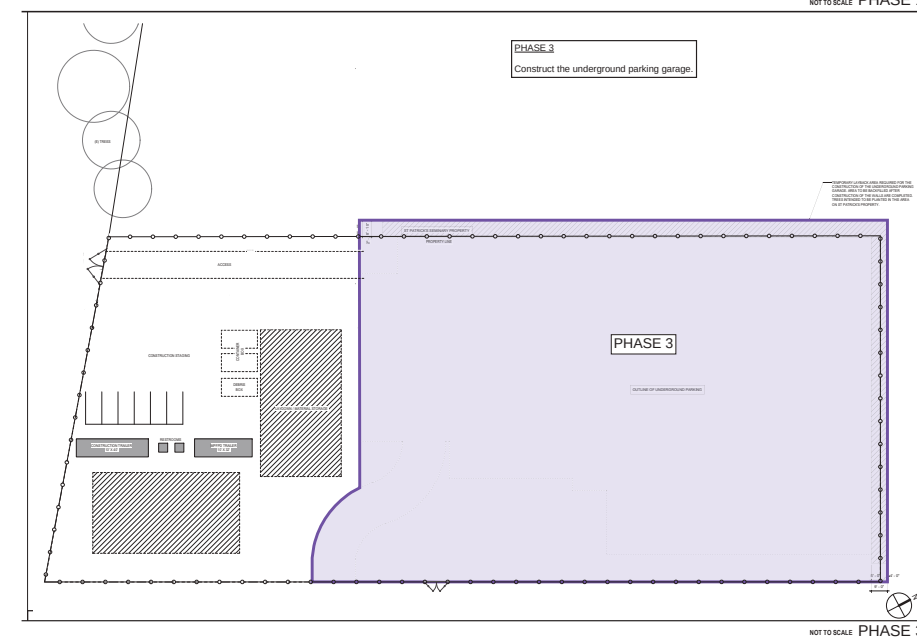
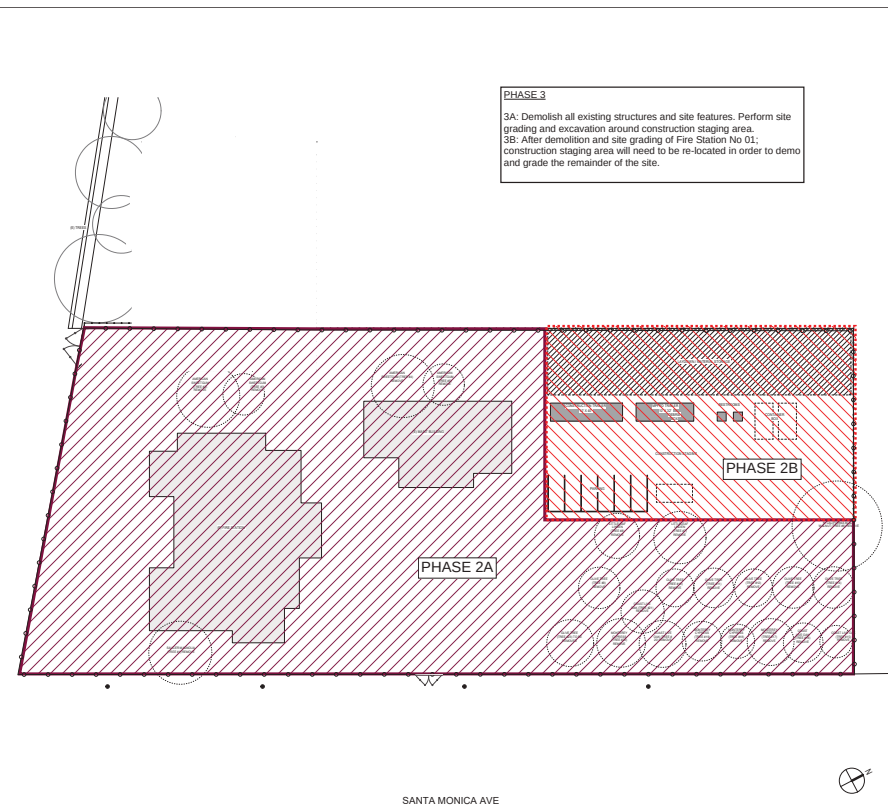
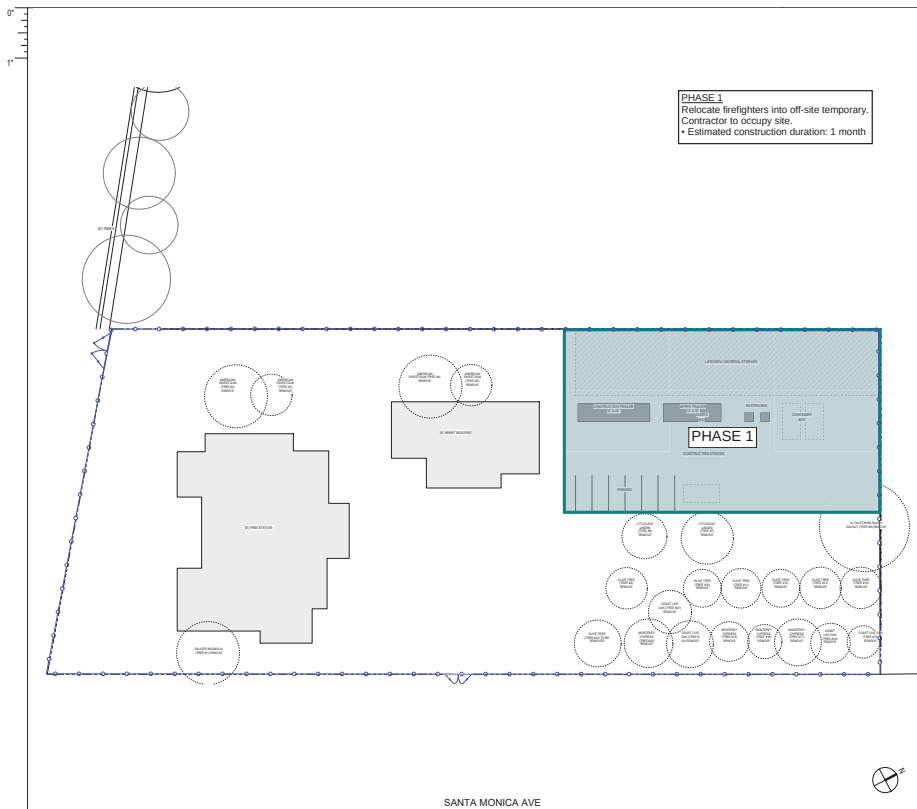
DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

BUILDING SIGNAGE

AP5.0



PRK
ARCHITECT
SAN LUIS OBISPO
1327 Adobe St, Suite 110
San Luis Obispo, CA 93401
805-339-3018 F
805-339-3018 P

CLIENT LOGO
MENLO PARK FIRE PROTECTION DISTRICT
300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

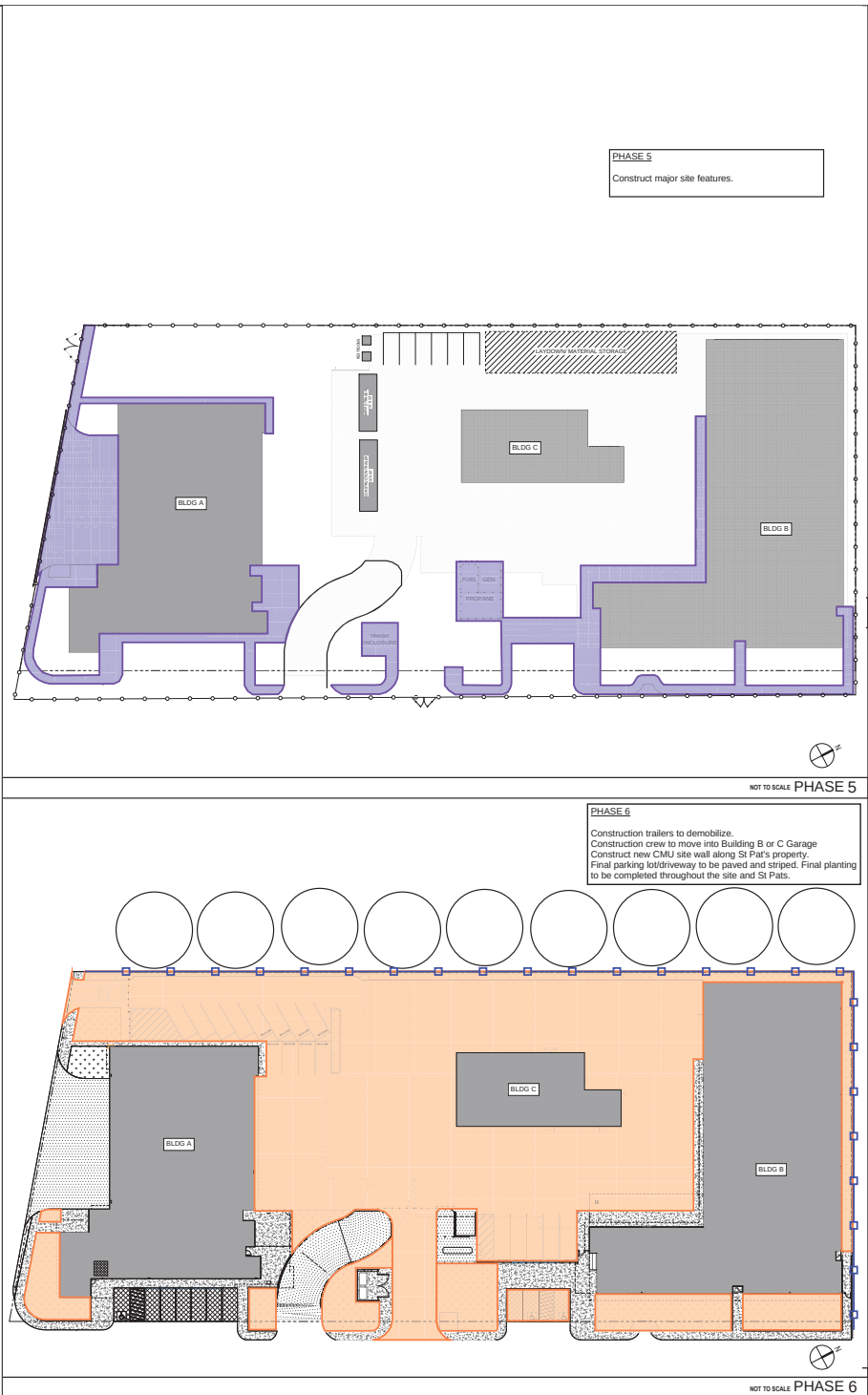
KEY PLAN
A B
SOUTH PLAN TRUE

DISCIPLINE

CLIENT
MENLO PARK FIRE PROTECTION DISTRICT
DATE: 4/24/25 PROJECT NUMBER: 230502
DRAWING HISTORY
No. Description Date
PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

TEMP FACILITY PHASE 1-4

AP6.1



PRK

ARCHITECT
SAN LUIS OBISPO
1327 Adobe St. Suite 110
San Luis Obispo, CA 93401
805-339-3878 F
805-339-3878 F

CLIENT LOGO
Menlo Park Fire Protection District
Menlo Park Fire Station No. 01 & Training Tower
Menlo Park Fire Protection District
300 Mendocino Road
Menlo Park, CA 94025

KEY PLAN
Menlo Park Fire Protection District
Menlo Park Fire Station No. 01 & Training Tower
Menlo Park Fire Protection District
300 Mendocino Road
Menlo Park, CA 94025

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

TEMP FACILITY PHASE 5 & 6

AP6.2



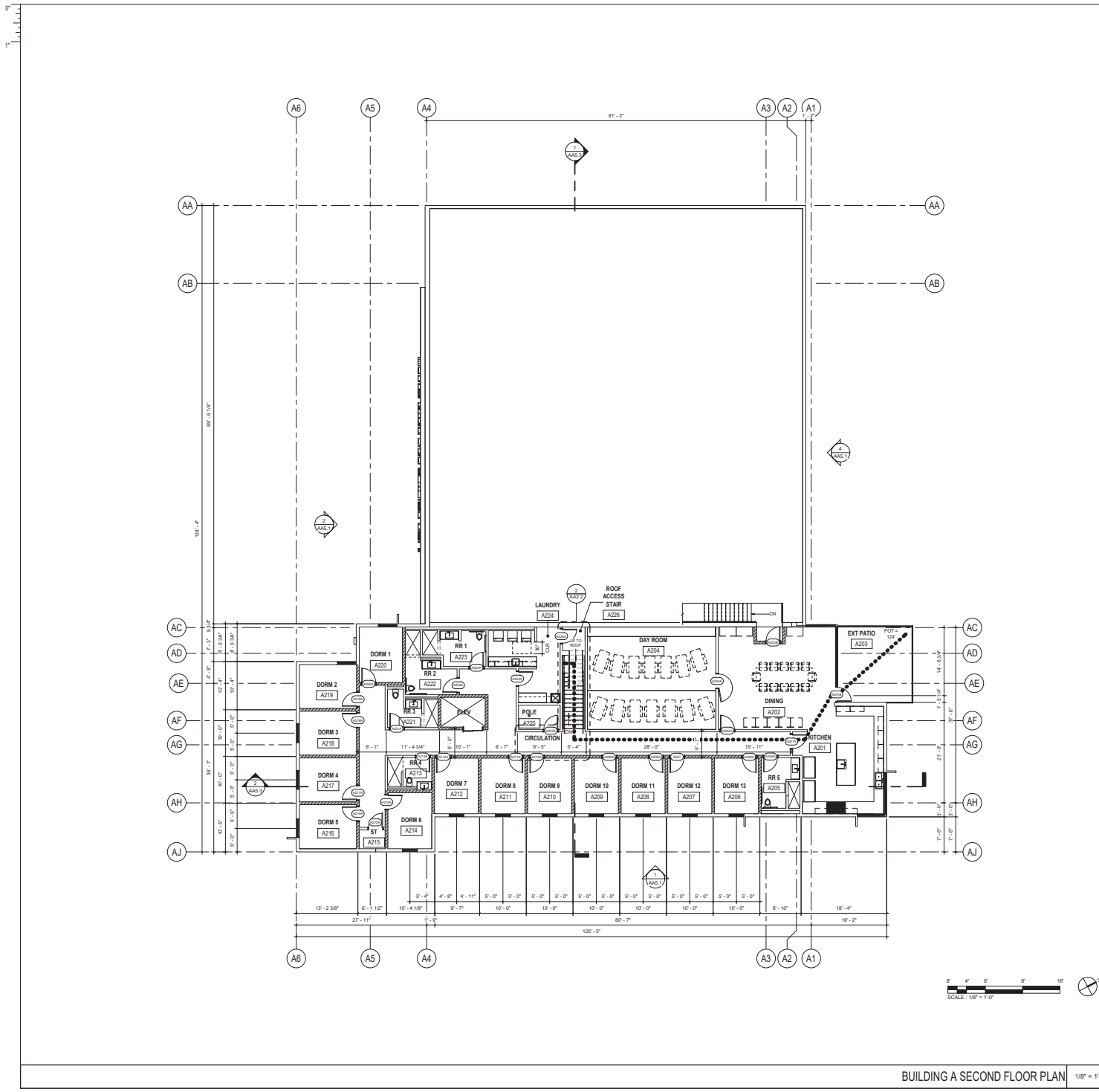
OCCUPANCY LOAD	
STORAGE	300 S.F. / OCCUPANT
ASSEMBLY/LOBBY	15 S.F. / OCCUPANT
BUSINESS AREA/OFFICE	150 S.F. / OCCUPANT
DORMITORY	1 OCCUPANT/BED
EXERCISE ROOM	50 S.F. / OCCUPANT
APP BAY/PARKING	200 S.F. / OCCUPANT
WORKSHOP	50 S.F. / OCCUPANT
CONCENTRATED BUSINESS	50 S.F./OCCUPANT

 1-HR FIRE RATED WALL

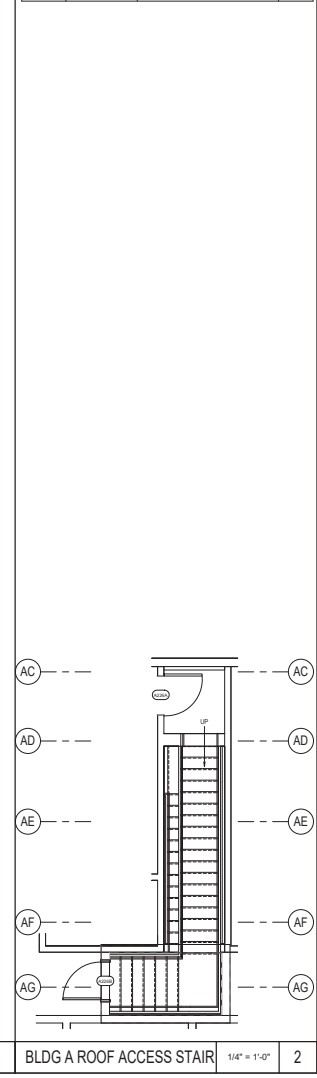


ROOM SCHEDULE			
NUMBER	TITLE	DESCRIPTION	Area
A101	ELEV	ELEVATOR SHAFT	60 SF
A101	LOBBY		60 SF
A102	R	RESTROOM	60 SF
A103	CAPT OFF	CAPTAIN'S OFFICE	136 SF
A104	CAPT OFF	CAPTAIN'S OFFICE	136 SF
A105	ELEV MACH	ELEVATOR MACHINE/EQUIPMENT ROOM	33 SF
A106	APP BAY	FIRE APPERATUS BAY	5638 SF
A107	SHOP	WORKSHOP	143 SF
A108	EMS STOR	EMS GEAR STORAGE ROOM	107 SF
A109	TURNS	TURNOUT GEAR STORAGE ROOM	163 SF
A110	SERV	ELECTRIC, SERVER ROOM	138 SF
A111	DECON	DECONTAMINATION ROOM	82 SF
A112	WH	WATER HEATER	28 SF
A113	STORAGE		41 SF
A114	JAN	JANITOR CLOSET	61 SF
A115	GYM	GYMNASIUM/WORKOUT ROOM	834 SF
A116	WAGON	WAGON STORAGE	23 SF
A117	R	RESTROOM	79 SF
A118	CREW	CREW WORK ROOM	191 SF
A119	BC OFFICE	BATTALION CHIEF'S OFFICE	104 SF
A120	BC DORM	BATTALION CHIEF'S DORM	86 SF
A121	BC RR	BATTALION CHIEF'S RESTROOM	79 SF
A122	CADET	CADET WORK ROOM	124 SF
A123	COMP		27 SF
A124	YD ST		36 SF
A125	ELEC	ELECTRICAL ROOM	63 SF
A126	R	FIRE RISER ROOM	50 SF
A127	STOR	STORAGE ROOM	139 SF
A128	GEAR WASH	ROOM	68 SF





ROOM SCHEDULE			
NUMBER	TITLE	DESCRIPTION	Area
A201	CIRCULATION		607 SF
A202	KITCHEN		374 SF
A203	EXT PATIO		527 SF
A204	DAY ROOM		159 SF
A205	RR 5	RESTROOM #5 (ACCESSIBLE)	88 SF
A206	DORM 13	DORMITORY	112 SF
A207	DORM 12	DORMITORY	112 SF
A208	DORM 11	DORMITORY	112 SF
A209	DORM 10	DORMITORY	112 SF
A210	DORM 9	DORMITORY	112 SF
A211	DORM 8	DORMITORY	112 SF
A212	DORM 7	DORMITORY	111 SF
A213	RR 4	RESTROOM #4	60 SF
A214	DORM 6	DORMITORY	113 SF
A215	ST	STORAGE	23 SF
A216	DORM 5	DORMITORY	116 SF
A217	DORM 4	DORMITORY	116 SF
A218	DORM 3	DORMITORY	115 SF
A219	DORM 2	DORMITORY	115 SF
A220	DORM 1	DORMITORY	110 SF
A221	RR 3	RESTROOM #3	51 SF
A222	RR 2	RESTROOM #2 (ACCESSIBLE)	55 SF
A223	RR 1	RESTROOM #1 (ACCESSIBLE)	73 SF
A224	LAUNDRY	RESTROOM #1 (ACCESSIBLE)	188 SF
A225	POLE	FIREMAN'S POLE	47 SF
A226	ROOF ACCESS STAIR		24 SF





ARCHITECT
SAN LUIS OBISPO
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MENLO PARK FIRE PROTECTION DISTRICT

CLIENT LOGO


KEY PLAN
NORTH
PLAN
TRUE

DISCIPLINE

MENLO PARK FIRE PROTECTION DISTRICT
DATE: 4/24/25
PROJECT NUMBER: 230502
DRAWING HISTORY
No. Description Date
PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER
BLDG A - SECOND FLOOR PLAN

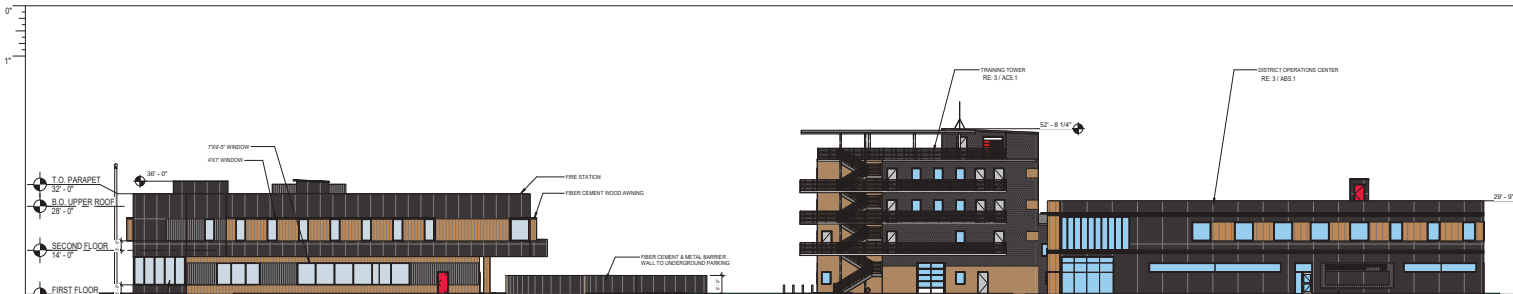
AA2.2



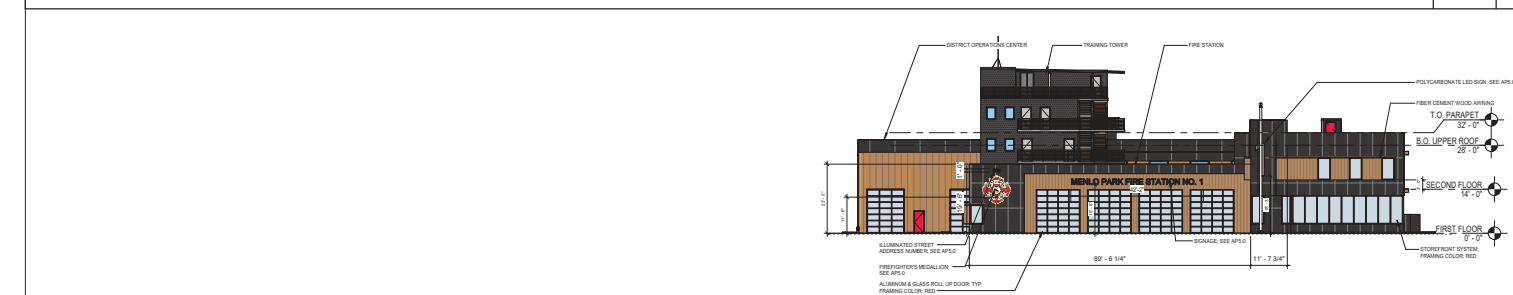
BUILDING A ROOF PLAN	$1/8" = 1'-0"$	1
----------------------	----------------	---

ROOF LEGEND	
	SINGLE PLY ROOFING W/ FELTBACK COLOR: WHITE
	FIBER CEMENT COLOR: WOOD TONE
REFERENCE NOTES	
KEYNOTE	DESCRIPTION

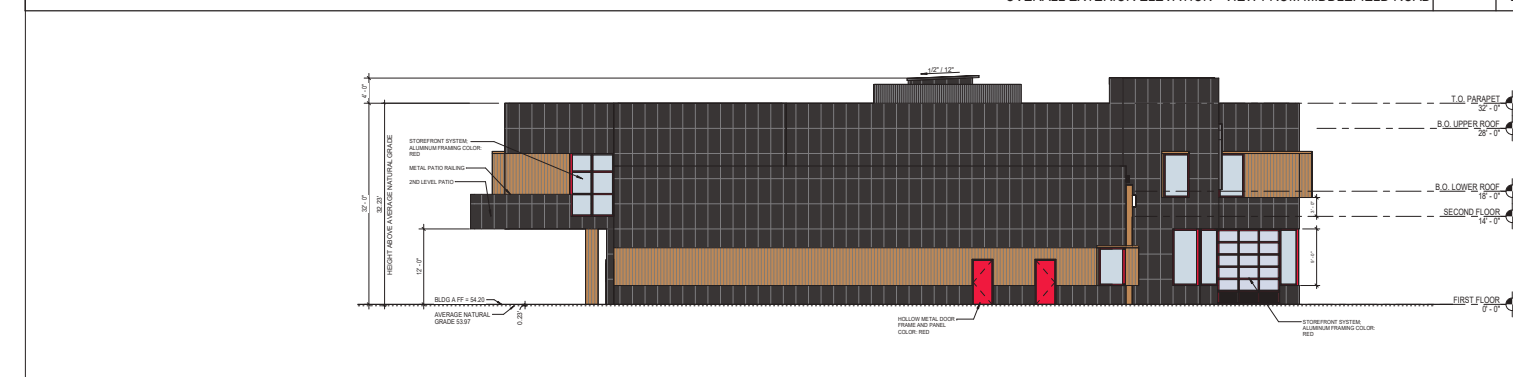




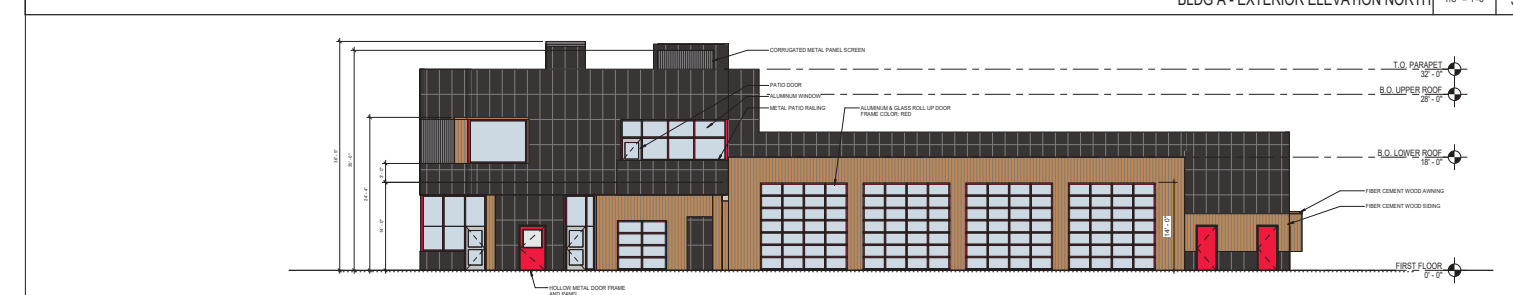
OVERALL EXTERIOR ELEVATION - VIEW FROM SANTA MONICA AVE 1/16" = 1'-0" 1



OVERALL EXTERIOR ELEVATION - VIEW FROM MIDDLEFIELD ROAD 1/16" = 1'-0" 2



BLDG A - EXTERIOR ELEVATION NORTH 1/8" = 1'-0" 3

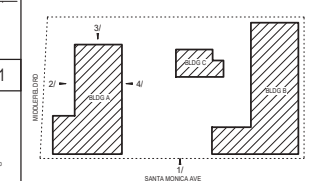


BLDG A - EXTERIOR ELEVATION WEST 1/8" = 1'-0" 4

ELEVATION LEGEND

- BLACK METAL PANEL
MANUFACTURER: NODHRA
SERIES: TUFFBLOCK MODERN SERIES
COLOR: STEEL
- WOOD TONE FIBER CEMENT PLANK
MANUFACTURER: NODHRA FIBER CEMENT
SERIES: VINTAGEWOOD WOOD SERIES
COLOR: POPULAR
- EXTERIOR GLAZING
GREY TINTED, 1/4" THICK INSULATED GLAZING CONSISTING OF:
OUTER PANE - 1/4" THICK TEMPERED SOLARSHAN 275
1/2" AIR GAP
INNER PANE - 1/4" THICK CLEAR TEMPERED WITH LOW-E COATING
- BLACK CORRUGATED METAL
MANUFACTURER: ASP SPAN
SERIES: 50-ALIVE CORRUGATED METAL SIDING
COLOR: MIDNIGHT BRONZE
- BLACK CMU
- TANKING

SITE KEY



PRK

ARCHITECT: SAN LUIS GROUP
1327 Arthur St. Suite 110
San Luis Obispo, CA 93401
805-325-3078
805-325-3079 F

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

MENLO PARK FIRE PROTECTION DISTRICT

300 MIDDLEFIELD ROAD
MENLO PARK, CA 94025

CLIENT LOGO:

KEY PLAN

NORTH PLAN TRUE

DRAWING HISTORY

No.	Description	Date
1	4/24/25	2/20/25
2		
3		
4		
5		
6		
7		
8		
9		
10		

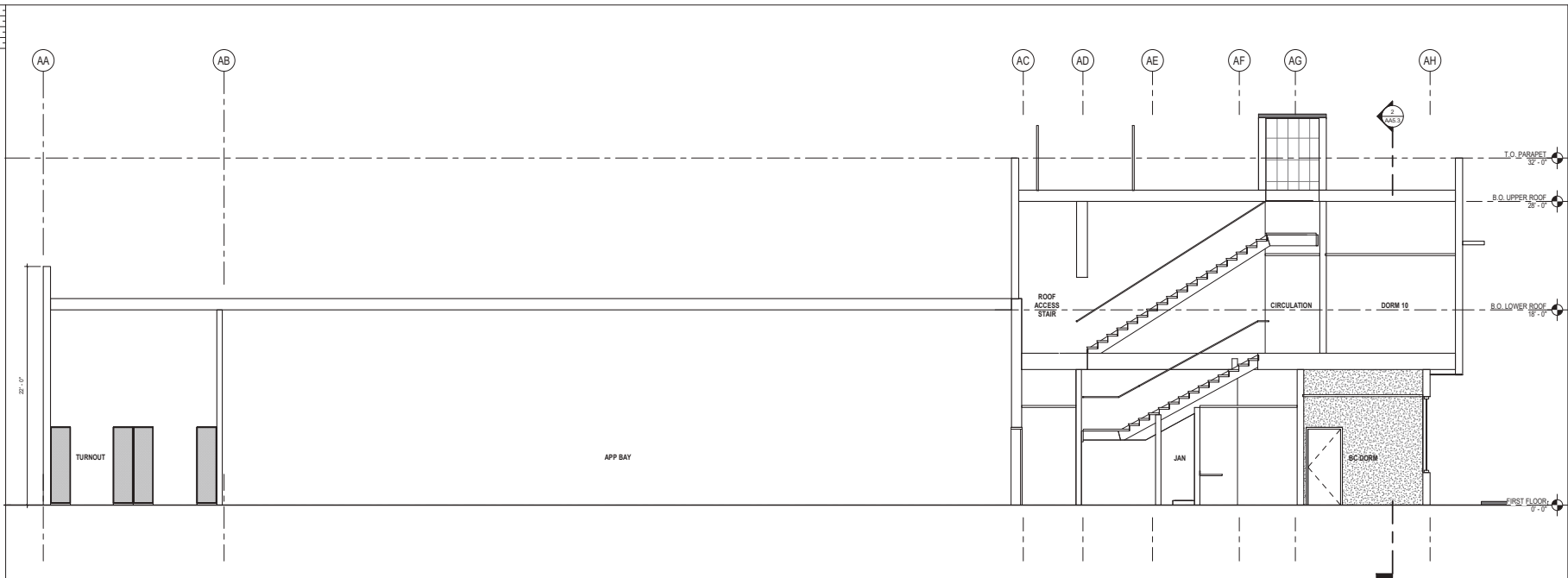
PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER

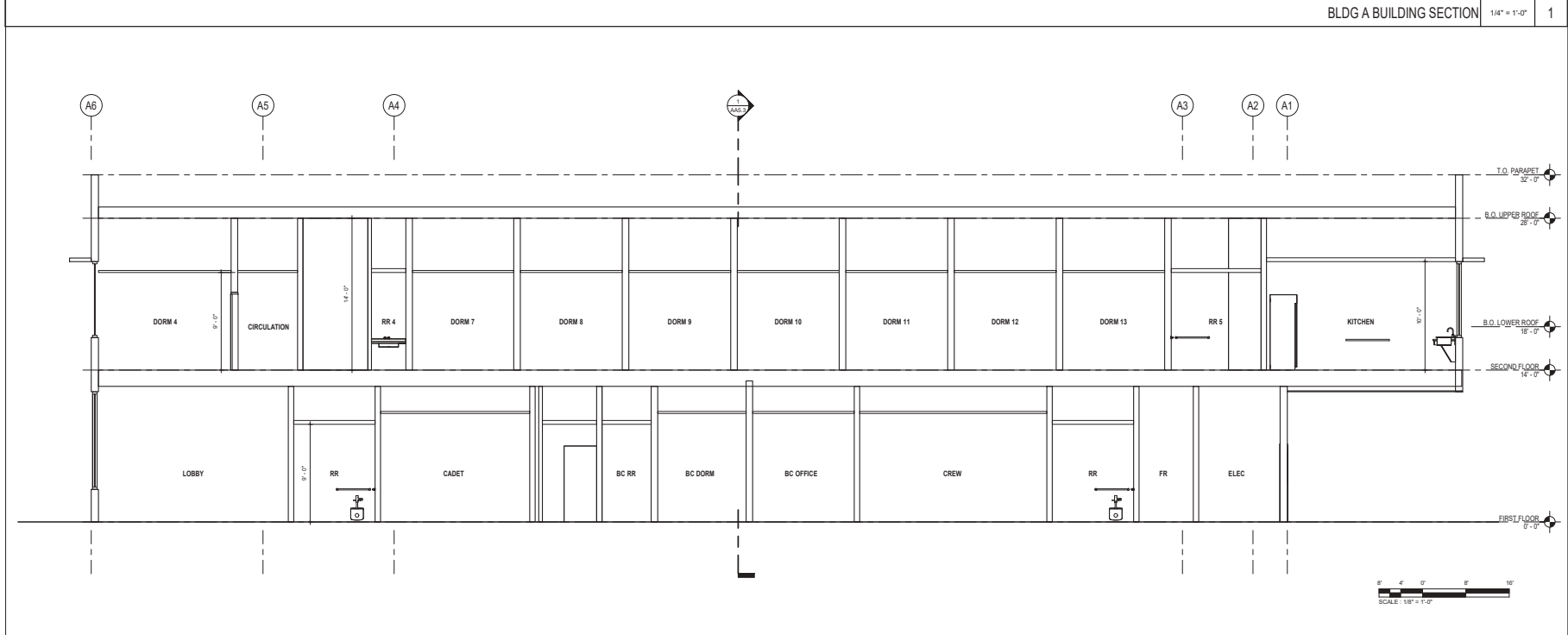
BLDG A - EXTERIOR ELEVATIONS

AA5.1

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BLDG A BUILDING SECTION 1/4" = 1'-0" 1



BLDG A BUILDING SECTION 1/4" = 1'-0" 2

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805-339-3019 F

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCIPLINE

ARCHITECT

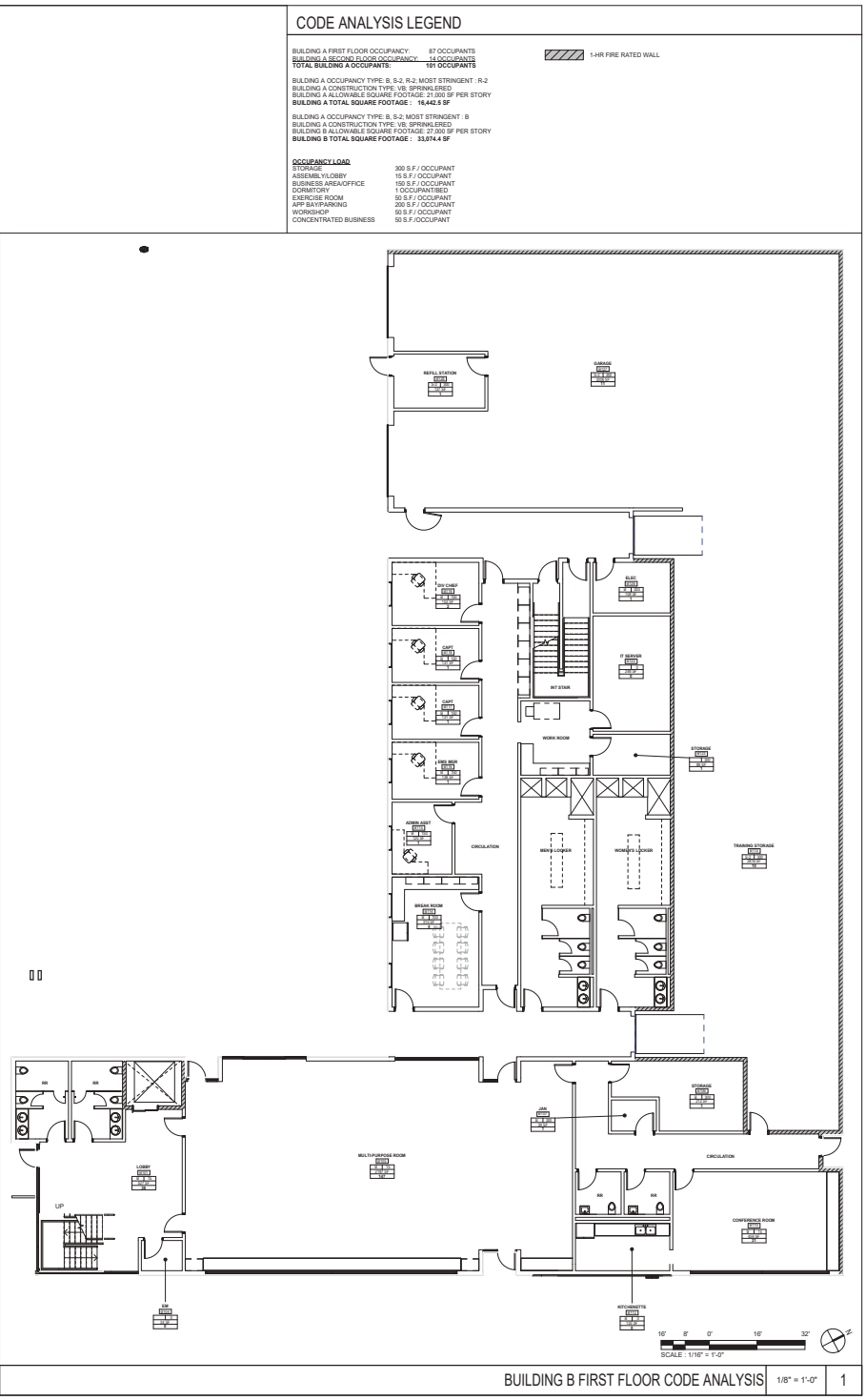
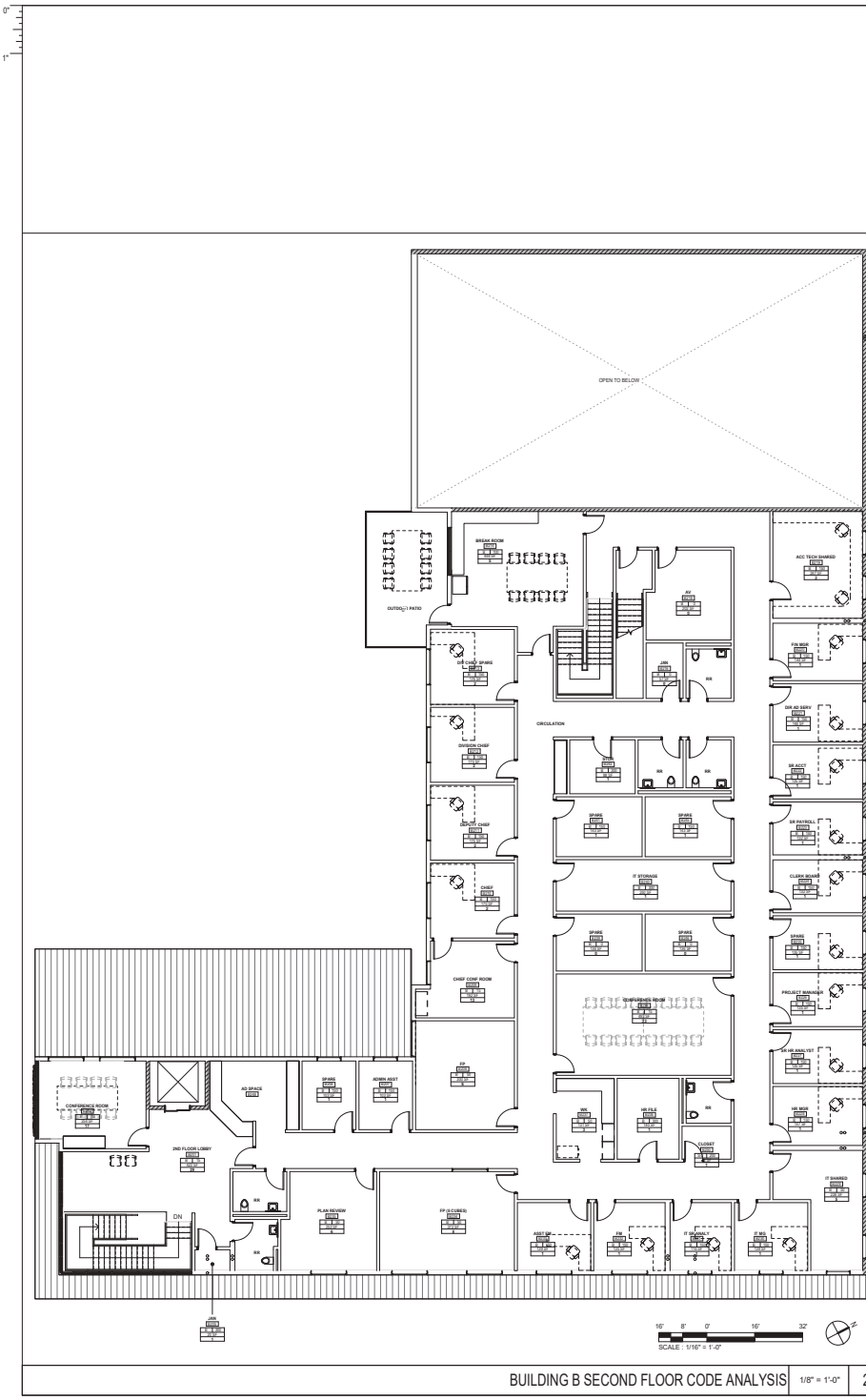
CLIENT
MENLO PARK FIRE PROTECTION DISTRICT
DATE: 4/24/25
PROJECT NUMBER: 230502

DRAWING HISTORY		
No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

BLDG A - BUILDING SECTIONS

AA5.3



CODE ANALYSIS LEGEND	
BUILDING A FIRST FLOOR OCCUPANCY:	87 OCCUPANTS
BUILDING A SECOND FLOOR OCCUPANCY:	14 OCCUPANTS
TOTAL BUILDING A OCCUPANTS:	101 OCCUPANTS
BUILDING A OCCUPANCY TYPE: B, S-2, R-2, MOST STRINGENT: R-2	
BUILDING A CONSTRUCTION TYPE: VS, SPRINKLERED	
BUILDING A ALLOWABLE SQUARE FOOTAGE: 21,000 SF PER STORY	
BUILDING A TOTAL SQUARE FOOTAGE: 16,442.5 SF	
BUILDING A OCCUPANCY TYPE: B, S-2, MOST STRINGENT: B	
BUILDING A CONSTRUCTION TYPE: VS, SPRINKLERED	
BUILDING A ALLOWABLE SQUARE FOOTAGE: 21,000 SF PER STORY	
BUILDING B TOTAL SQUARE FOOTAGE: 33,674.4 SF	
OCCUPANCY LOAD	
STORAGE	300 S.F. / OCCUPANT
ASSEMBLY LOBBY	15 S.F. / OCCUPANT
BUSINESS MEETING OFFICE	15 S.F. / OCCUPANT
DORMITORY	1 OCCUPANT / BED
EXERCISE ROOM	10 S.F. / OCCUPANT
APP BAY PARKING	200 S.F. / OCCUPANT
WORKSHOP	10 S.F. / OCCUPANT
CONCENTRATED BUSINESS	60 S.F. / OCCUPANT

ARCHITECT: SAN LUIS OBISPO
1207 Arthur St. Suite 110
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805-325-3078 F

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MIDCLOFF ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCUSSION

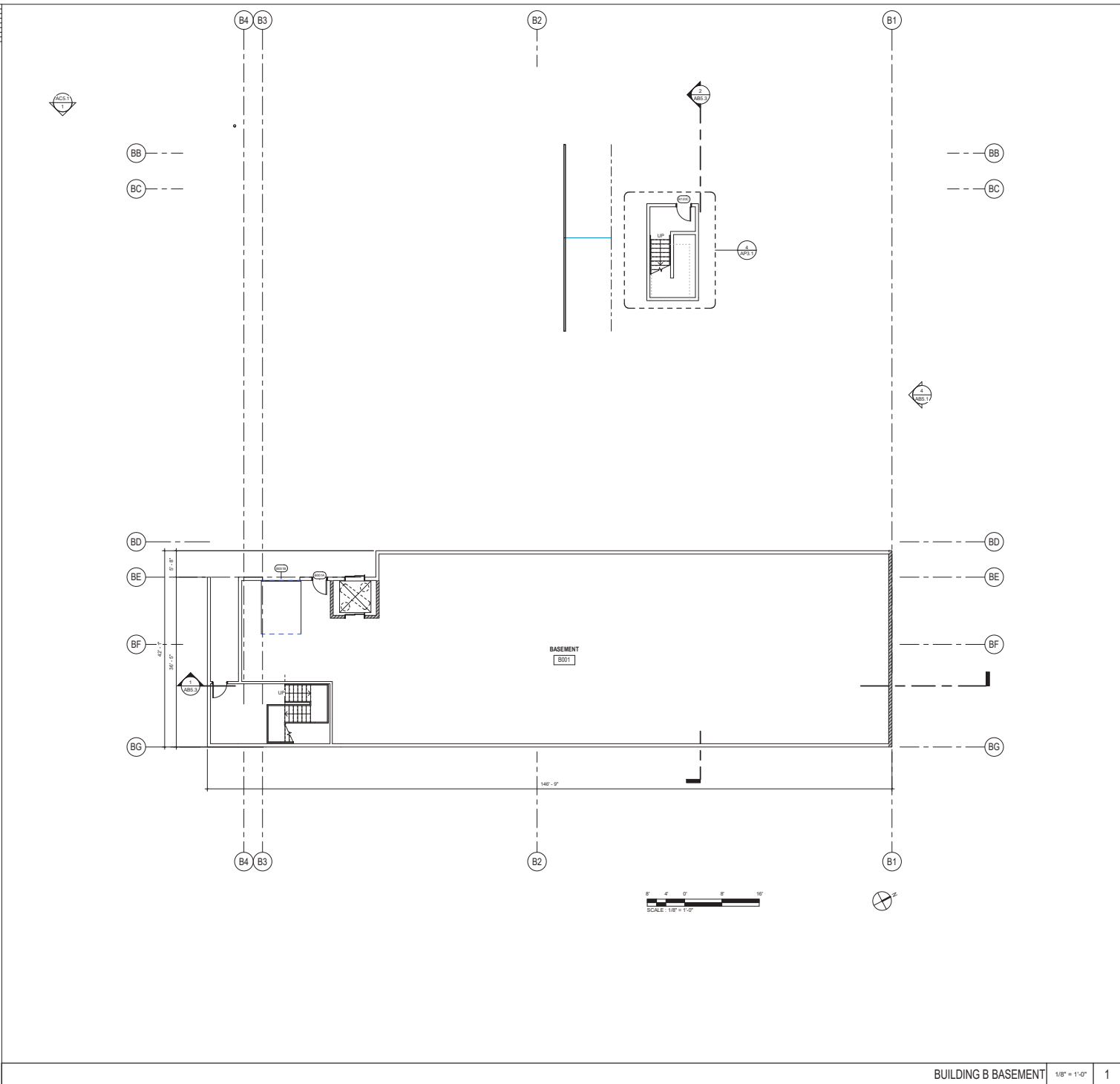
MENLO PARK FIRE PROTECTION DISTRICT
424/25
PROJECT NUMBER
230302

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

BLDG B - CODE ANALYSIS

AB2.0



ROOM SCHEDULE

NUMBER	TITLE	DESCRIPTION	Area
B001	BASEMENT		5129 SF

ARCHITECT

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PRK, Inc.

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MIDDLERFIELD ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCIPLINE

OWNER

MENLO PARK FIRE PROTECTION DISTRICT

DATE 4/24/25

PROJECT NUMBER 230332

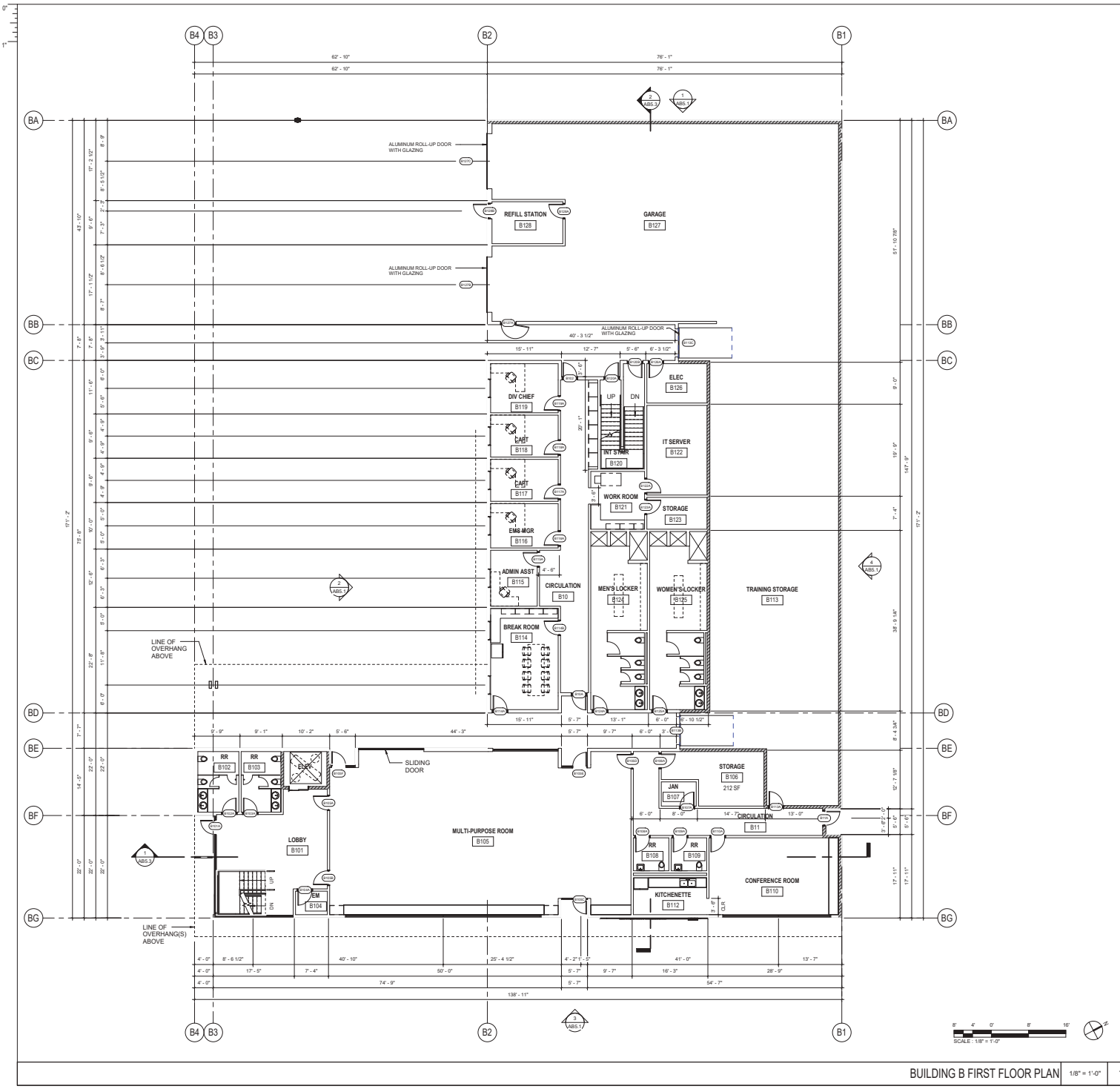
DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER

BLDG B - BASEMENT



ROOM SCHEDULE			
NUMBER	TITLE	DESCRIPTION	Area
B10	CIRCULATION		495 SF
B11	CIRCULATION		303 SF
B101	LOBBY		527 SF
B102	RR	RESTROOM	114 SF
B103	RR	RESTROOM	111 SF
B104	EM	ELEVATOR MACHINE ROOM	34 SF
B105	MULTI-PURPOSE ROOM		2197 SF
B106	STORAGE		212 SF
B107	JAN	JANITOR CLOSET	39 SF
B108	RR	RESTROOM	54 SF
B109	RR	RESTROOM	54 SF
B110	CONFERENCE ROOM		459 SF
B112	KITCHENETTE		125 SF
B113	TRAINING STORAGE		2816 SF
B114	BREAK ROOM		315 SF
B115	ADMIN ASST	ADMINISTRATIVE ASSISTANCE'S OFFICE	120 SF
B116	EMS MGR	EMERGENCY MEDICAL SERVICES MANAGER	138 SF
B117	CAPT	CAPTAIN'S OFFICE	131 SF
B118	CAPT	CAPTAIN'S OFFICE	131 SF
B119	DIV CHIEF	DIVISION CHIEF'S OFFICE	153 SF
B120	INT STAIR	INTERIOR STAIR	191 SF
B121	WORK ROOM		143 SF
B122	IT SERVER		248 SF
B123	STORAGE		88 SF
B124	MEN'S LOCKER	MEN'S LOCKER ROOM	442 SF
B125	WOMEN'S LOCKER		449 SF
B126	ELEC	ELECTRICAL ROOM	109 SF
B127	GARAGE		3006 SF
B128	REFILL STATION		137 SF

1/8" = 1'-0" 1

PRK

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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MIDDLERFIELD ROAD
MENLO PARK, CA 94025

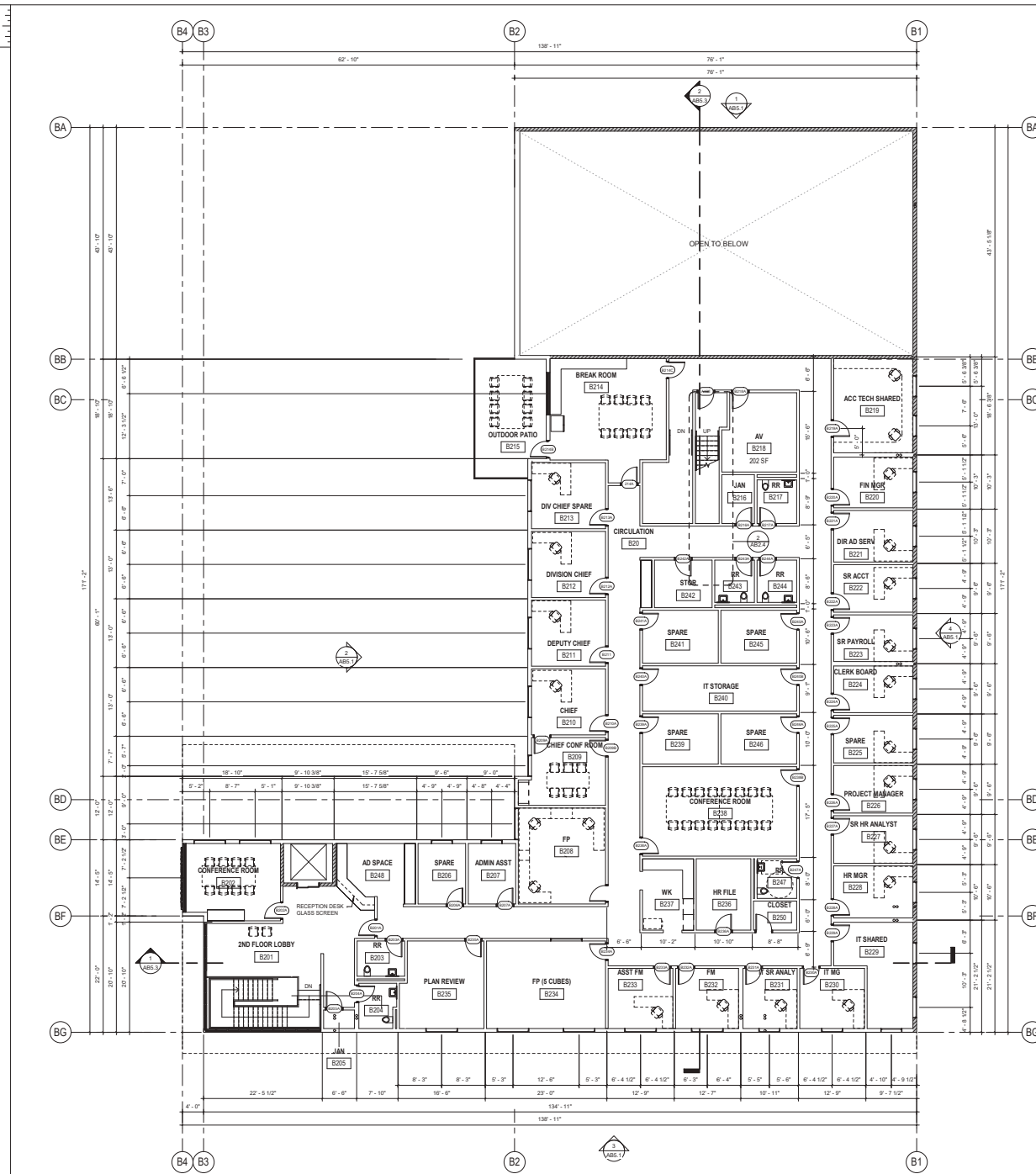
CLIENT LOGO

KEY PLAN
NORTH PLAN TRUE

DISCIPLINE

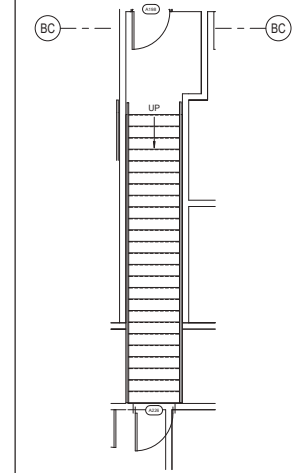
MENLO PARK FIRE PROTECTION DISTRICT
DATE 4/24/25 PROJECT NUMBER 230532
DRAWING HISTORY
No. Description Date
PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER
BUILD B - FIRST FLOOR PLAN

AB2.2



BUILDING B SECOND FLOOR PLAN 1/8" = 1'-0" 1

ROOM SCHEDULE			
NUMBER	TITLE	DESCRIPTION	Area
A103	CAPT OFF	CAPTAIN'S OFFICE	1155 SF
B20	CIRCULATION	2203 SF	
B201	2ND FLOOR LOBBY	362 SF	
B202	CONFERENCE ROOM	254 SF	
B203	RR	RESTROOM	60 SF
B204	RR	RESTROOM	58 SF
B205	JAN	JANITOR CLOSET	20 SF
B206	SPARE	SPARE OFFICE FOR FUTURE GROWTH	103 SF
B207	ADMIN ASST	ADMIN ASSISTANT OFFICE	103 SF
B208	FP	FIRE PREVENTION OPEN OFFICE	300 SF
B209	CHIEF CONF ROOM	CHIEF CONFERENCE ROOM	192 SF
B210	CHIEF	CHIEF OFFICE	175 SF
B211	DEPUTY CHIEF	DEPUTY CHIEF OFFICE	175 SF
B212	DIVISION CHIEF	DIVISION CHIEF OFFICE	175 SF
B213	DIV CHIEF SPARE	SPARE OFFICE FOR FUTURE GROWTH	176 SF
B214	BREAK ROOM		448 SF
B215	OUTDOOR PATIO		297 SF
B216	JAN	JANITOR CLOSET	57 SF
B217	RR	RESTROOM	62 SF
B218	AV	AV STORAGE ROOM	202 SF
B219	ACC TECH SHARED	IT SHARED SPACE	267 SF
B220	FIN MGR	FINANCE MANAGER OFFICE	144 SF
B221	DIR AD SERV	DIRECTOR OF ADMINISTRATIVE SERVICES OFFICE	146 SF
B222	SR ACCT	SENIOR ACCOUNTANT OFFICE	135 SF
B223	SR PAYROLL	SENIOR PAYROLL'S OFFICE	132 SF
B224	CLERK BOARD	CLERK OF THE BOARD OFFICE	132 SF
B225	SPARE	SPARE OFFICE FOR FUTURE GROWTH	135 SF
B226	PROJECT MANAGER	PROJECT MANAGER'S OFFICE	135 SF
B227	SR HR ANALYST	SENIOR HUMAN RESOURCES ANALYST OFFICE	135 SF
B228	HR MGR	HUMAN RESOURCES MANAGER OFFICE	147 SF
B229	IT SHARED	IT SHARED OFFICE	226 SF
B230	IT MGR	IT MANAGER OFFICE	139 SF
B231	IT SR ANALY	SR IT ANALYST OFFICE	116 SF
B232	FM	FIRE MARSHAL'S OFFICE	135 SF
B233	ASST FM	ASSISTANT FIRE MARSHAL'S OFFICE	139 SF
B234	FP (5 CUBES)	FIRE PREVENTION SHARED ROOM	372 SF
B235	PLAN REVIEW		253 SF
B236	HR FILE	HUMAN RESOURCES FILE ROOM	140 SF
B237	WK	WORK COPER ROOM	131 SF
B238	CONFERENCE ROOM		493 SF
B239	SPARE	SPARE OFFICE FOR FUTURE GROWTH	136 SF
B240	IT STORAGE		250 SF
B241	SPARE	SPARE OFFICE FOR FUTURE GROWTH	143 SF
B242	STOR	STORAGE ROOM	98 SF
B243	RR	RESTROOM	60 SF
B244	RR	RESTROOM	60 SF
B245	SPARE	SPARE OFFICE FOR FUTURE GROWTH	143 SF
B246	SPARE	SPARE OFFICE FOR FUTURE GROWTH	136 SF
B247	RR	RESTROOM	56 SF
B248	AD SPACE	ADMINISTRATION DESK	172 SF
B250	CLOSET		45 SF



ROOF ACCESS STAIR PLAN 1/4" = 1'-0" 2

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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN
A B
NORTH
PLAN
TITLE

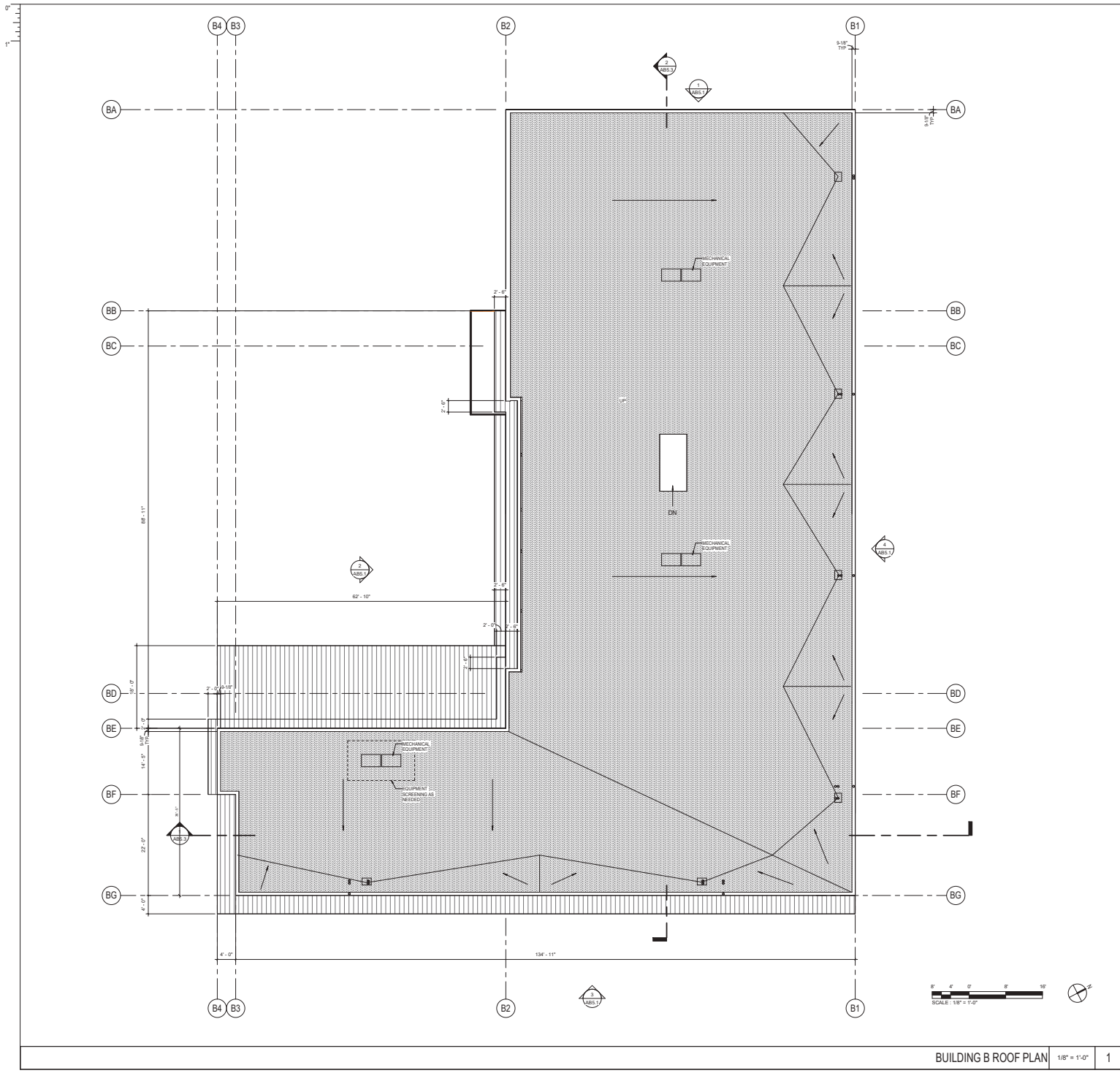
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No. Description Date
1 4/24/25 2/20/25

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

BLDG B - SECOND FLOOR PLAN

AB2.4

BLDG B - ROOF PLAN
AB4.1
FOR BUREAU LABEL IN DOOR
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ROOF LEGEND

- SINGLE-PLY ROOFING W/ FELTBACK
COLOR: WHITE
- FIBER CEMENT
COLOR: WOOD TONE

BUILDING B ROOF PLAN 1/8" = 1'-0" 1

PRK

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805-325-3878 F

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCIPLINE

MENLO PARK FIRE PROTECTION DISTRICT
DATE: 4/24/25 PROJECT NUMBER: 230532
DRAWING HISTORY
No. Description Date
PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER
BLDG B - ROOF PLAN

AB4.1



PRK

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1327 Arthur St. Suite 110
San Luis Obispo, CA 93401
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805-325-3079 F

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MIDDELFIELD ROAD
MENLO PARK, CA 94025

KEY PLAN

DRAWING HISTORY

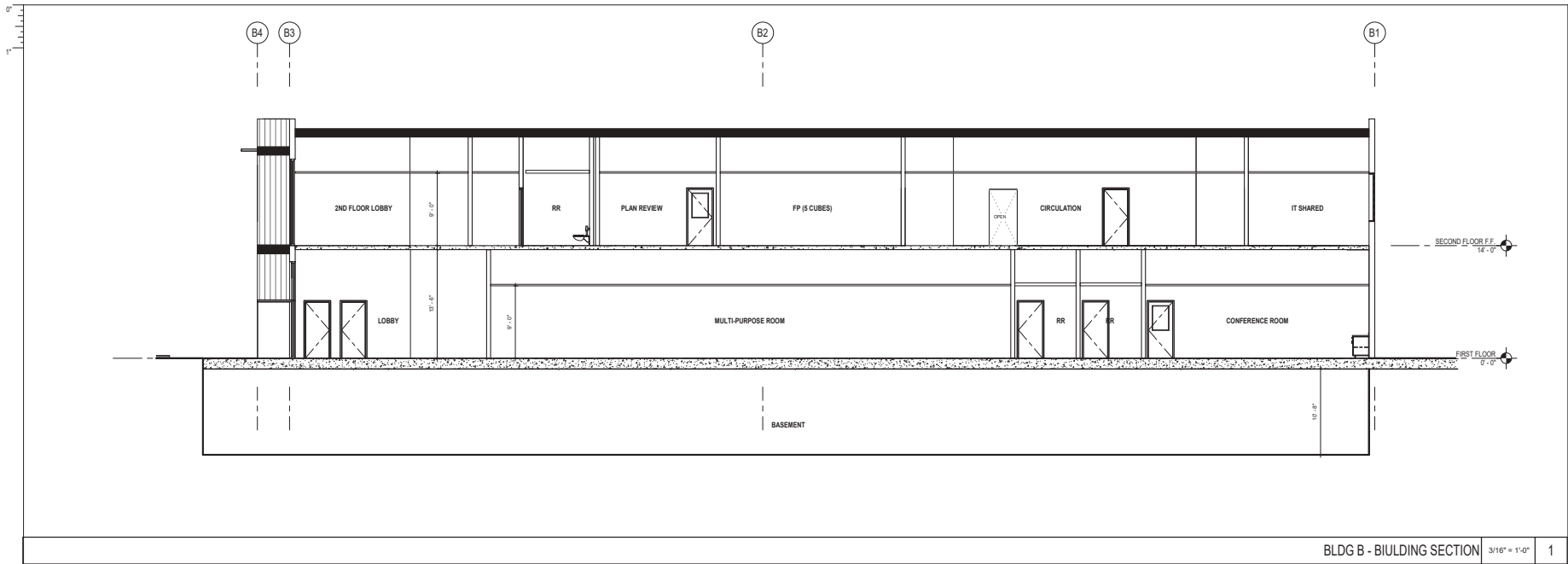
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PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

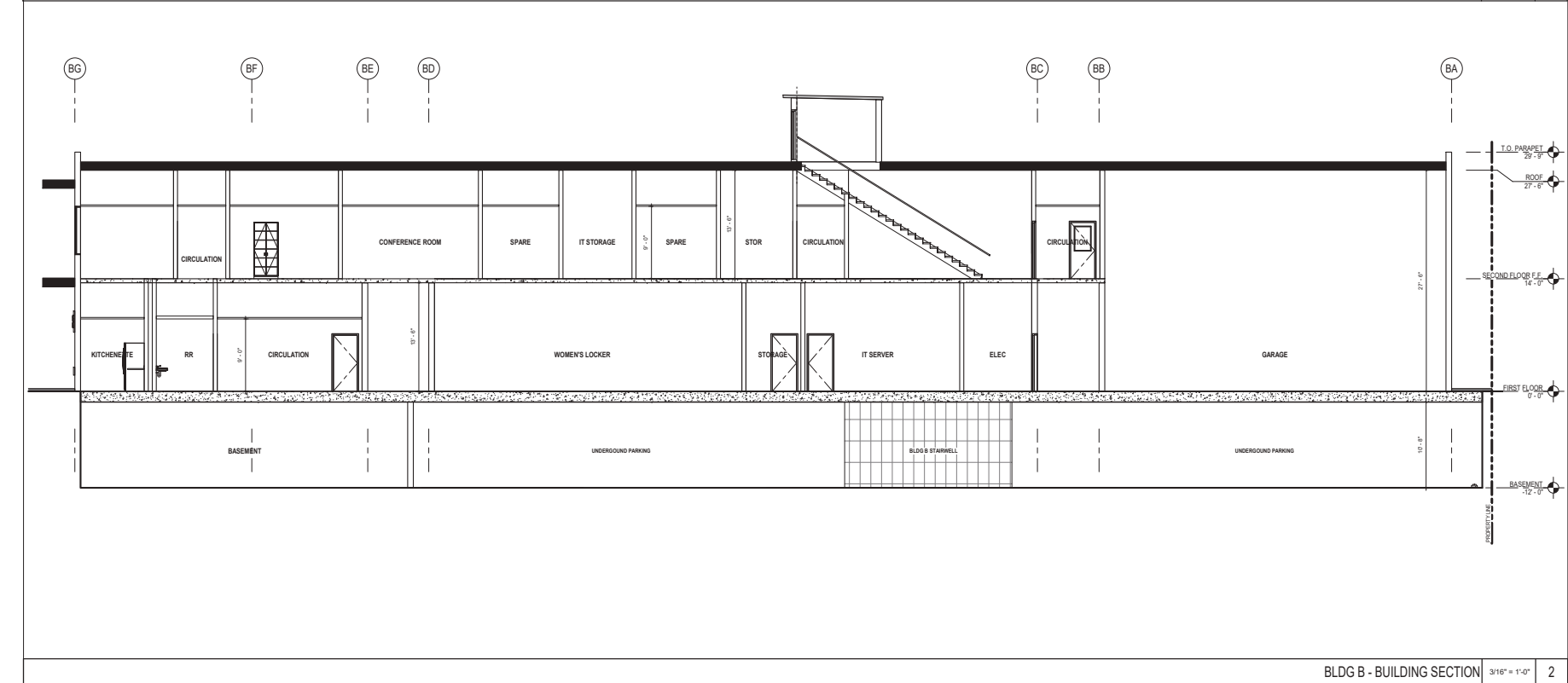
BLDG B - EXTERIOR ELEVATIONS

AB5.1

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BLDG B - BUILDING SECTION 3/16" = 1'-0" 1



BLDG B - BUILDING SECTION 3/16" = 1'-0" 2

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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

MENLO PARK FIRE PROTECTION DISTRICT

300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 4/24/25 PROJECT NUMBER: 230502

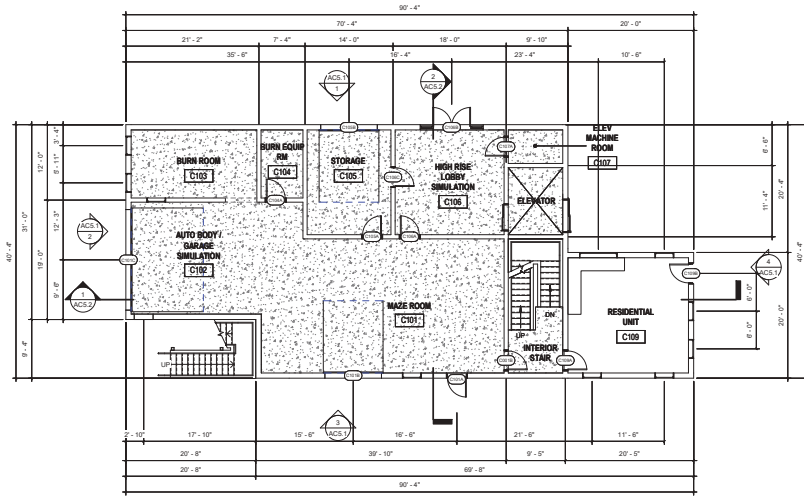
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No.	Description	Date

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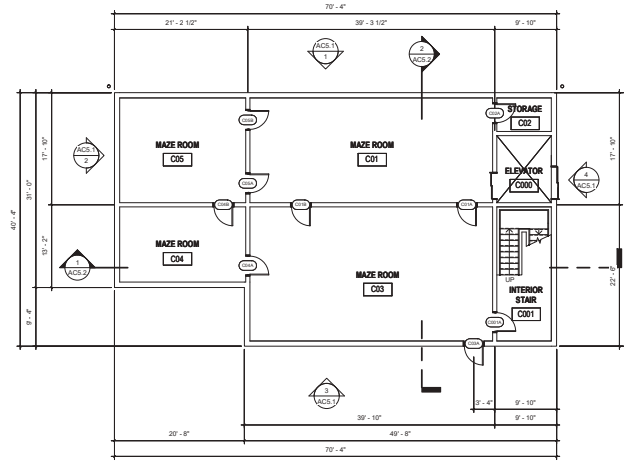
BUILDING NUMBER

BLDG B - BUILDING SECTIONS

AB5.3

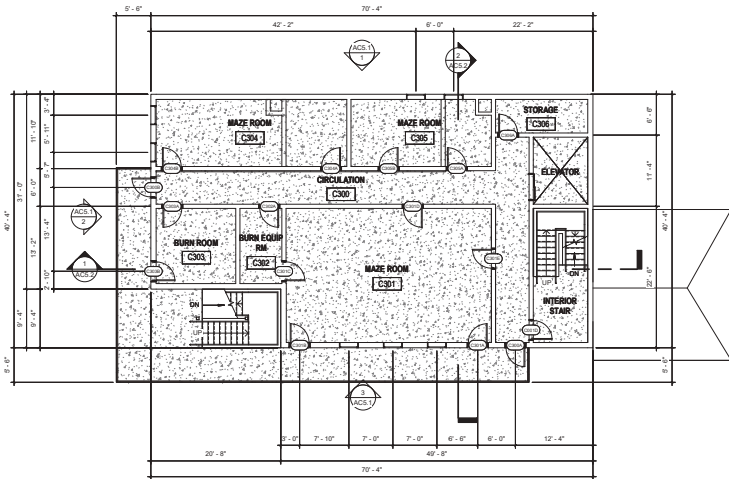


BUILDING C FIRST FLOOR PLAN 1/8" = 1'-0" 2

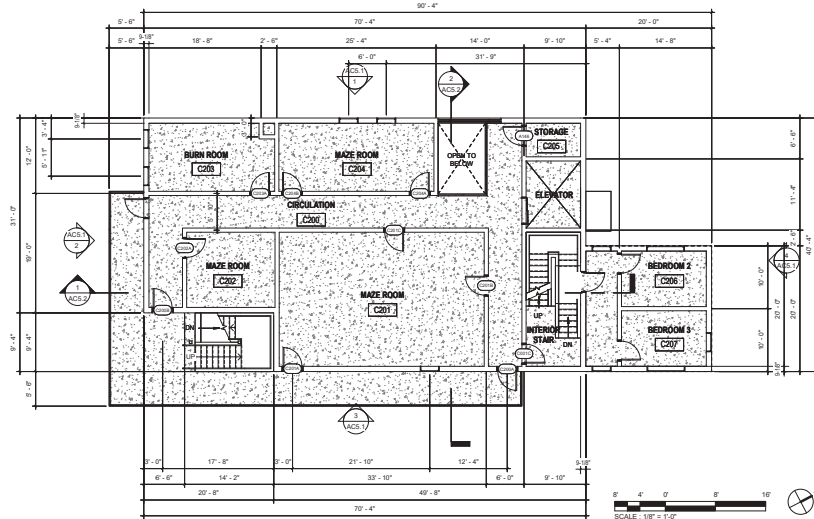


ROOM SCHEDULE			
NUM BER	TITLE	DESCRIPTION	Area
C000	ELEVATOR		92 SF
C001	MAZE ROOM		544 SF
C007	INTERIOR STAIR		185 SF
C02	STORAGE		46 SF
C03	MAZE ROOM		824 SF
C04	MAZE ROOM		240 SF
C05	MAZE ROOM		534 SF
C101	MAZE ROOM		863 SF
C102	AUTO BODY / GARAGE SIMULATION		368 SF
C103	BURN ROOM		217 SF
C104	BURN EQUIP RM		72 SF
C105	STORAGE		222 SF
C106	HIGH RISE LOBBY SIMULATION		289 SF
C107	ELEV MACHINE ROOM		46 SF
C109	RESIDENTIAL UNIT		351 SF
C200	CIRCULATION		945 SF
C201	MAZE ROOM		696 SF
C202	MAZE ROOM		168 SF
C203	BURN ROOM		210 SF
C204	MAZE ROOM		257 SF
C205	STORAGE		46 SF
C206	BEDROOM 2		119 SF
C207	BEDROOM 3		119 SF
C208	HALL		92 SF
C300	CIRCULATION		482 SF
C301	MAZE ROOM		697 SF
C302	BURN EQUIP RM		80 SF
C303	BURN ROOM		151 SF
C304	MAZE ROOM		324 SF
C305	MAZE ROOM		232 SF
C306	STORAGE		78 SF

BUILDING C BASEMENT 1/8" = 1'-0" 1



BUILDING C THIRD FLOOR PLAN 1/8" = 1'-0" 4

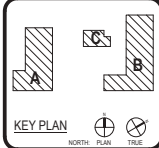


BUILDING C SECOND FLOOR PLAN 1/8" = 1'-0" 3



ARCHITECT PRK, Inc.
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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER
MENLO PARK FIRE PROTECTION DISTRICT
300 MONTEFIELDO ROAD
MENLO PARK, CA 94025



DISCIPLINE

DRAWING HISTORY		
No.	Description	Date
1	4/24/25	2/20/25

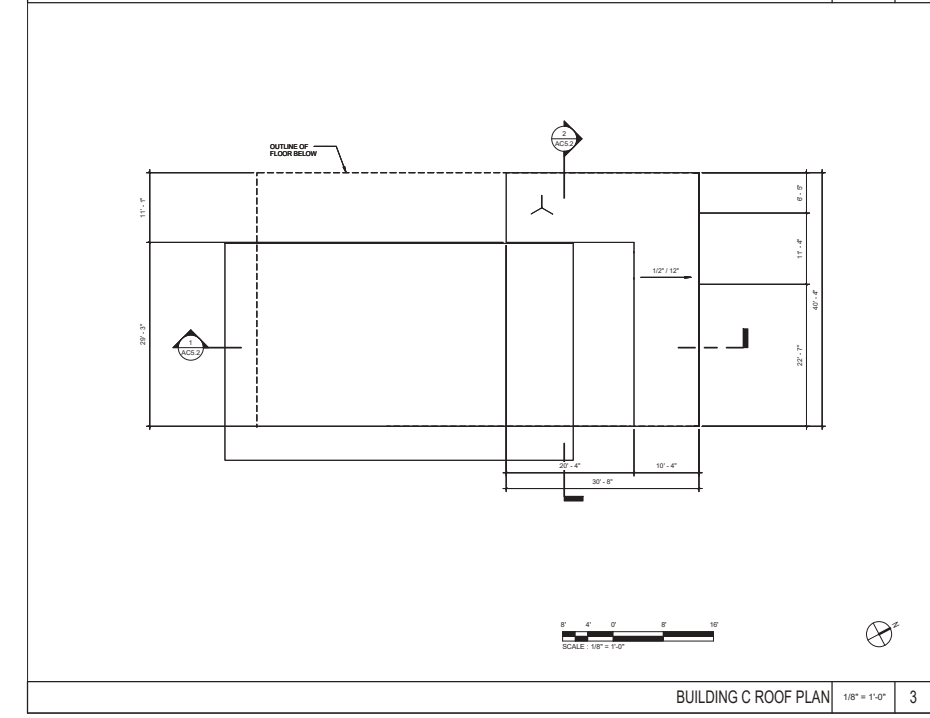
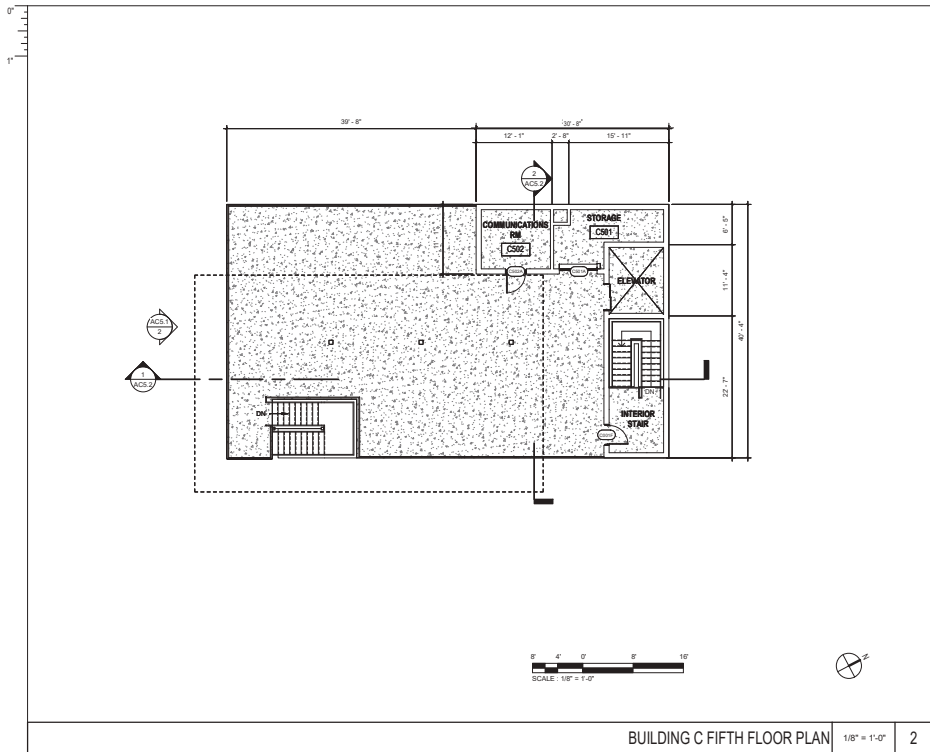
PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

BLDG C -
BASEMENT-3RD
FLOOR

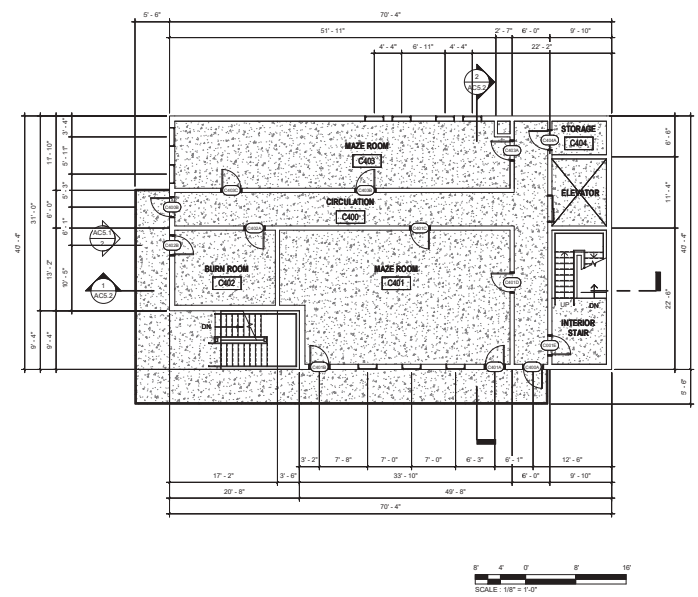
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BLDG C - 4TH FLOOR PLAN
AC22
FOR BUREAU LABEL IN DOOR



ROOM SCHEDULE			
NUMBER	TITLE	DESCRIPTION	Area
C000	ELEVATOR		92 SF
C001	INTERIOR STAIR		185 SF
C206	BEDROOM 2		119 SF
C207	BEDROOM 3		119 SF
C208	HALL		92 SF
C304	MAZE ROOM		324 SF
C400	CIRCULATION		494 SF
C401	MAZE ROOM		744 SF
C402	BURN ROOM		191 SF
C403	MAZE ROOM		563 SF
C404	STORAGE		46 SF
C501	STORAGE		118 SF
C502	COMMUNICATIONS RM		104 SF





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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

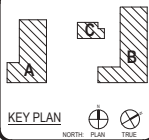
MENLO PARK FIRE PROTECTION DISTRICT

300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

CLIENT LOGO



KEY PLAN



DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 4/24/25 PROJECT NUMBER: 230502

DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL

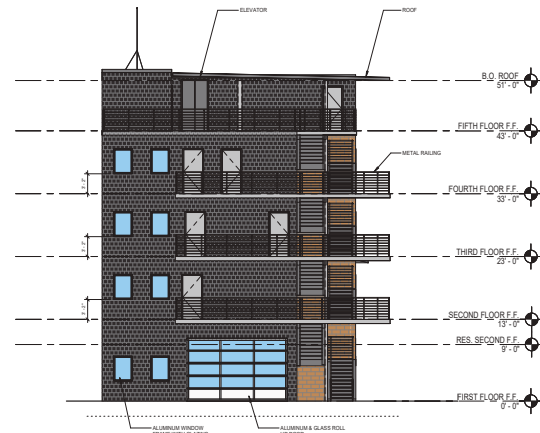
BUILDING NUMBER

BLDG C - 4TH FLOOR PLAN

AC2.2



BLDG C - EXTERIOR ELEVATION NORTH	1/8" = 1'-0"	1
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BLDG C - EXTERIOR ELEVATION EAST	1/8" = 1'-0"	2
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BLACK METAL PANEL
MANUFACTURER: NICHHA
SERIES: TURFLOCK MODERN SERIES
COLOR: STEEL

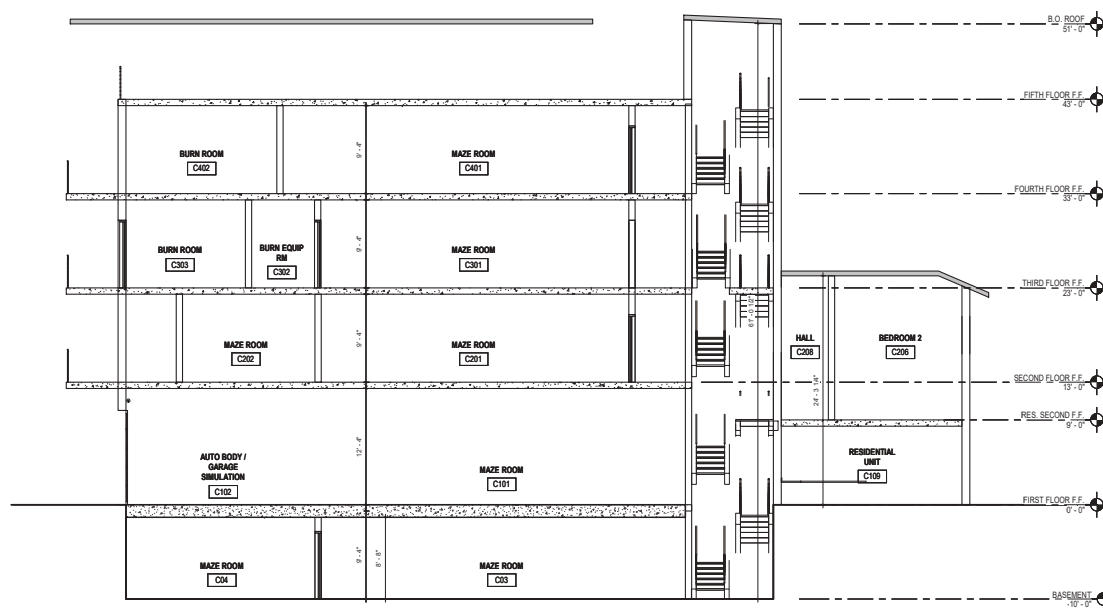
WOOD TONE FIBER CEMENT PLANK
MANUFACTURER: NICHHA FIBER CEMENT
SERIES: VINTAGEWOOD WOOD SERIES
COLOR: POPLAR

EXTERIOR GLAZING
GREY TINTED, 1/4" THICK INSULATED GLAZING CONSISTING OF:
OUTER PANE = 1/4" THICK TEMPERED SOLARBAN Z75
1/2" AIR GAP
INNER PANE = 1/4" THICK CLEAR TEMPERED WITH LOW-E COATING

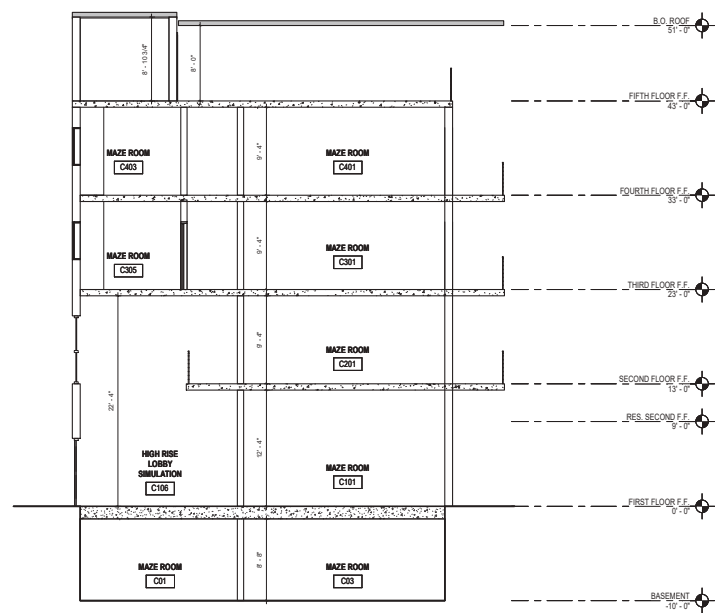
BLACK CORRUGATED METAL
MANUFACTURER: K&P FAB
SERIES: NU-WAVE CORRUGATED METAL SIDING
COLOR: MIDNIGHT BRONZE

BLACK CMU

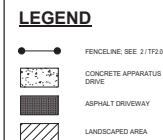
TAN CMU

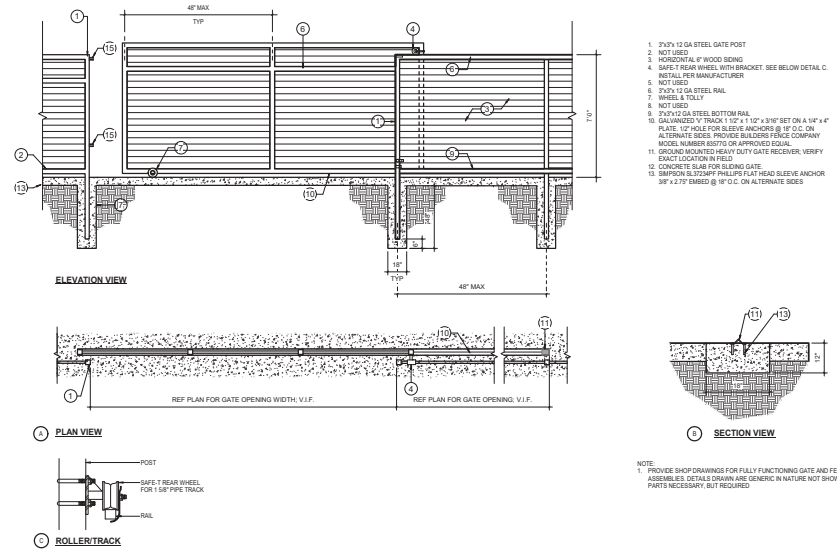
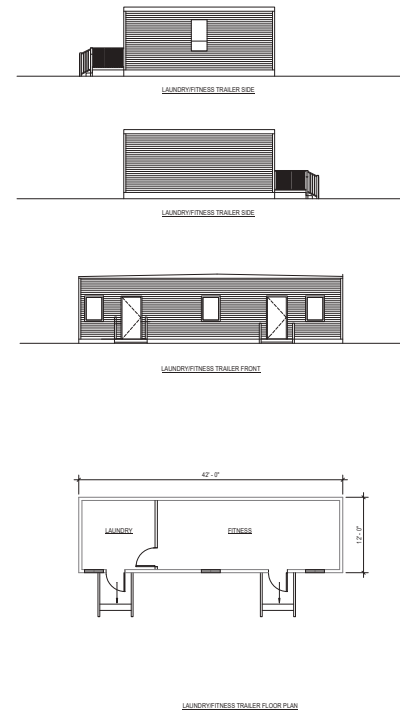
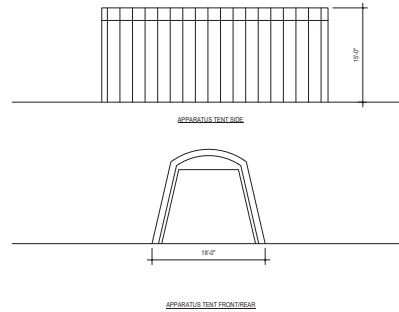
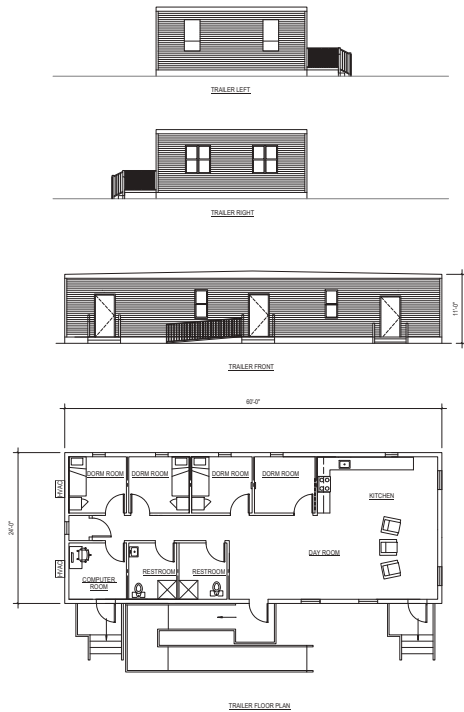


BLDG C BUILDING SECTION	3/16" = 1'-0"
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BLDG C BUILDING SECTION	3/16" = 1'-0"
-------------------------	---------------





ENTRY ROLLING GATE (TEMP FACILITY)

3/8" = 1'-0"

2

PRK

ARCHITECT

PRK, Inc.

1327 Adobe St, Suite 110
San Jose, CA 95128
408-250-3810
408-250-3818 F

MENLO PARK FIRE PROTECTION DISTRICT

MENLO PARK FIRE PROTECTION DISTRICT

300 MONTEFIELDO ROAD
MENLO PARK, CA 94025

CLIENT LOGO

KEY PLAN

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 4/24/25

PROJECT NUMBER: 230502

DRAWING HISTORY

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL

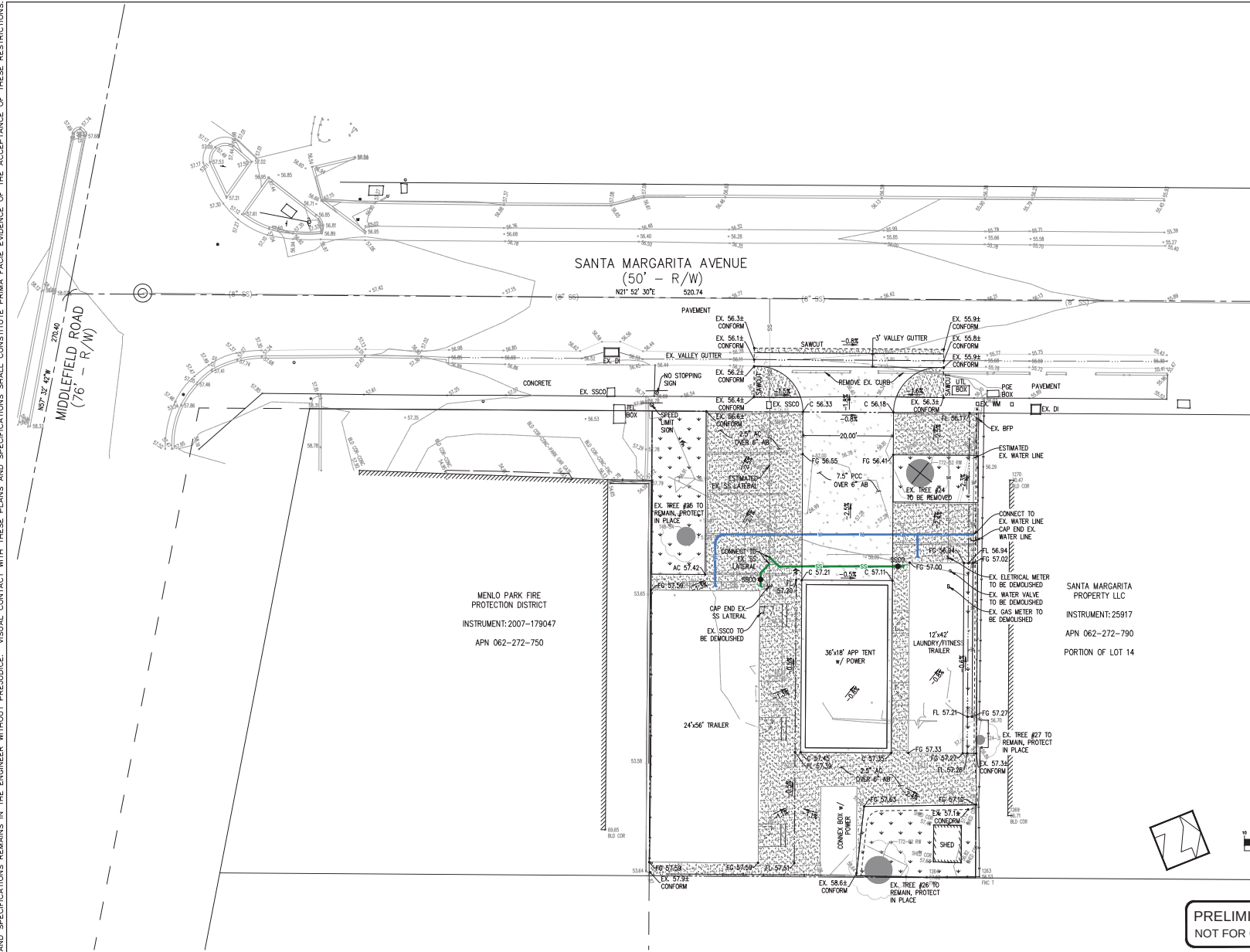
BUILDING NUMBER

TEMPORARY FACILITY DETAILS

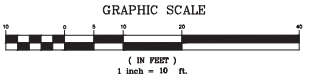
TF2.0

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION, INDEXING, REPRODUCTION OR PUBLICATION BY ANY MEANS, IN WHOLE OR PART, IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION, INDEXING, REPRODUCTION OR PUBLICATION BY ANY MEANS, IN WHOLE OR PART, IS PROHIBITED.

PLAN #
SHEET OF



- LEGEND
- ASPHALT DRIVEWAY/ PARKING
 - CONCRETE FIRE APPARATUS DRIVEWAY
 - LANDSCAPE



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

REVISIONS:			DATE: JANUARY 2025			REFERENCES		Temporary Facilities Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100 SAN MATEO COUNTY CALIFORNIA	SHEET TF-C1 OF 1 JOB NO. 23062		
DATE	DESCRIPTION	BY:	HORIZ. SCALE: 1"=10'	VERT. SCALE: NONE							
			DESIGNED BY: AM	CHECKED BY: TM							
			DRAWN BY: TM								



HANNA-BRUNETTI
INC.
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 BILBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE: (408) 845-7451
EMAIL: ENGINEERING@HANNABRUNETTI.COM

date: _____
Hanna - Brunetti

Amanda Joy Musy-Verdel
R.C.E. # 69278

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

- A. RISID GALVANIZED STEEL IN ALL OUTDOOR LOCATIONS AND IN DOOR LOCATIONS WHERE SUBJECT TO PHYSICAL DAMAGE.
- B. 10% OR EXPT. IN ALL DOOR AREAS.
- C. FLEXIBLE METALLIC CORD FOR FINAL CONNECTIONS TO LIGHT FIXTURES, MOTORS, VIBRATING ELECTRICAL EQUIPMENT, ETC., SHALL BE RATED 90°C HOTTER THAN THE LOAD IT WILL CARRY.
- D. PVC CONDUIT FOR UNDERGROUND RUNS USE 36 MIL THICK RIGID RISID REEER ELBOWS AND REEER FOR CONDUIT STRAIP-UPS.
- E. USE COPPER-BRASS TYPE FITTINGS FOR ALL METALLIC CONDUIT.
- F. P-COAT THINFOR UNDERGROUND INSTALLATIONS.

20. OUTDOOR RUNS ROADSIDE LIGHTING SHALL BE SUBSTANTIALLY ACTUAL ROUTINGS OF CONDUITS SHALL BE COORDINATED IN THE FIELD TO AVOID INTERFERENCE WITH OTHER UTILITIES AND STRUCTURES. ALL UNDERGROUND RUNS SHALL BE PROTECTED BY BURIED BOMBSH SHIELD AS REQUIRED FOR A COMPLETE #87518 IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

21. ALL EXTERIOR WOODEN EQUIPMENT SHALL BE WEATHERPROOF OR PROVIDED IN A WEATHERPROOF ENCLOSURE.

22. ALL POWER AND LIGHTING BRANCHING CIRCUITS SHALL BE INSTALLED WITH A GREEN GROUND LINE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.

23. IDENTIFICATION NAME PLATES FOR BRANCH CIRCUIT PANELS SHALL MATCH THE NOMINATIONAL CAPACITY OF THE PANEL.

24. UNLESS SPECIFICALLY NOTED ON THESE PLANS NO STRUCTURAL MEMBER SHALL BE CUT, DRILLED, NOR NOTCHED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER.

25. ALL CONDUCTORS SHALL BE STRANDED COPPER APPRIL TYPE OR EQUAL TYPE THANNHAN THERMOPLASTIC 600V ULT. APPROVED, DRY AND LET LOCATIONS FOR CONDUCTOR SIZES 1/2" THROUGH 1" SHALL BE 18" MINIMUM UNLESS OTHERWISE SPECIFIED. POLYESTER BARS SHALL BE APPROVED FOR DRY AND LET LOCATIONS FOR CONDUCTOR SIZES 3/8" AND ABOVE, AND FOR CONDUCTOR SIZES 1/2" AND ABOVE, AND FOR CONDUCTOR SIZES 3/8" AND ABOVE,



- ① METERMAN PANEL SHALL BE SCE AND EUBORG COMPLIANT, AS MANUFACTURED BY SQUARE-D OR EQUAL, EATON OR SIEMENS.
- ② ALL EQUIPMENT SHALL BE LISTED BY UL OR A CITY APPROVED THIRD PARTY TESTING FACILITY.
- ③ THE BUILDING PANELS ARE PROVIDED WITH THE BUILDINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE PANELS, AND DETERMINING THE CONDUIT AND WIRE TERMINATION REQUIREMENTS PRIOR TO ROUTING SITE DISTRIBUTION CONDUITS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES AND OBTAIN DISCREPANCY FROM THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

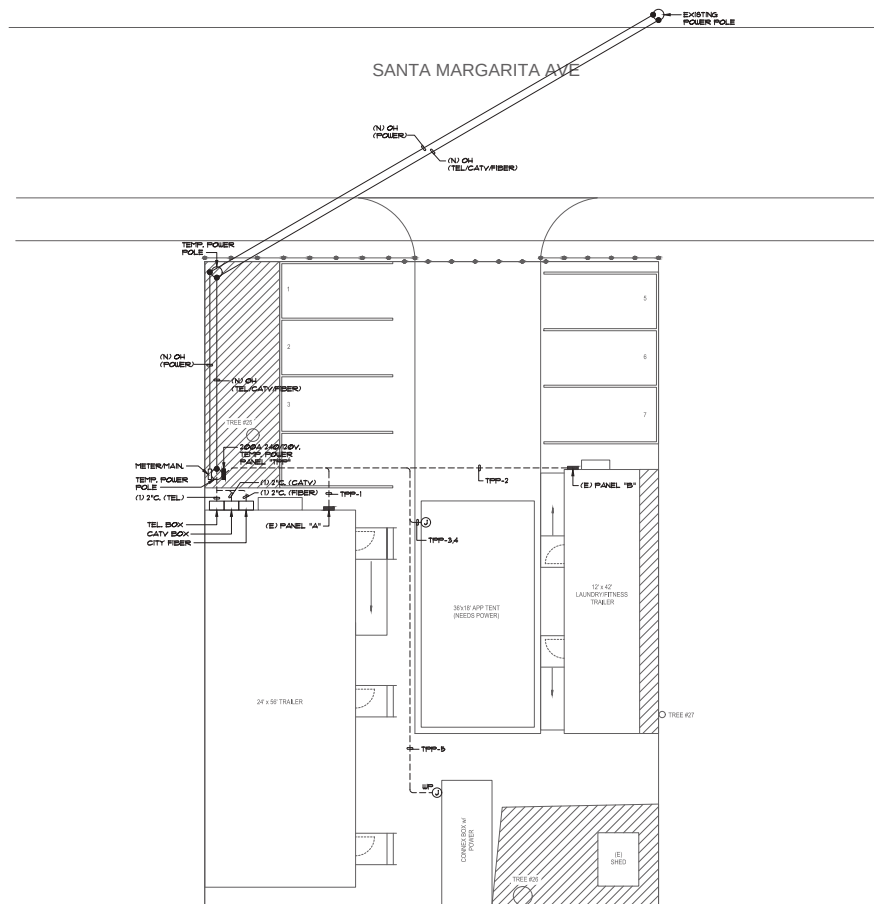
Resistor & Load Calculations	
Theoretical Transformer # 1 and 6:	
5. General Lighting Loads Light fixture load = 150 VA x 8 = 1200 VA (1200/240 = 5)	
General	5
Laundry Circuit (200 VA) = 200 VA (200/240 = 0.83)	
Laundry	0.83
Small Appliance Circuit (1500 VA) = 1500 VA (1500/240 = 6.25)	
Small Appliance	6.25
Sub-Total for #1 = 12.08	
Application of Demand Factor per NEC Table 220	
# 1 = 12.08 x 100% = 12.08	12.08
# 6 = 12.08 x 75% = 9.06	9.06
Total for #1	21.14
6. Permanently Connected Appliances (Refrigerator)	
Refrigerator	1 = 400 VA
Total = 400 VA x 2.75 Per NEC Table 220	
Refrigerator	1.1
Water Heater = 1 = 4000 VA	
Water Heater	1 = 4000 VA
Total = 4000 VA x 2.75 Per NEC Table 220	
Water Heater	11
Electric Dishwasher = 1 = 1000 VA	
Electric Dishwasher	1 = 1000 VA
Total = 1000 VA x 2.75 Per NEC Table 220	
Dishwasher	2.75
Dryer = 1 = 1000 VA	
Dryer	1 = 1000 VA
Total = 1000 VA x 2.75 Per NEC Table 220	
Dryer	2.75
Electric Range = 1 = 800 VA	
Electric Range	1 = 800 VA
Total = 800 VA x 2.75 Per NEC Table 220	
Electric Range	2.2
Total for #6 = 15.09	
Total Demand Load (21.14 + 15.09) = 36.23	
Total Demand Load (36.23 x 100%) = 36.23	

[illegible]

FIRE ALARM SYSTEM DEFERRED APPROVAL NOTE

THE FIRE ALARM SYSTEM DRAWINGS SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF CALIFORNIA PROFESSIONAL ELECTRICAL ENGINEER.

TYPE	MANUFACTURER CATALOG	LANE #, QTY & TYPE	PICTURE	VOLTS	REMARKS
	LITONIA LIGHTING LITONIA-LED-FL-40K-AB-00-17H- ON APPROVED SELECT	40W LITONIA LED-FL-40K-AB-00-17H- ON APPROVED SELECT	1A	110VLT	LED PENDANT HOODING LIGHTING, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS PROVIDE WITH RECESSED HOODING LIGHTING, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS
	LITONIA LITONIA-LED-FL-40K-AB-00-17H- ON APPROVED SELECT	20W LITONIA LED-FL-40K-AB-00-17H- ON APPROVED SELECT	B	110VLT	# PS IN AS SELECTED BY ARCHITECT.
	LITONIA LITONIA-LED-FL-40K-AB-00-17H- ON APPROVED SELECT	20W LITONIA LED-FL-40K-AB-00-17H- ON APPROVED SELECT	B	110VLT	LED WALL PACE PICTURE LIGHTING TO BE PROVIDED WITH 4000 KELVIN COLOR TEMPERATURE, IN OPTION, AND 100V-110V VOLTAGE.
	LITONIA LITONIA-LED-FL-40K-AB-00-17H- ON APPROVED SELECT	10W LITONIA LED-FL-40K-AB-00-17H- ON APPROVED SELECT	B2	110VLT	# PS IN AS SELECTED BY ARCHITECT.
	LITONIA LITONIA-LED-FL-40K-AB-00-17H- ON APPROVED SELECT	10W LITONIA LED-FL-40K-AB-00-17H- ON APPROVED SELECT	B2	110VLT	LED WALL PACE PICTURE LIGHTING TO BE PROVIDED WITH 4000 KELVIN COLOR TEMPERATURE, IN OPTION, AND 100V-110V VOLTAGE.
SC	US ARCADE US ARCADE-FL-40K-AB-00-17H- ON APPROVED SELECT	40W US ARCADE FL-40K-AB-00-17H- ON APPROVED SELECT	1A	110V	# PS IN AS SELECTED BY ARCHITECT.
SC	US ARCADE US ARCADE-FL-40K-AB-00-17H- ON APPROVED SELECT	20W US ARCADE FL-40K-AB-00-17H- ON APPROVED SELECT	B	110V	US ARCADE PICTURE SHALL BE PROVIDED WITH TYPE H FORMER TRIM OPTION, AND IS REQUIRED TO HAVE DRIVE CURRENT, COLOR TEMPERATURE, AND PERFORMANCE SPECIFICATIONS, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS, PROVIDE PICTURE WITH PS PERFORMANCE SPECIFICATIONS



PLAN NOTES

- REFER TO DRAWING E&I SINGLE LINE DIAGRAM, FOR POWER CONDUIT SIZE AND WIRE QUANTITIES.
- CONDUIT AND WIRE INDICATED ON THE SINGLE LINE DIAGRAM, WHETHER SHOWN ON THIS DRAWING OR NOT, SHALL BE A PART OF THIS CONTRACT AND THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE REQUIRED ROUTING TO MEET THE INTENT OF THESE PLANS AND SPECIFICATIONS.
- CONDUIT ROUTING INDICATED ON THESE PLANS IS DIAGNOSTIC. ACTUAL ROUTING OF UNDERGROUND CONDUITS SHALL BE COORDINATED IN THE FIELD TO AVOID INTERFERENCE WITH OTHER UTILITIES AND TRACES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN REQUIRED CLEARANCES BETWEEN UNDERGROUND ELECTRICAL CONDUITS AND FOOTING CONDUIT 8100-100. SHALL NOT BE INSTALLED IN FOOTING. EXACT METHOD FOR STUBBING-UP CONDUITS AT FOOTING LOCATIONS SHALL BE COORDINATED IN THE FIELD WITH THE GENERAL CONTRACTOR AND THE ARCHITECT.
- TEMPORARY POWER AND TELEPHONE POLES SPACING SHALL NOT EXCEED 10'-0". MAINTAIN 8'-0" MINIMUM CLEARANCE FROM FINISHED GRADE TO THE LOWEST POINT OF THE AERIAL CABLE AT DRIVE AREAS. MAINTAIN 14'-0" MINIMUM CLEARANCE FROM FINISHED GRADE TO THE LOWEST POINT OF THE AERIAL CABLE AT PEDESTRIAN PATHWAYS. PROVIDE GUT WIRE AND TRAFFIC BARRIERS POLES SHALL BE DESIGNED TO ACCOUNT FOR THE WEIGHT OF THE CABLE(S) AND APPLICABLE WIND LOAD. PROVIDE CONCRETE BASES IF REQUIRED TO MEET THE REQUIREMENT.
- REFER TO DRAWING E&I GENERAL NOTES, FOR ADDITIONAL REQUIREMENTS.

ARCHITECT

3000 LINDSEY DRIVE
1327 ALVARO BL, SUITE 110
SANTA ANA, CALIF. 92705
949.325.5875 P
949.325.5875 F

A&P ENGINEERING GROUP, INC.
8880 BURNING WOOD DRIVE, SUITE 200, BURNING WOOD, CA 94703
TEL: (949) 942-2000 FAX: (949) 942-2001

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

CLIENT LOGO

KEY PLAN

NORTH PLAN SCALE

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 08/22/2024 PROJECT NUMBER: 230532

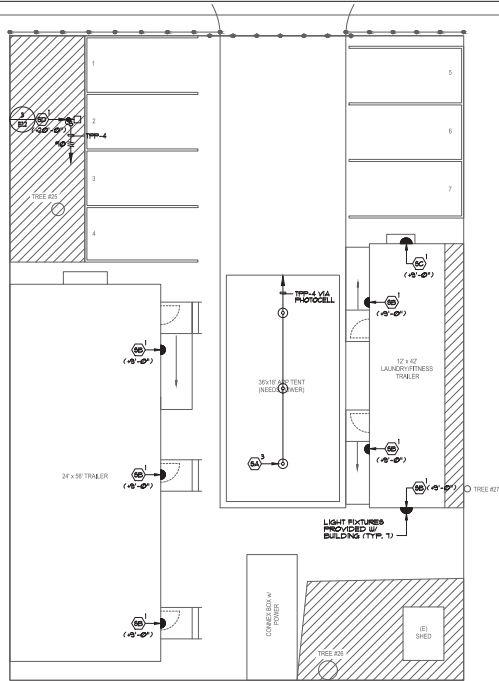
No.	Description	Date
1	Plan Check Cycle #5	07-08-2023

PLANNING DEPARTMENT SUBMITTAL

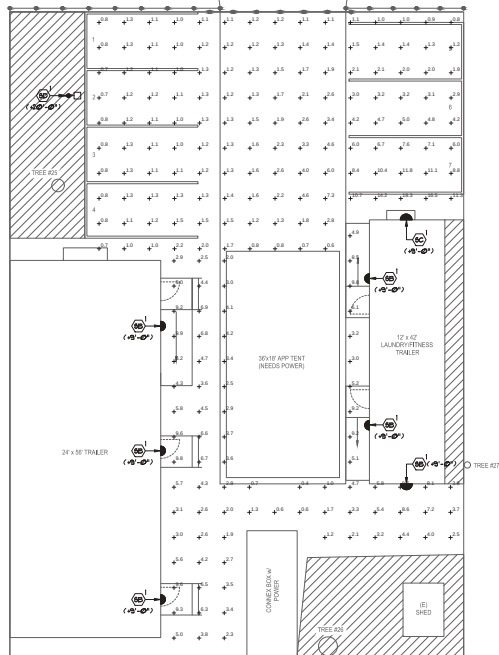
BUILDING NUMBER:

SITE POWER PLAN

E1.1



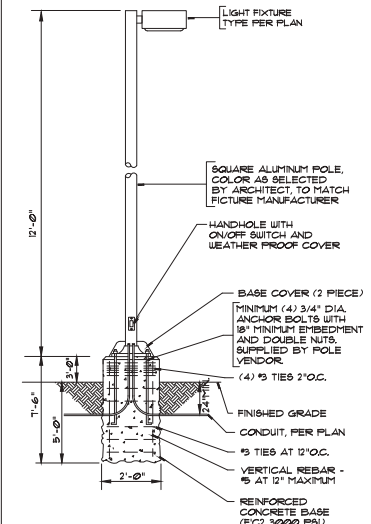
SITE LIGHTING PLAN 1/8" = 1'-0" 1



SITE PHOTOMETRIC PLAN 1/8" = 1'-0" 1

PLAN NOTES

1. REFER TO GENERAL NOTES - SHEET 801 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET 801 FUTURE SCHEDULE FOR FUTURE TYPE TO BE PROVIDED AND INSTALLED.
3. PROVIDE NEW CIRCUIT BREAKER TO MATCH EXISTING IN THE BUILDING PANEL TO PROVIDE POWER FOR THE BUILDING EXTERIOR LIGHT FIXTURES. NOTE - FUTURE TYPE "SA" IS PROVIDED WITH INTEGRAL PHOTOCELL - NO THE CLUCK IS REQUIRED.



POLE MOUNTED FIXTURE N.T.S. 3

ARCHITECT
3001 LINDEN STREET
1327 ALVINE BL, Suite 110
SANTA ANA, CALIF. 92701
949.325.3876 P
949.325.3876 F

A&P ENGINEERING GROUP, INC.
6000 BUCKINGHAM BL, SUITE 200, WEST GOSHEN, CA 95715
TEL: (916) 944-3000 FAX: (916) 944-3001

CLIENT LOCATION

KEY PLAN

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 08/22/2024 PROJECT NUMBER: 230532

No.	Description	Date
1	Plan Check Cycle #3	07-08-2023

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER:

SITE LIGHTING & PHOTOMETRIC PLANS

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER



CLIENT		
MENLO PARK FIRE PROTECTION DISTRICT		
DATE:	08/22/2024	PROJECT NUMBER:
		230532
No.	Description	Date
1	Plan Check Cycle #3	07-08-2023

SITE LIGHTING & PHOTOMETRIC PLANS

EXTERIOR LIGHT FIXTURE - STEEL STUD	SURFACE MOUNTED LIGHT FIXTURE	UNDERGROUND CONDUIT	BUTLER BUILDING PANEL SUPPORT
5	6	7	13
SERVICE GROUNDING	SPRUNG AND BUTLER BUILDING GROUND	MODULAR BUILDING GROUNDING	NOT USED
5	6	7	13
HVAC WIRING DIAGRAM	NOT USED	BUTLER BUILDING LIGHT FIXTURE SUPPORT	
9	10	11	
EXTERIOR LIGHT FIXTURE - WOOD STUD	PANEL MOUNTING DETAIL	NOT USED	NOT USED
12	8	14	15

ARCHITECT

5381 LUIS STREET
1327 ALVARO B. BATA 110
SANTA ANA, CALIF. 92701
951-325-5876 P
951-325-5876 F

A&P ENGINEERING GROUP, INC.
8000 BURNING BUSH DRIVE, SUITE 200, WEST GARDEN, CA 92683
TEL: (949) 441-5000 FAX: (949) 441-5001

MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

CLIENT LOGO

KEY PLAN

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE

08/22/2024

PROJECT NUMBER

230532

No.	Description	Date

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER

ELECTRICAL DETAILS

TF-E3.1

1. All grading is subject to observation by the City. Permittee or representative shall notify the City of Menlo Park Department of Public Works Project Inspector at least 48 hours before start of any grading.
2. It shall be the responsibility of the Permittee or agent to identify, locate and protect all underground facilities.
3. The permittee or agent shall maintain the streets, sidewalks and all other public rights-of-way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe and usable condition.

4. Civil Engineer Information and Statements:
A. The Civil Engineer for this project is:
Hanna & Brunetti, 7651 Egleberry Street, Gilroy, CA 95020

B. This Rough Grading Plan has been prepared under the direction of a licensed engineer and designed based on the recommendations of the referenced project Geotechnical Report.

C. The stormwater conveyance system has been designed in accordance with the appropriate Building and Plumbing Codes or has been proven to be designed with adequate capacity through signed and sealed hydraulic calculations.

5. Soils Engineer Information and Requirements:
A. The Soil Engineer for this project is:
Atlas Technical Consultants LLC 2001 Crow Canyon Rd, Suite 210, San Ramon, CA 94583

B. The Geotechnical Report for this project is:
Geotechnical Engineering Study Atlas No. 91-68237-PW

United Phase II Subsurface Investigation Report Atlas No. 7054000398

D. All grading work shall be observed and approved by the Soil Engineer. The Soil Engineer shall be notified at least 48 hours before beginning any grading. Unobserved and/or unapproved grading work shall be removed and replaced under observation.

for

300 & 320 Middlefield Road - apn 062-460-100

 OVERALL SITE PLAN
SCALE: 1"=40'

[illegible]

EXISTING	(Symbol Size May Vary)	PROPOSED
	Property Boundary	
	Lot Line	
	Curb & Gutter	
	Storm Drain	
	Sanitary Sewer	
	Swale	
	Field Inlet / Flat Grate Inlet	
	Area Drain	
	Storm Manhole	
	Direction of Surface Drainage	
	Overland Release Contour	
	Retaining Wall	
	Street Light	
	Fire Hydrant	

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE
WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL AND GEOLOGIC REPORT.

PREPARED BY (COMPANY NAME)

DATE OF REPORT

BY C.E.G. #

BY G.E. ■

CUT: 676 CY
 FILL: 12 CY
 EXPORT: 664 CY
 IMPORT:

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION OF UTILITIES SHALL BE VERIFIED IN THE FIELD AND QUANTITIES IS MADE AT THE DISCRETION AND COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), 1-800-642-2444. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS. INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY ADDITIONAL COSTS OR BY ADJACENT TO THE JOB SITE. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

 VICINITY MAP
NO SCALE

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

MENLO PARK FIRE PROTECTION DISTRICT
 170 MIDDLEFIELD RD
 MENLO PARK, CA 94025
 (650) 688-8400

PBK, INC.
1327 ARCHER ST, SUITE 110
SAN LUIS OBISPO, CA 93401

SURVEYOR
HANNA-BRUNETTI

ATLAS TECHNICAL CONSULTANTS LLC
2001 CROW CANYON ROAD, SUITE 210
SAN RAMON, CA 94583

WILSON DESIGN STUDIO LANDSCAPE ARCHITECTURE
1631 ALHAMBRA BLVD., SUITE 100
SACRAMENTO, CA 95816

HANNA-BRUNETTI
7651 EIGLEBERRY STREET
GILROY, CA 95020
OFFICE 408 842-2173
FAX 408 842-3662
EMAIL: ENGINEERING@HANNABRUNETTI.COM



- C1.0 COVER SHEET
- C2.0 BOUNDARY & TOPOGRAPHIC SURVEY
- C3.0 DEMOLITION PLAN
- C4.0 SITE DEVELOPMENT PLAN
- C5.0 GRADING & DRAINAGE PLAN
- C6.0 GRADING & DRAINAGE PLAN
- C7.0 CROSS SECTIONS
- C8.0 UTILITY PLAN
- C9.0 STORMWATER MANAGEMENT PLAN
- C10.0 CONSTRUCTION DETAILS
- C11.0 EROSION CONTROL PLAN
- C12.0 BEST MANAGEMENT PRACTICES

PRELIMINARY GRADING & DRAINAGE PLAN

COVER SHEET

300 & 320 Middlefield Road
APN 062-460-100

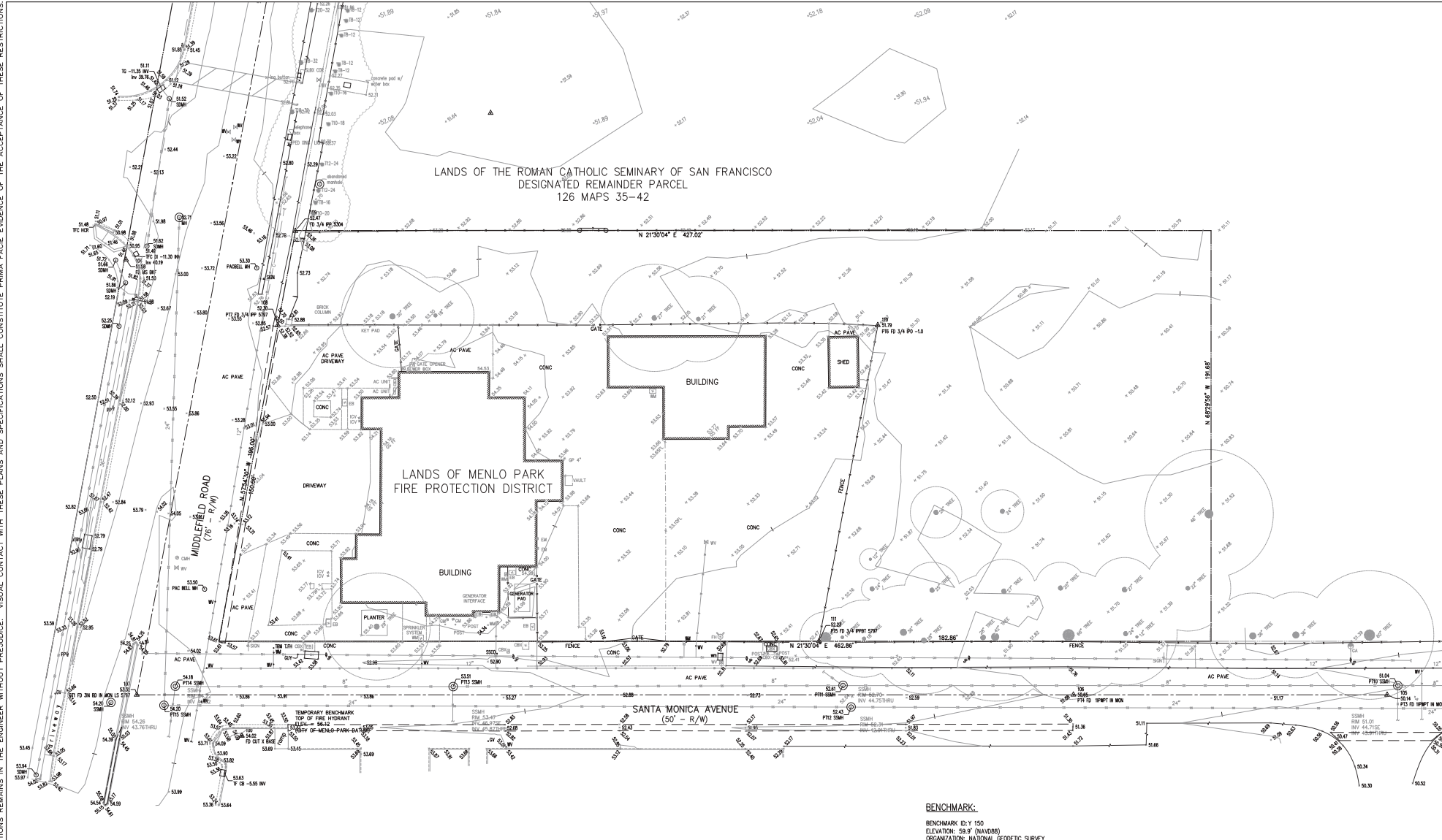
MENLO PARK	Designated AM	Checked XX	Date
Pro ject No: 23062			

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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SHEET
C1.0
Of 12 SHEETS

PW PROJECT #

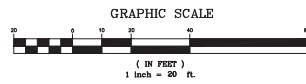
THESE PLANS AND SPECIFICATIONS SHALL BE REFERENCED TO THE ORIGINAL SET OF WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR IN PART, IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS REMAINS IN THE POSSESSION OF THESE PLANS AND SPECIFICATIONS WITHOUT PREJUDICE. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE A PROFESSIONAL ENGINEER'S EVIDENCE OF THE ASSISTANCE OF THESE RESTRICTIONS.



BENCHMARK:
BENCHMARK ID: Y 150
ELEVATION: 59.3' (NAVD88)
ORGANIZATION: NATIONAL GEODETIC SURVEY
DESCRIPTION:
BENCHMARK DISK
ADD: 1.569' TO CONVERT TO NAVD88
Y 150 WAS USED AS THE BENCHMARK FOR THIS TOPOGRAPHY MAP.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



PLAN #
SHEET OF

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
CIVIL ENGINEERS & LAND SURVEYORS
CONSTRUCTION MANAGERS
7851 DEL CERRILLO STREET #100 • REDWOOD CITY, CA 94061
OFFICE: (650) 842-5771
FAX: (650) 842-5772
EMAIL: HANNA@HANNA-BRUNETTI.COM

DATE: JULY 2024
HORIZ. SCALE: 1"=40'
VERT. SCALE: N/A
DESIGNED BY: AM
CHECKED BY: TM
DRAWN BY: TM

date:
Hanna - Brunetti
Amanda Joy Musy-Vorhe
R.C.E. # 69278
REGISTERED PROFESSIONAL ENGINEER
HANNA-BRUNETTI
AMANDA JOY MUSY-VORHE
CIVIL
STATE OF CALIFORNIA

REFERENCES

MENLO PARK
JULY 2024

Boundary & Topographic Survey

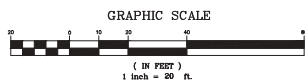
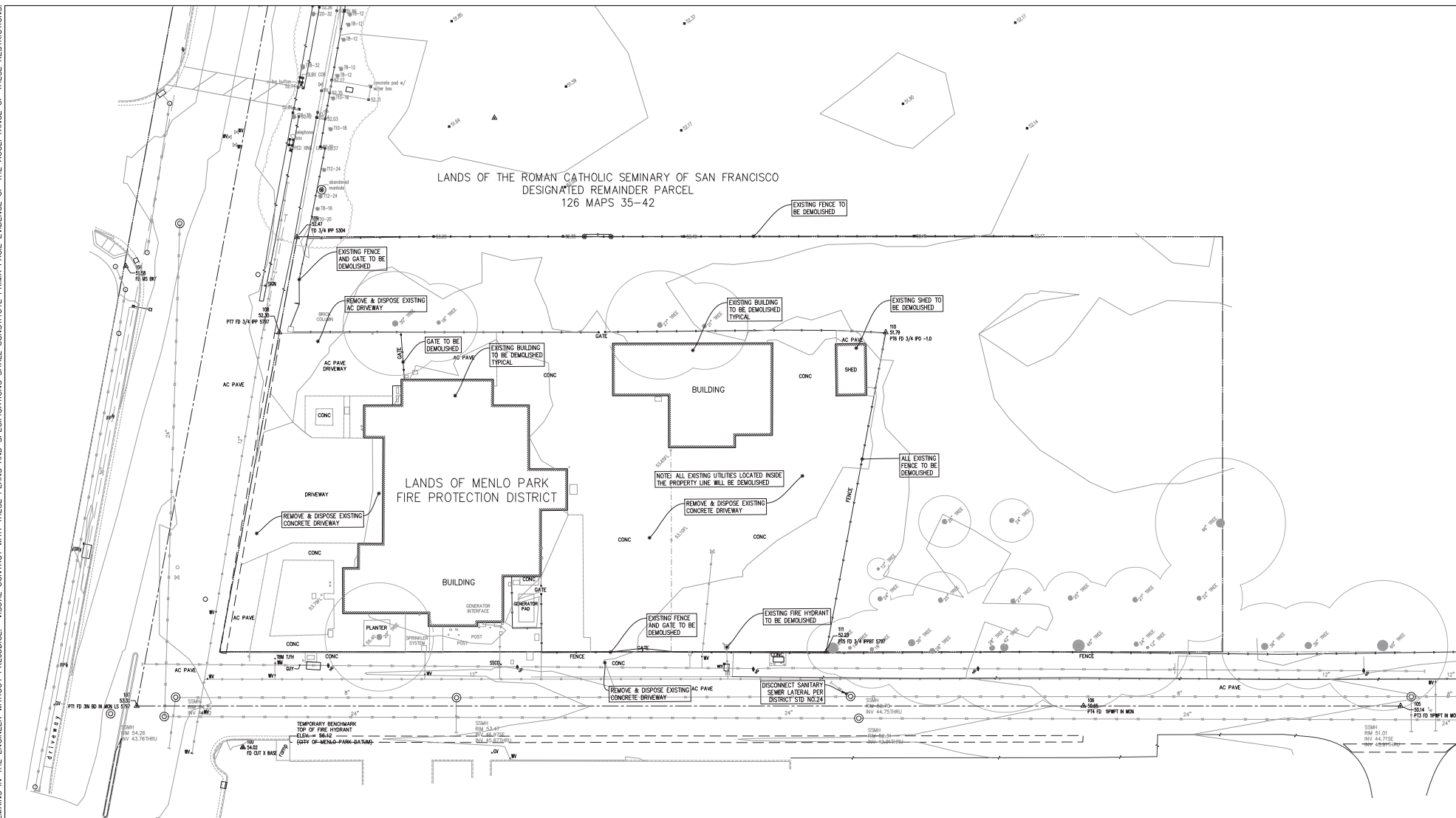
Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

SANTA CLARA COUNTY
CALIFORNIA

SHEET
C2.0
OF 13
JOB NO. 23062

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. NO PART OF THESE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
1937-2000
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGBLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: JULY 2014
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: TM

date: _____
Hanna - Brunetti

Amanda Joy Musy-Verd
R.C.E. # 69278



REFERENCES

MENLO PARK
JULY 2024

Demolition Plan

Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

SAN MATEO COUNTY
CALIFORNIA

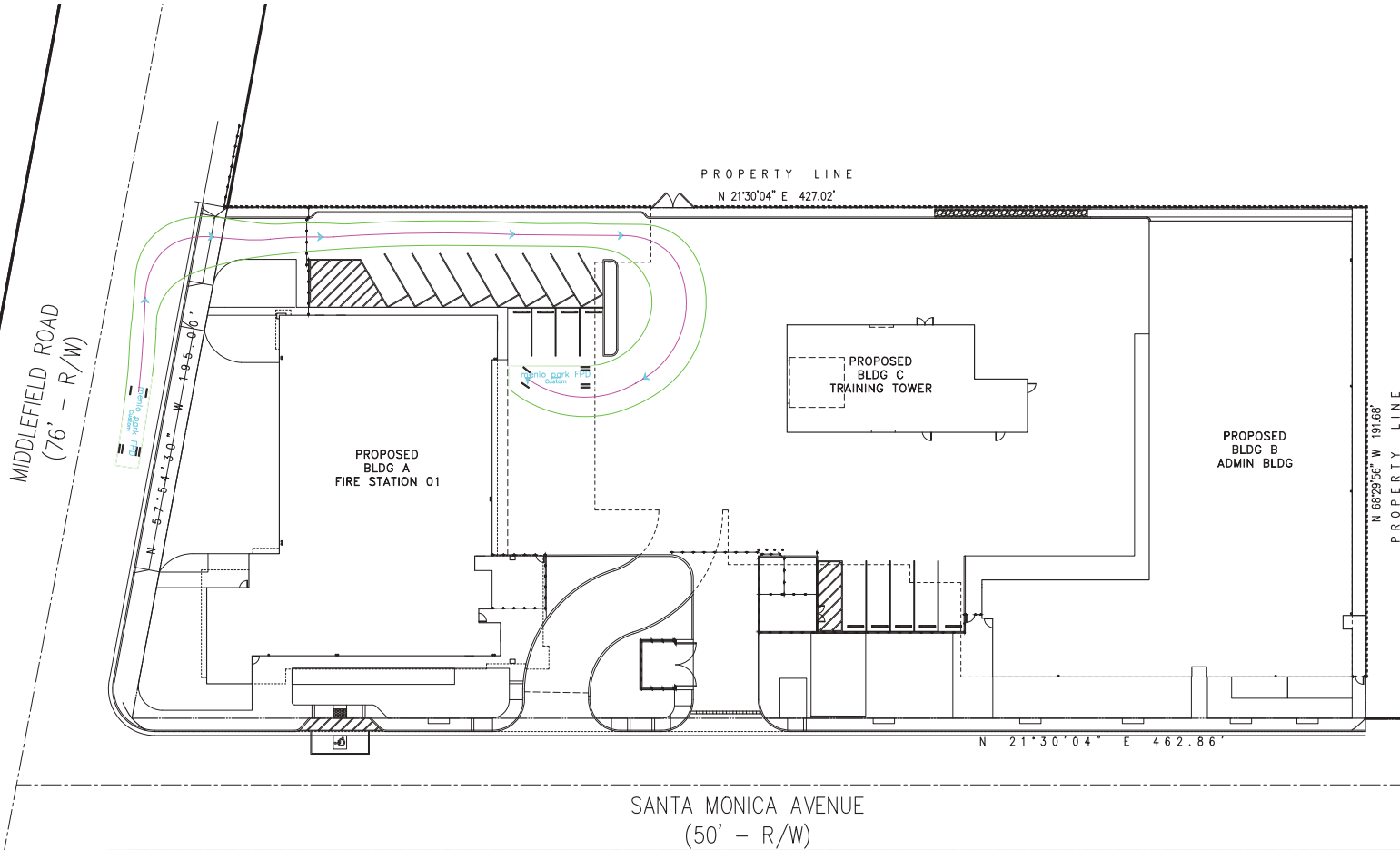
SHEET
C3.0
OF 12
JOB NO. 23062
0. 23062

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

JOB NO. 23062

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR PART, IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR PART, IS PROHIBITED.

PLAN #
SHEET OF



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
CIVIL ENGINEERS & LAND SURVEYORS
CONSTRUCTION MANAGERS
785 DEL LIBRARY STREET #100 • LOS ANGELES, CALIFORNIA 90015
OFFICE: (818) 464-5171
EMAIL: ENGINEERING@HANNA-BRUNETTI.COM

DATE: JULY 2024
HORIZ. SCALE: 1"=20'
VERT. SCALE: N/A
DESIGNED BY: AM
CHECKED BY: TM
DRAWN BY: TM

date: Hanna - Brunetti
Amanda Joy Musy-Verde
R.C.E. # 69278



REFERENCES

MENLO PARK
JULY 2024

Site Development Plan

Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

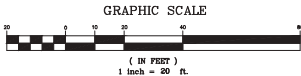
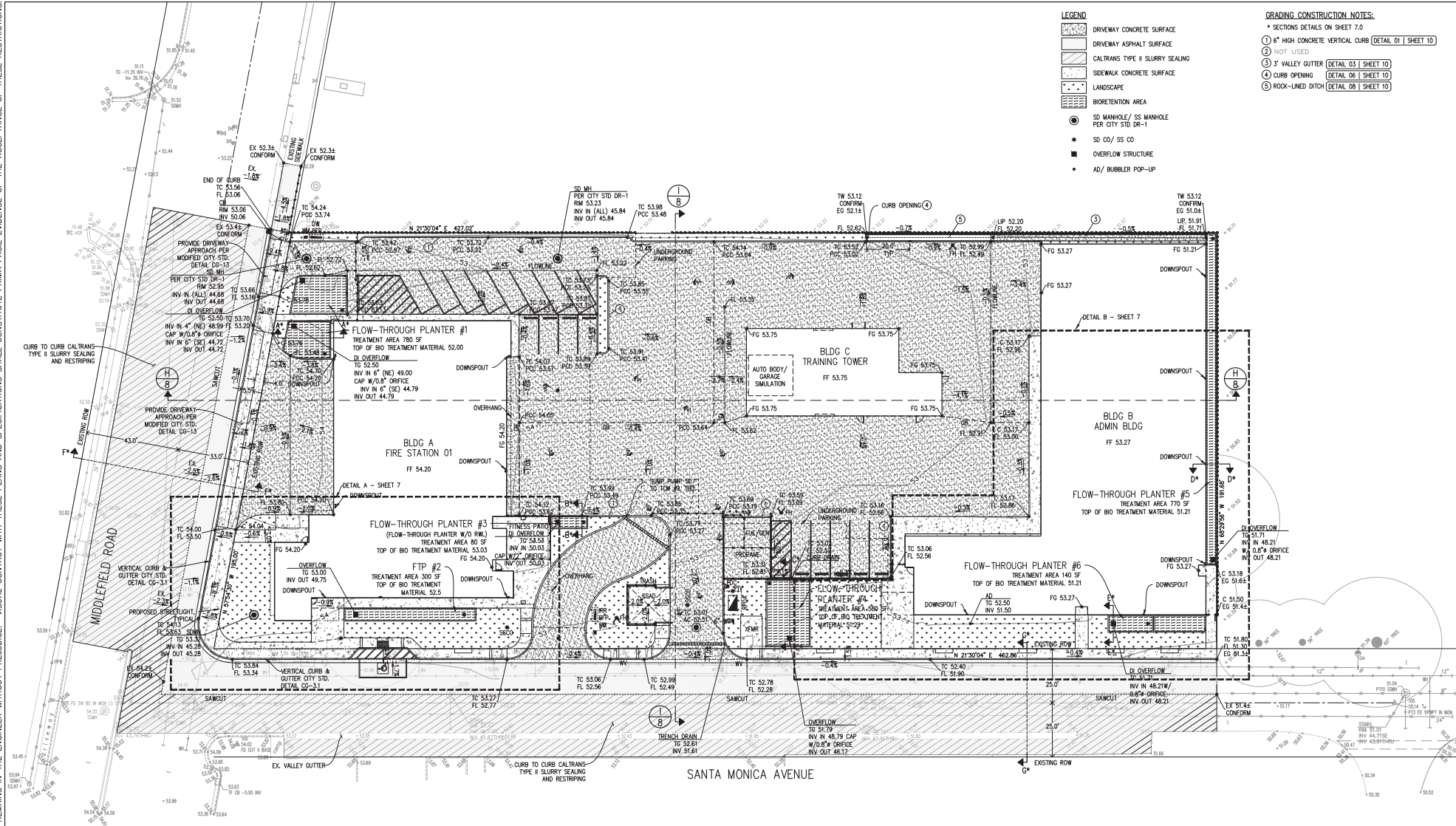
SAN MATEO COUNTY
CALIFORNIA

SHEET
C4.0
OF 12
JOB NO. 23062

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

JOB NO. 23062

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR THE ORIGINAL SET OF WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH REPRODUCTION OF ANY METHOD OR PART IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS REMAINS IN THE POSSESSION OF THESE PLANS WITHOUT PREJUDICE. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE A PROFESSIONAL ENGINEER'S SEAL OR SIGNATURE.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
CIVIL ENGINEER & LAND SURVEYOR
REGISTERED PROFESSIONAL ENGINEER
OFFICE: 4001 BAYVIEW DRIVE, SUITE 100
SAN FRANCISCO, CA 94134
PHONE: (415) 774-1100
EMAIL: HANNA@HANNABRUNETTI.COM

DATE: JULY 2024
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: TM
DRAWN BY: TM

date: Hanna - Brunetti
Amanda Joy Masy-Vorder
R.C.E. # 69278



REFERENCES	

MENLO PARK
JULY 2024

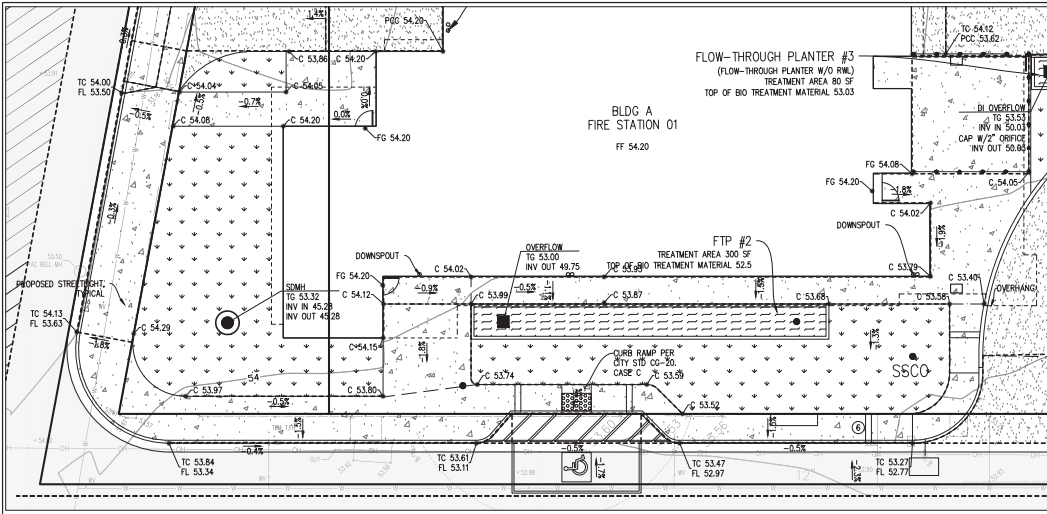
Grading & Drainage Plan

Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

SAN MATEO COUNTY
CALIFORNIA

SHEET
C5.0
OF 13
JOB NO. 23062

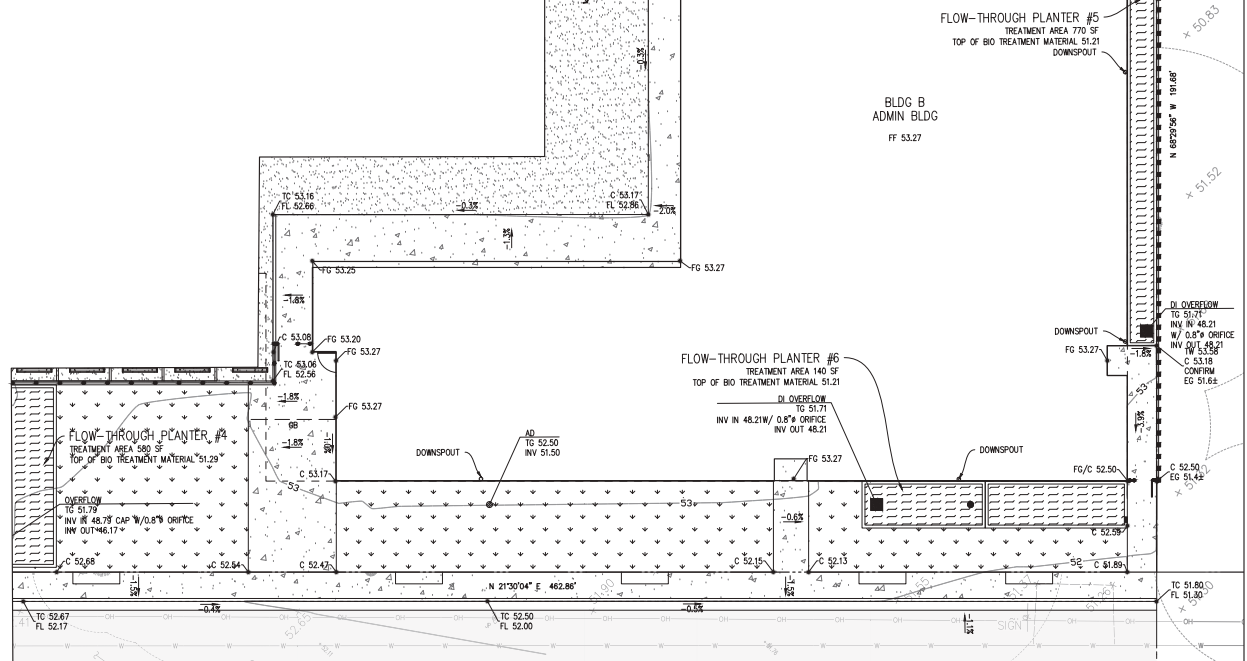
THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR IN PART, IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SPECIFICATIONS. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM HANNA-BRUNETTI & ASSOCIATES, INC.



DETAIL A
SCALE: 1"=10'

- LEGEND**
- DRIVEWAY CONCRETE SURFACE
 - DRIVEWAY ASPHALT SURFACE
 - CALTRANS TYPE II SLURRY SEALING
 - SIDEWALK CONCRETE SURFACE
 - LANDSCAPE
 - BIORETENTION AREA
 - SD MANHOLE / SS MANHOLE PER CITY STD 18-1
 - SD CO / SS CO
 - OVERFLOW STRUCTURE
 - AD / BUBBLER POP-UP

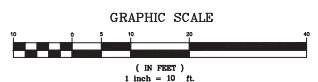
- GRADING CONSTRUCTION NOTES:**
- * SECTIONS DETAILS ON SHEET 7.0
 - ① 6" HIGH CONCRETE VERTICAL CURB (DETAIL 01 | SHEET 10)
 - ② CURB & GUTTER (DETAIL 02 | SHEET 10)
 - ③ 3" VALLEY GUTTER (DETAIL 03 | SHEET 10)
 - ④ CURB OPENING (DETAIL 06 | SHEET 10)
 - ⑤ ROCK-LINED DITCH (DETAIL 08 | SHEET 10)
 - ⑥ CURB RAMP PER CITY STD CG-20, ADJUSTED CASE F



DETAIL B
SCALE: 1"=10'

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



PLAN #
SHEET OF

REVISIONS:		
DATE	DESCRIPTION	BY

HANNA-BRUNETTI
CIVIL ENGINEERS & LAND SURVEYORS
CONSTRUCTION MANAGERS
1851 GILBERT STREET #100 • BOSTON, MA 02114
OFFICE: (617) 462-1171
FAX: (617) 462-1172
EMAIL: HANNA@HANNABRUNETTI.COM

DATE: JULY 2024
HORIZ. SCALE: 1"=10'
VERT. SCALE: N/A
DESIGNED BY: AM
CHECKED BY: TM
DRAWN BY: TM

date:
Hanna - Brunetti
Amanda Joy Musy-Verde
R.C.E. # 69278



REFERENCES

MENLO PARK
JULY 2024

Grading & Drainage Plan

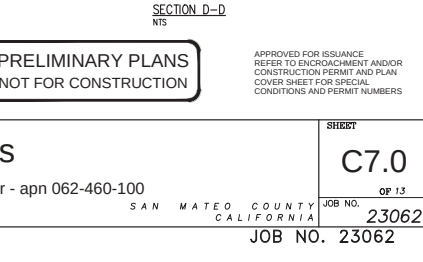
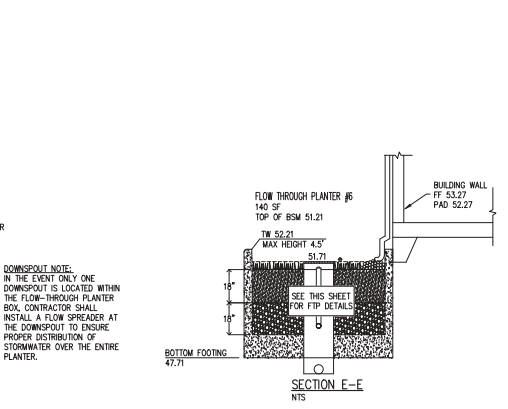
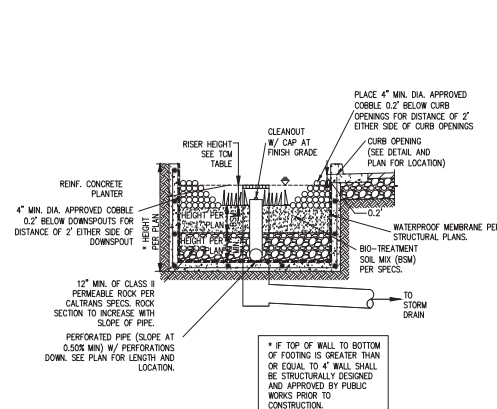
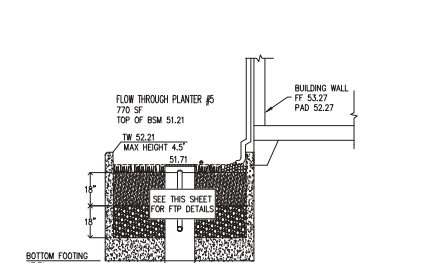
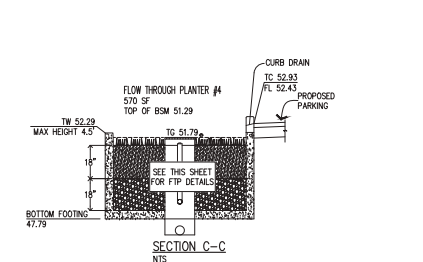
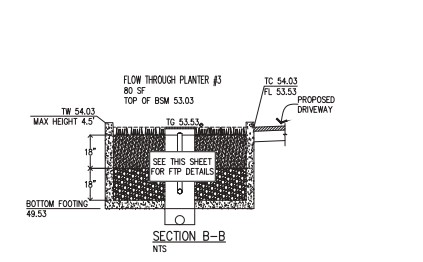
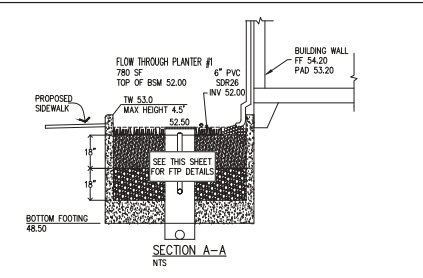
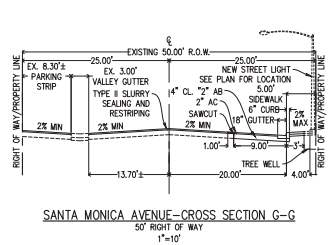
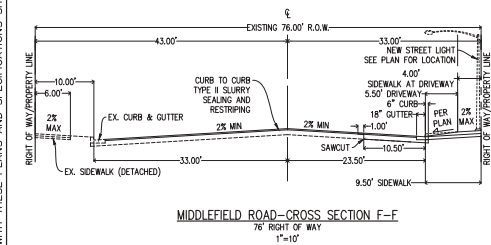
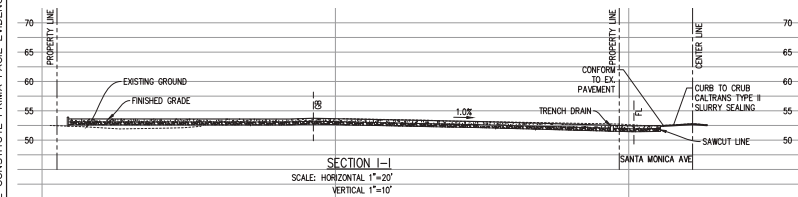
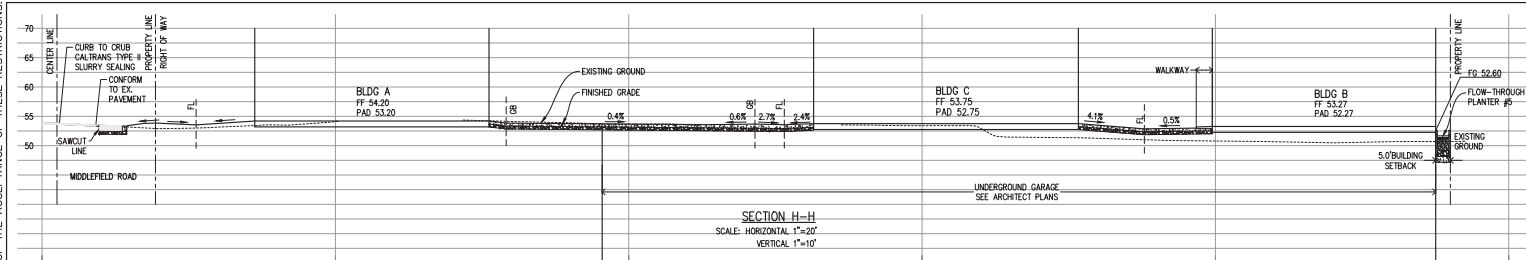
Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

SAN MATEO COUNTY
CALIFORNIA

SHEET
C6.0
JOB NO. 23062
OF 18

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS REMAINS IN THE POSSESSION OF THESE PLANS WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS SHALL CONSTITUTE A FURNISHING OF EVIDENCE OF THE VIOLATION OF THESE RESTRICTIONS.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

PLAN # _____
SHEET _____ OF _____

REVISIONS:		
DATE	DESCRIPTION	BY

HANNA BRUNETTI
CIVIL ENGINEER & LAND SURVEYOR
CONSTRUCTION MANAGERS
1851 GILBERT STREET #100 • BOSTON, MA 02114
OFFICE: (617) 452-1171
EMAIL: HANNA@BRUNETTI.COM

DATE: JULY 2024
HORIZ. SCALE: NONE
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: TM
DRAWN BY: TM

date: Hanna - Brunetti
Amanda Joy Musy-Verde
R.C.E. # 69278



REFERENCES	

MENLO PARK
JULY 2024

Cross Sections

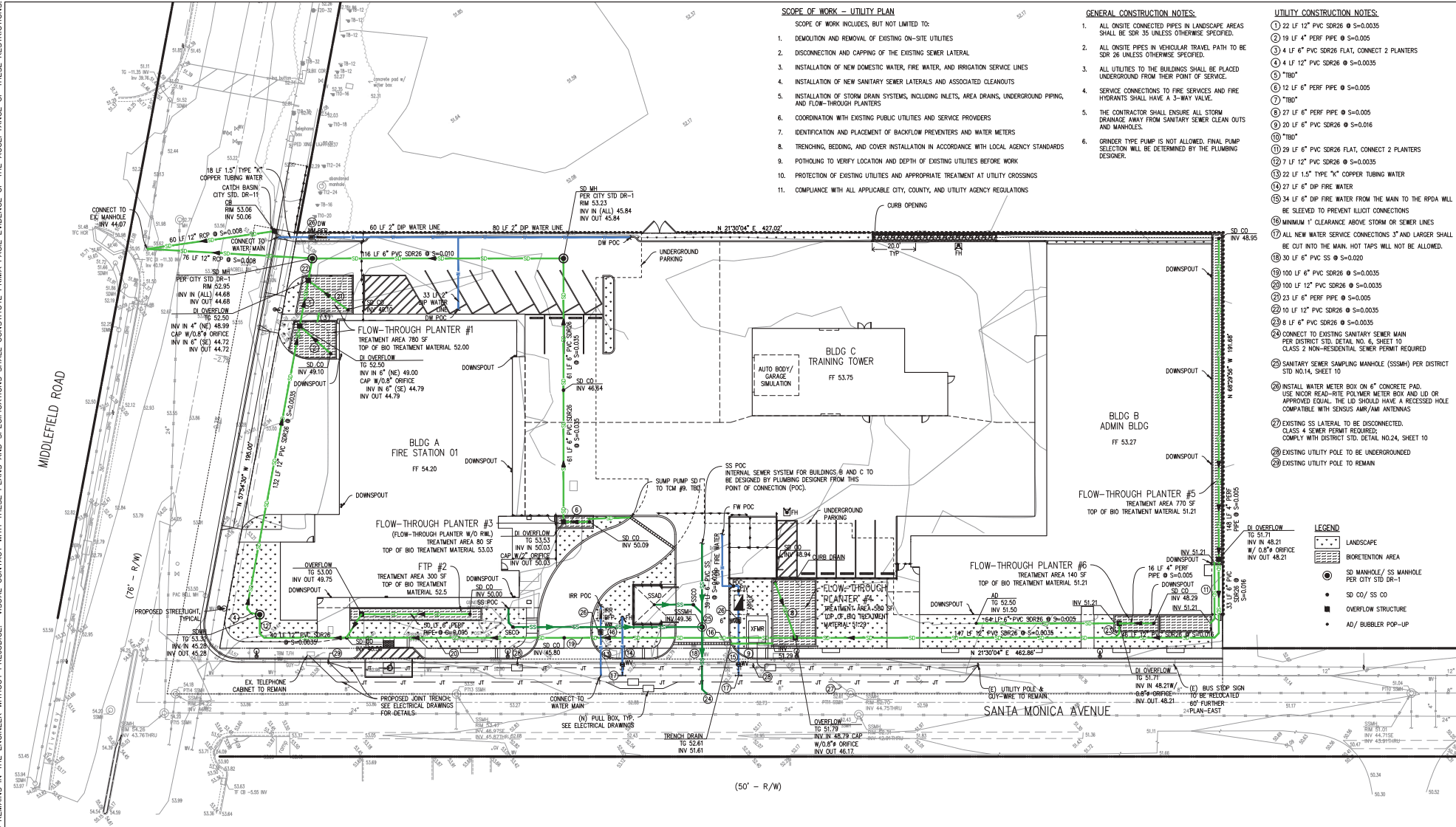
Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

SAN MATEO COUNTY
CALIFORNIA

SHEET
C7.0
JOB NO. 23062

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR IN PART, IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS REMAINS IN THE BANNER CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE A VIOLATION OF THE AGREEMENT OF THESE RESTRICTIONS.



SCOPE OF WORK - UTILITY PLAN

SCOPE OF WORK INCLUDES, BUT NOT LIMITED TO:

- DEMOLITION AND REMOVAL OF EXISTING ON-SITE UTILITIES
- DISCONNECTION AND CAPPING OF THE EXISTING SEWER LATERAL
- INSTALLATION OF NEW DOMESTIC WATER, FIRE WATER, AND IRRIGATION SERVICE LINES
- INSTALLATION OF NEW SANITARY SEWER LATERALS AND ASSOCIATED CLEANOUTS
- INSTALLATION OF STORM DRAIN SYSTEMS, INCLUDING INLETS, AREA DRAINS, UNDERGROUND PIPING, AND FLOW-THROUGH PLANTERS
- COORDINATION WITH EXISTING PUBLIC UTILITIES AND SERVICE PROVIDERS
- IDENTIFICATION AND PLACEMENT OF BACKFLOW PREVENTERS AND WATER METERS
- TRENCHING, BEDDING, AND COVER INSTALLATION IN ACCORDANCE WITH LOCAL AGENCY STANDARDS
- POTHOLES TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES BEFORE WORK
- PROTECTION OF EXISTING UTILITIES AND APPROPRIATE TREATMENT AT UTILITY CROSSINGS
- COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, AND UTILITY AGENCY REGULATIONS

GENERAL CONSTRUCTION NOTES:

- ALL ONSITE CONNECTED PIPES IN LANDSCAPE AREAS SHALL BE SDR 35 UNLESS OTHERWISE SPECIFIED.
- ALL ONSITE PIPES IN VEHICULAR TRAVEL PATH TO BE SDR 26 UNLESS OTHERWISE SPECIFIED.
- ALL UTILITIES TO THE BUILDINGS SHALL BE PLACED UNDERGROUND FROM THEIR POINT OF SERVICE.
- SERVICE CONNECTIONS TO FIRE SERVICES AND FIRE HYDRANTS SHALL HAVE A 3-WAY VALVE.
- THE CONTRACTOR SHALL ENSURE ALL STORM DRAINAGE AWAY FROM SANITARY SEWER CLEAN OUTS AND MANHOLES.
- GRINDER TYPE PUMP IS NOT ALLOWED. FINAL PUMP SELECTION WILL BE DETERMINED BY THE PLUMBING DESIGNER.

UTILITY CONSTRUCTION NOTES:

- 22 LF 12" PVC SDR26 @ S=0.0035
- 19 LF 4" PERF PIPE @ S=0.005
- 4 LF 6" PVC SDR26 FLAT, CONNECT 2 PLANTERS
- 4 LF 12" PVC SDR26 @ S=0.0035
- "T80"
- 12 LF 6" PERF PIPE @ S=0.005
- "T80"
- 27 LF 6" PERF PIPE @ S=0.005
- 20 LF 6" PVC SDR26 @ S=0.016
- "T80"
- 29 LF 6" PVC SDR26 FLAT, CONNECT 2 PLANTERS
- 7 LF 12" PVC SDR26 @ S=0.0035
- 22 LF 1.5" TYPE "K" COPPER TUBING WATER
- 27 LF 6" DIP FIRE WATER
- 34 LF 6" DIP FIRE WATER FROM THE MAIN TO THE RPDA WILL BE SLEEVED TO PREVENT ILLEGAL CONNECTIONS
- MINIMUM 1' CLEARANCE ABOVE STORM OR SEWER LINES
- ALL NEW WATER SERVICE CONNECTIONS 3" AND LARGER SHALL BE CUT INTO THE MAIN. HOT TAPS WILL NOT BE ALLOWED.
- 30 LF 6" PVC SS @ S=0.020
- 100 LF 6" PVC SDR26 @ S=0.0035
- 100 LF 12" PVC SDR26 @ S=0.0035
- 23 LF 6" PERF PIPE @ S=0.005
- 10 LF 12" PVC SDR26 @ S=0.0035
- 8 LF 6" PVC SDR26 @ S=0.0035
- CONNECT TO EXISTING SANITARY SEWER MAIN PER DISTRICT STD. DETAIL NO. 6, SHEET 10
- CLASS 2 NON-RESIDENTIAL SEWER PERMIT REQUIRED
- SANITARY SEWER SAMPLING MANHOLE (SSSM) PER DISTRICT STD. DETAIL NO. 14, SHEET 10
- INSTALL WATER METER BOX ON 4" CONCRETE PAD. USE INCH HEAD-ON POLYMER METER BOX AND LID OR APPROVED EQUAL. THE LID SHOULD HAVE A RECESSED HOLE COMPATIBLE WITH SENSUS AM/AM ANTENNAS
- EXISTING SS LATERAL TO BE DISCONNECTED. CLASS 4 SEWER PERMIT REQUIRED. COMPLY WITH DISTRICT STD. DETAIL NO. 24, SHEET 10
- EXISTING UTILITY POLE TO BE UNDERGROUNDED
- EXISTING UTILITY POLE TO REMAIN

LEGEND

- LANDSCAPE
- BIORETENTION AREA
- SD MANHOLE / SS MANHOLE PER CITY STD DR-1
- SD CO / SS CO
- OVERFLOW STRUCTURE
- AD / BUBBLER POP-UP

PLAN #

SHEET

OF

REVISIONS:		
DATE	DESCRIPTION	BY

HANNA-BRUNETTI
CIVIL ENGINEERS & LAND SURVEYORS
CONSTRUCTION MANAGERS
785 DEL CERRILLO STREET, SUITE 200 • MENLO PARK, CA 94025
OFFICE: (650) 342-5171
FAX: (650) 342-5172
EMAIL: HANNA@HANNABRUNETTI.COM

DATE: JULY 2024
HORIZ. SCALE: 1"=20'
VERT. SCALE: N/A
DESIGNED BY: AM
CHECKED BY: JMV
DRAWN BY: T.M.

date:
Hanna - Brunetti
Amanda Joy Masy-Verde
R.C.E. # 69278

REGISTERED PROFESSIONAL ENGINEER
HANNA JOY MUSTAFA
NO. 69278
CIVIL
STATE OF CALIFORNIA

REFERENCES
MENLO PARK
JULY 2024

Utility Plan

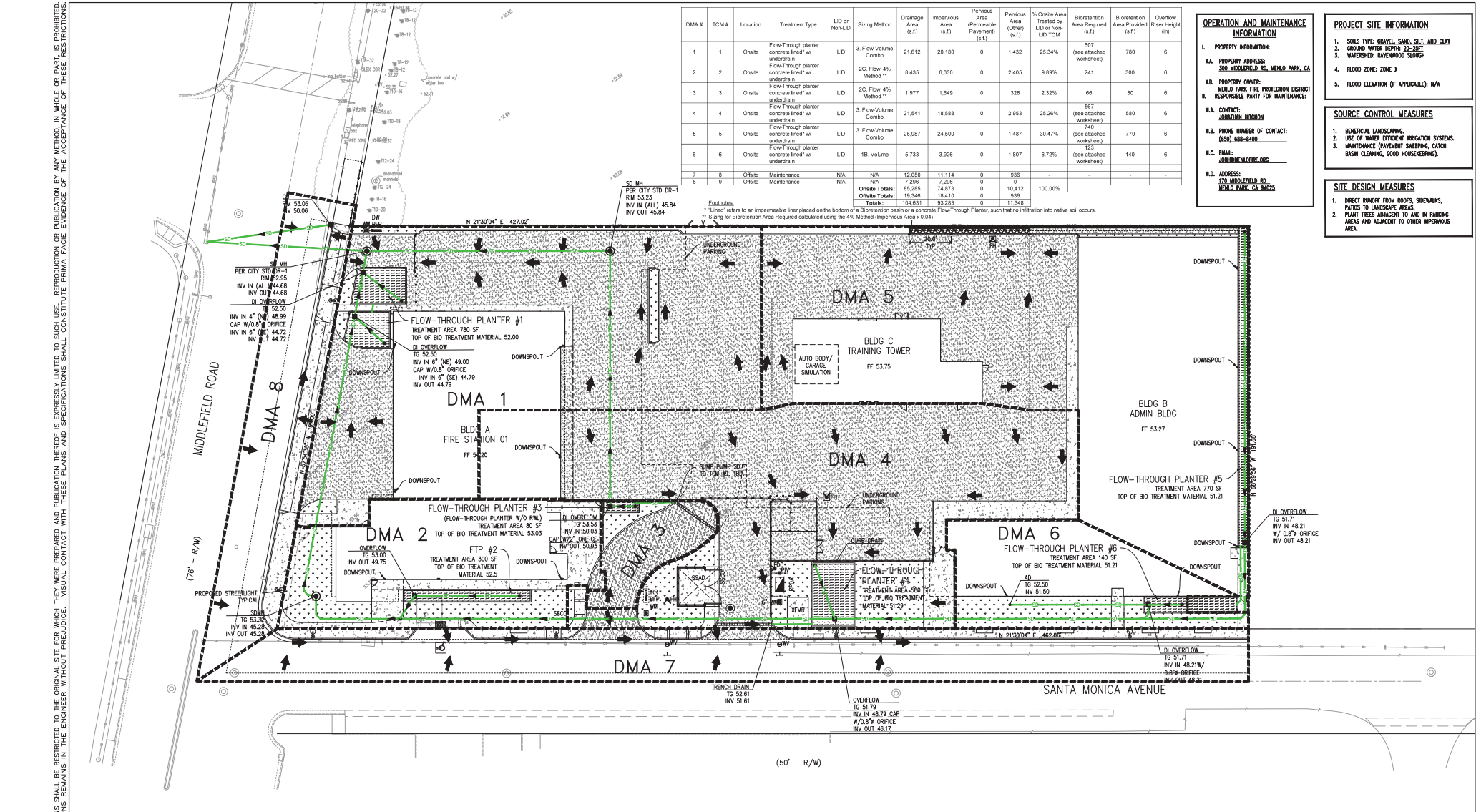
Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

SAN MATEO COUNTY
CALIFORNIA

SHEET
C8.0
OF 12
JOB NO. 23062

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR PART, IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR PART, IS PROHIBITED.



DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Permeable Area (s.f.)	Previous Area (s.f.)	% Onsite Area Treated by LID or Non-LID TCM (s.f.)	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (ft)
1	1	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	3. Flow-Volume Combo	21,612	20,180	0	1,432	25.34%	607	780	6
2	2	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	2C. Flow-4% Method **	8,435	6,030	0	2,405	9.89%	241	300	6
3	3	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	2C. Flow-4% Method **	1,977	1,649	0	328	2.32%	66	80	6
4	4	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	3. Flow-Volume Combo	21,541	18,588	0	2,953	25.26%	567	580	6
5	5	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	3. Flow-Volume Combo	25,987	24,500	0	1,487	30.47%	740	770	6
6	6	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	1B. Volume	5,733	3,926	0	1,807	6.72%	123	140	6
7	8	Offsite	Maintenance	N/A	N/A	12,050	11,114	0	936	-	-	-	-
8	9	Offsite	Maintenance	N/A	N/A	7,296	7,296	0	0	-	-	-	-
Onsite Totals:						85,285	74,873	0	10,412	100.00%	-	-	-
Offsite Totals:						19,346	18,410	0	896	-	-	-	-
Totals:						104,631	93,283	0	11,348	-	-	-	-

Footnotes:
* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
** Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)

OPERATION AND MAINTENANCE INFORMATION

I. PROPERTY INFORMATION:
I.A. PROPERTY ADDRESS: 300 MIDDLEFIELD RD, MENLO PARK, CA
I.B. PROPERTY OWNER: MENLO PARK FIRE PROTECTION DISTRICT
II. RESPONSIBLE PARTY FOR MAINTENANCE:
II.A. CONTACT: JONATHAN HETSON
II.B. PHONE NUMBER OF CONTACT: (650) 698-9400
II.C. EMAIL: JONATHAN@MPFD.ORG
II.D. ADDRESS: 170 MIDDLEFIELD RD, MENLO PARK, CA 94025

PROJECT SITE INFORMATION

1. SOILS TYPE: GRAVEL, SAND, SILT, AND CLAY
2. GROUND WATER DEPTH: 35-50'
3. WATERSHED: RAVENWOOD SLOUGH
4. FLOOD ZONE: ZONE X
5. FLOOD ELEVATION (IF APPLICABLE): N/A

SOURCE CONTROL MEASURES

1. REDUCED LANDSCAPING
2. USE OF WATER EFFICIENT IRRIGATION SYSTEMS
3. MAINTENANCE (PAVEMENT SHEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING)

SITE DESIGN MEASURES

1. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPE AREAS
2. PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREA

PLAN # _____ OF _____ SHEET

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

REVISIONS:

DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
CIVIL ENGINEERS & LAND SURVEYORS
CONSTRUCTION MANAGERS
785 GILBERT STREET SUITE 200 • HAWAII, CA 94024
OFFICE: (415) 842-5171
EMAIL: ENGINEERING@HANNA-BRUNETTI.COM

DATE: JULY 2024
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: T.M.

date: Hanna - Brunetti
Amanda Joy Musy-Vorde
R.C.E. # 69278

REGISTERED PROFESSIONAL ENGINEER
HANNA-BRUNETTI
AMANDA JOY MUSY-VORDE
CIVIL
STATE OF CALIFORNIA

REFERENCES

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT
ROAD: MIDDLEFIELD ROAD

Stormwater Control Plan
Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100
JULY 2024
SAN MATEO COUNTY CALIFORNIA

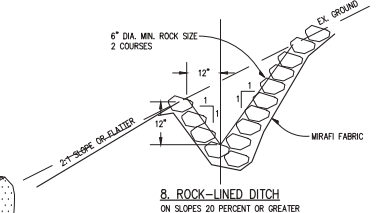
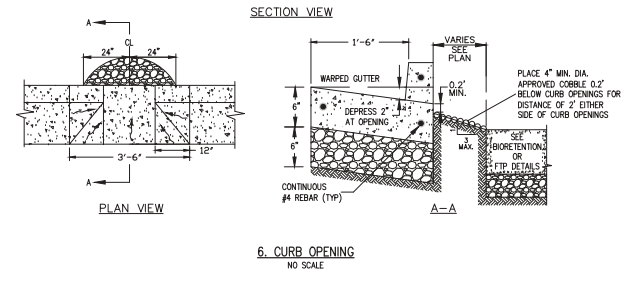
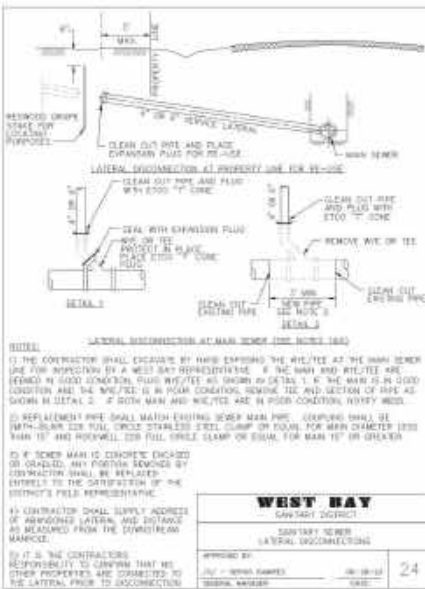
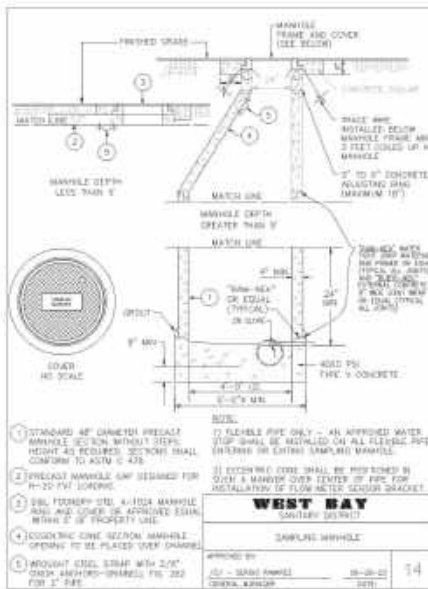
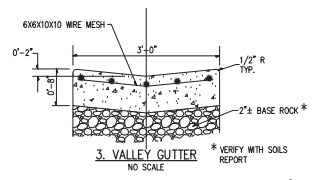
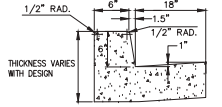
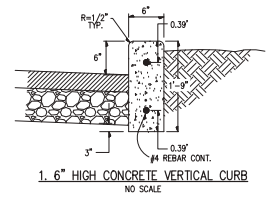
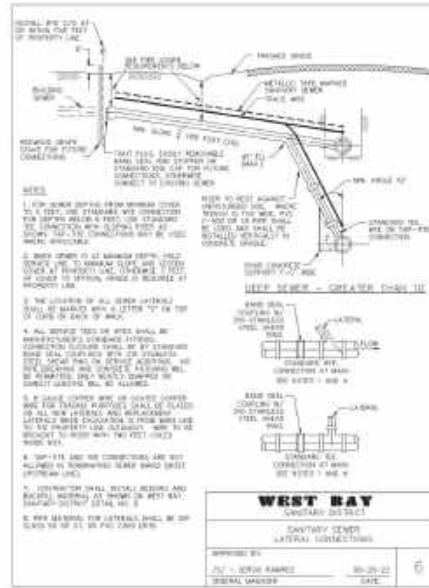
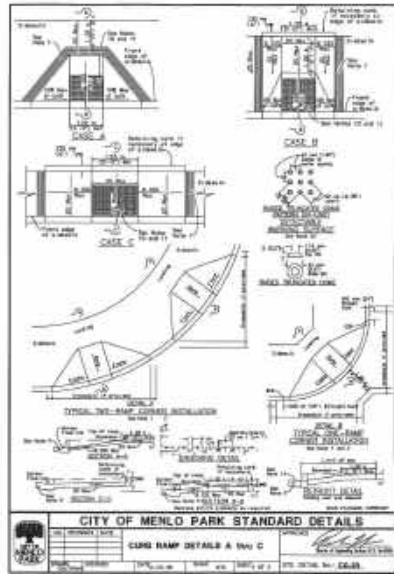
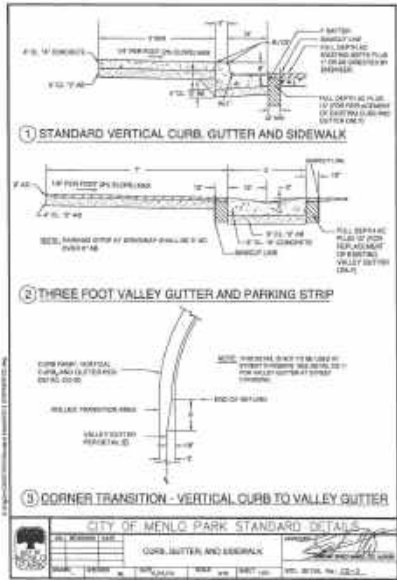
PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS

SHEET
C9.0
OF 13
JOB NO. 23062

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION, IN WHOLE OR IN PART, IS PROHIBITED. NO PART OF THESE PLANS AND SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE ENGINEER OF RECORD. ANY VIOLATION OF THESE RESTRICTIONS SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT AND THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR ANY SUCH VIOLATION.

PLAN # _____ OF _____ SHEET



APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

C51

Construction Details

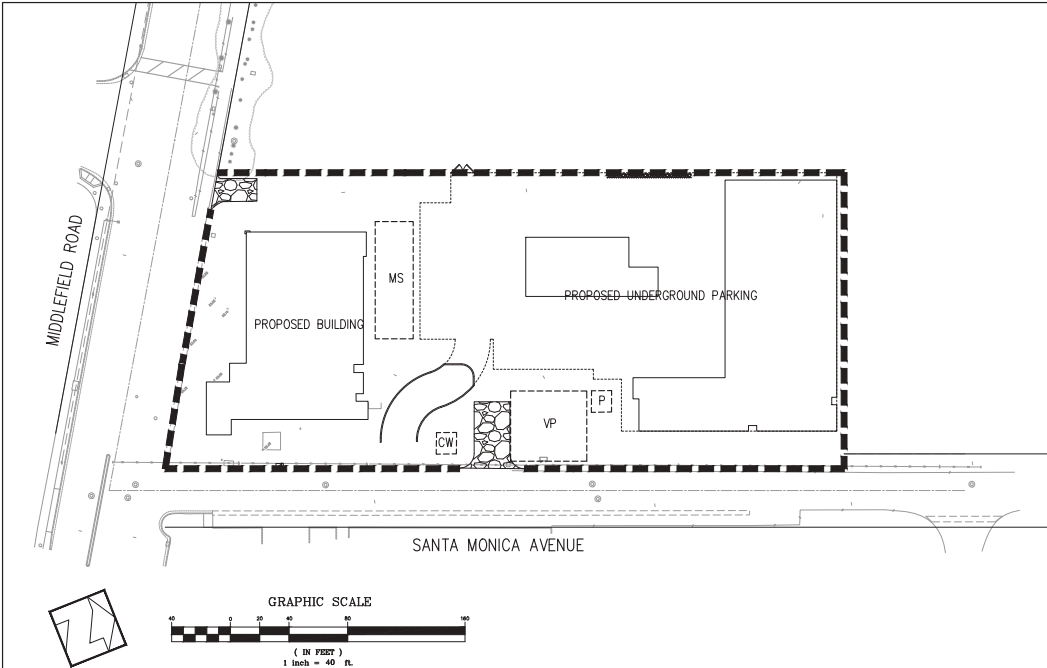
Menlo Park Fire Station No.1 & Training Tower - apr 062-460-100

SAN MATEO COUNTY CALIFORNIA

SHEET
C10.0
JOB NO. 23062

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PLAN #
SHEET
OF



GENERAL NOTES

- CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY;
- METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL;
- SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION;
- PROVISIONS FOR TEMPORARY AND/OR PERMANENT IRRIGATION.

EROSION CONTROL NOTES

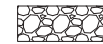
- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
- NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
- A FIBER ROLL BARRIER PER DETAIL SE-4 SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
- ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
- THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
- PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROOF, 3" IN DIAMETER, PLACED OVER WRAPI 500K (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
- ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE CITY INSPECTOR. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL COUNTY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY INSPECTOR'S APPROVAL.
- ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY DURING THE RAINY SEASON. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SILT INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
- ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
- INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED UNDER DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF FLOODING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESLTING METHODS, SUBJECT TO APPROVAL BY THE CITY INSPECTOR.
- F THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

HYDROSEED TABLE

ITEM	LIBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

- ALL GRADING WORK BETWEEN OCTOBER 15th AND APRIL 15th IS AT THE DISCRETION OF THE CITY BUILDING OFFICIAL.
- PROVIDE SHRUBS AND/OR TREES REQUIRED ON SLOPES GREATER THAN 15 FEET IN VERTICAL HEIGHT.
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL WITHIN THE SAN MATEO COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SAN MATEO COUNTY MAINTAINED ROAD RIGHT OF WAY BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMP'S SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING PRACTICES APPLICABLE TO THE PUBLIC ROAD AND EXPRESSWAY FACILITIES:
 - REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
 - PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
 - PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY.
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE CITY MAINTAINED ROAD RIGHT OF WAY SHALL HAVE SEASONALLY APPROPRIATE BMP'S INSTALLED AND MAINTAINED AT ALL TIMES.

LEGEND



CONSTRUCTION ENTRANCE PER
DETAIL TC-1



FIBER ROLL BARRIER PER
DETAIL SE-5



STORM DRAIN INLET PROTECTION
PER DETAIL SE-10



P PORT-O-LET WITH SECONDARY CONTAINMENT



MS MATERIAL STORAGE AND LAYDOWN AREA



VP CONSTRUCTION TRAILER AND VEHICLE PARKING AREA



CW CONCRETE WASHOUT AREA

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:			
DATE	DESCRIPTION	BY:	

HANNA BRUNETTI
CIVIL ENGINEER & LAND SURVEYOR
CONSTRUCTION MANAGERS
785 GILLESPIE STREET #100 • MENLO PARK, CA 94025
OFFICE (415) 664-5171
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: JULY 2024

HORIZ. SCALE: 1"=40'

VERT. SCALE: N/A

DESIGNED BY: AM

CHECKED BY:

DRAWN BY: TM

date: 7/1/2024

signature: Brunetti

Amanda Joy Masy-Verde

R.C.E. # 69278



REFERENCES

MENLO PARK
JULY 2024

Erosion Control Plan

Menlo Park Fire Station No.1 & Training Tower - apr 062-460-100

SAN MATEO COUNTY
CALIFORNIA

SHEET

C11.0

OF 12

JOB NO. 23062

JOB NO. 23062

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

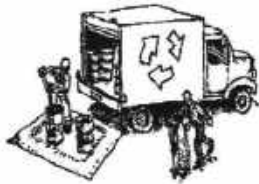
PLAN # _____ OF _____ SHEET _____

SAN MATEO COUNTYWIDE
Water Pollution
Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Haul and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, rebar, gypsum, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, grease, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



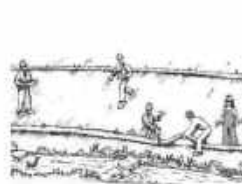
Maintenance and Parking

- Designate an area, lined with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or deep cloth big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment inside using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and oil filter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up soil and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7350 (24 hours).

Earthmoving



Schedule grading and excavation work during dry weather.

- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as filter rolls, silt fences, sediment basins, gravel bags, forms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried trenches, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, top seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sewer cutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in new location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent wastewater from entering storm drains. Block any inlets and vacuum gutters, base, washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by covering them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposal of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped areas or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-off water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and handled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Construction Best Management Practice (BMPs)

Menlo Park Fire Station No.1 & Training Tower - apn 062-460-100

SAN MATEO COUNTY
CALIFORNIA

SHEET
C12.0
OF 12
JOB NO. 23062

APPLICANT: MENLO PARK FIRE PROTECTION DISTRICT ROAD: MIDDLEFIELD ROAD

REVISIONS:

DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
Civil Engineer • LAND SURVEYOR
CONSTRUCTION MANAGER
785 GILBERT STREET SUITE 100 • REDWOOD CITY, CA 94063
OFFICE (415) 842-7171
EMAIL: HANNA@HANNABRUNETTI.COM

DATE: JULY 2024

HORIZ. SCALE: 1"=20'

VERT. SCALE: N/A

DESIGNED BY: AM

CHECKED BY:

DRAWN BY: TM

date:
Hanna Brunetti

Amanda Joy Myster-Vorhe

R.C.E. # 69278



REFERENCES

MENLO PARK
JULY 2024



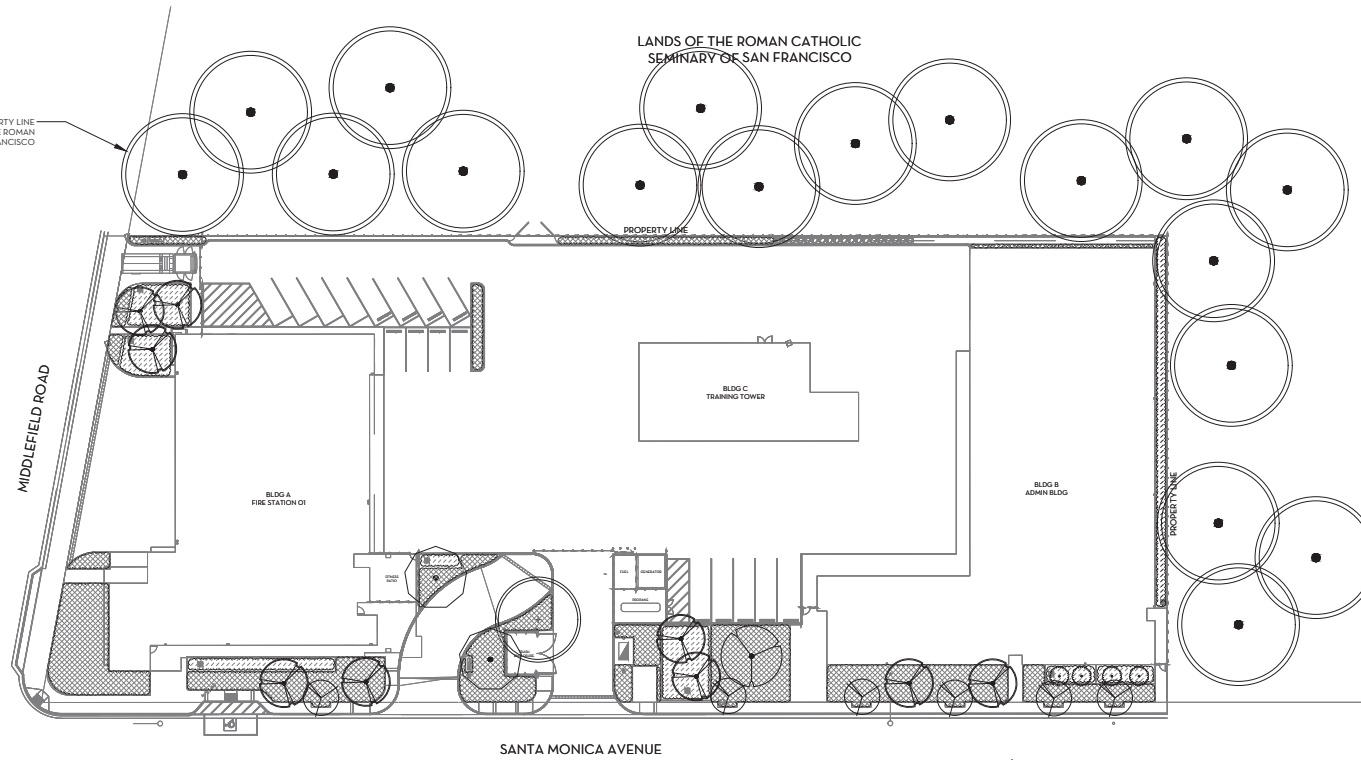
☒ (E) TREE TO BE REMOVED, TYP. REFER TO MENLO PARK FIRE STATION NO. 1 ARBORIST REPORT DATED APRIL 19, 2024 FOR MORE INFORMATION ON TREE SPECIES AND SIZE.

HERITAGE TREES PRESERVED AROUND THE
PROPERTY MUST INCLUDE TREE
PROTECTION AND PROJECT ARBORIST TREE
PROTECTION MONITORING INSPECTIONS
DURING ACTIVE DEMOLITION AND
CONSTRUCTION.

TREE #	NAME	DISPOSITION		DIAM (in.)
		RETAIN	RMV	
1	Saucer magnolia	-	X	30
2	American sweetgum	-	X	27
3	American sweetgum	-	X	20
4	American sweetgum	-	X	25
5	American sweetgum	-	X	19
6	N. CA black walnut	-	X	49
7	Littleleaf linden	-	X	21
8	Littleleaf linden	-	X	25
9	Olive tree	-	X	22
10	Olive tree	-	X	19
11	Olive tree	-	X	19
12	Olive tree	-	X	25
13	Olive tree	-	X	23

TREE #	NAME	DISPOSITION		DIAM (in.)
		RETAIN	RMV	
14	Olive tree	-	X	22
16	Coast live oak	-	X	25
17	Monterey cypress	-	X	48
18	Monterey cypress	-	X	29
19	Monterey cypress	-	X	25
20	Coast live oak	-	X	25
21	Coast live oak	-	X	29
22	Monterey cypress	-	X	20





PRELIMINARY TREE MITIGATION CALCULATIONS

David L. Baker, Registered Consulting Arborist®

April 19, 2024

Pursuant to Section 13.24.090(b) of the Menlo Park Municipal Code, replacements to mitigate the removal of heritage trees shall be of a size and amount equal to or in excess of the trees' appraised values, equating to \$123,600. For reference, the City's *Heritage Tree Ordinance Administrative Guidelines* establishes the following replacement values to determine the amount and size of new trees to mitigate heritage tree removal: 5-gallon container = \$100; 15-gallon container = \$200; 24-inch box = \$400; 36-inch box = \$1,200; 48-inch box = \$5,000; and 60-inch box = \$7,000.

PROJECT NAME: MENLO PARK FIRE STATION NO. 01 PRELIMINARY TREE MITIGATION CALCULATIONS

TREE SIZE	TREE QUANTITY	APPRAISAL VALUE	TOTAL VALUE
60" BOX	10	\$ 7,000.00	\$ 70,000.00
48" BOX	0	\$ 5,000.00	\$ -
36" BOX	0	\$ 1,200.00	\$ -
24" BOX	0	\$ 400.00	\$ -
15 GAL CONTAINER	0	\$ 200.00	\$ -
5 GAL CONTAINER	0	\$ 100.00	\$ -
TOTAL APPRAISAL VALUE OF PROPOSED TREES:			\$ 126,000.00

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Kern
KEVIN P. WILSON, ASLA, CRLA 4728

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT SIZE	QTY
BIORETENTION TREES						
	PODOCARPUS MACROPHYLLUS	YEW PODOCARPUS	15 GAL	MODERATE	18" X 8"	4
LARGE ON-SITE TREES						
	MAGNOLIA X SOULANGEANA 'ALEXANDRINA'	ALEXANDRINA SAUCER MAGNOLIA	36" BOX	MODERATE	25' X 25'	1
	PISTACIA CHINENSIS 'KEITH DAVEY'	FRUITLESS CHINESE PISTACHE	24" BOX	LOW	35' X 35'	1
OFF-SITE TREES						
	QUERCUS AGRIFOLIA	COAST LIVE OAK	60" BOX	LOW	60' X 50'	18
SMALL ON-SITE TREES						
	ACER BUERGERIANUM	TRIDENT MAPLE	15 GAL	MODERATE	25' X 20'	9
	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	15 GAL	VERY LOW	20' X 25'	2
	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI-TRUNK	15 GAL	VERY LOW	15' X 15'	6

PLANT SCHEDULE

BIORETENTION		CHONDROPETALUM TECTORIUM / CAPE RUSH	5 GAL, LOW, 3' X 4'
		JUNCUS PATENS / CALIFORNIA GRAY RUSH	5 GAL, LOW, 2' X 2'
SHRUBS		CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL, LOW, 4' X 2.5'
		DIANELLA REVOLUTA LITTLE REV / LITTLE REV FLAX LILY	1 GAL, LOW, 2.5' X 2'
		LOMANDIA LONGIFOLIA 'PLATINUM BEAUTY' / PLATINUM BEAUTY VARIEGATED MAT RUSH	1 GAL, LOW, 2.5' X 3'
		PENTSTEMON HETEROPHYLLUS 'MARGARITA BOP' / MARGARITA BOP PENTSTEMON	1 GAL, LOW, 2' X 2'
		WESTRINGIA FRUTICOSA 'MORNING LIGHT' / MORNING LIGHT COAST ROSEMARY	5 GAL, LOW, 3' X 3'

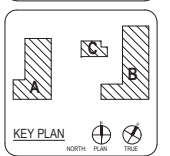


ARCHITECT
SAN LUIS OBISPO
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Professional Engineer - Mechanical
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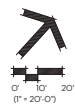
MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER



DRAWING HISTORY		
No.	Description	Date
1	Initial Design	08/15/2023
2	Final Design	08/15/2023

PLANNING DEPARTMENT SUBMITTAL
BUILDING NUMBER

PLANTING PLAN



L1.1



PVC SCHEDULE 40 FOR SIZES 1 1/2" OR SMALLER
SOLVENT WELD SCH. 80 FITTINGS AT 24"
DEPTH. SIZE AS NOTED

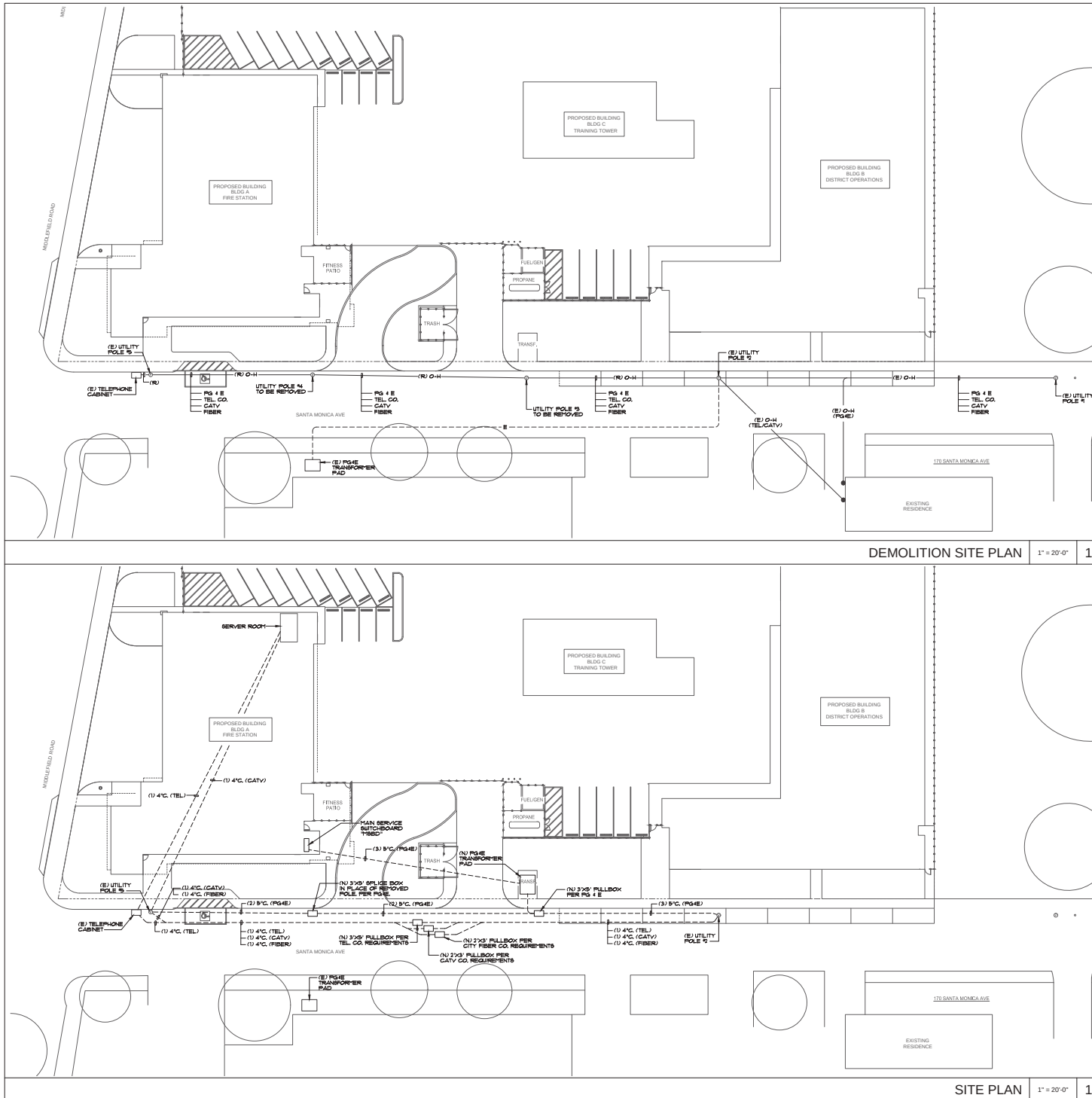
Diagram illustrating the components of a valve callout symbol:

- VALVE CALLOUT
- VALVE TYPE
- VALVE NUMBER
- VALVE FLOW
- VALVE SIZE
- VALVE PRECIP.
- VALVE HYDROZON

SHALL THE SITE RECEIVE FUTURE RECYCLED WATER, THE 1.5" IRRIGATION LINE MUST MAINTAIN A MINIMUM 4' HORIZONTAL CLEARANCE FROM POTABLE WATER LATERALS AND MAINS.

KEITH P. WILSON, ASLA, CRLA 4728





PLAN NOTES

- THE ELECTRICAL CONTRACTOR SHALL CONTACT THE PG&E SELECTING SERVICE PLANNER UPON AWARD OF CONTRACT AND OBTAIN A COPY OF THE ENGINEERING DRAWINGS PRIOR TO INSTALLING THE SERVICE CONDUIT, DUCTS, RISERS, PULL BOXES, PROTECTIVE COVERING, ETC. INDICATED ON PLAN. ALL WORK INDICATED ON THE UTILITY COMPANY ENGINEERING DRAWINGS WHETHER SHOWN ON PLAN OR NOT, SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL INSTALL THE SERVICE IN COMPLIANCE WITH THE SERVING UTILITY COMPANY REQUIREMENTS AND ALL UTILITY COMPANY WORK SHALL BE INSPECTED AND APPROVED BY THE SERVING UTILITY.
- THE ELECTRICAL CONTRACTOR SHALL CONTACT THE TELEPHONE COMPANY ENGINEER PRIOR TO BID AND RECEIVE COMPLETE INFORMATION OF THEIR REQUIREMENTS AND INCLUDE ALL SERVICE COSTS ASSOCIATED WITH THE WORK SHOWN AND INDICATED ON THE PLAN AND SPECIFICATION IN HIS BID. THE ACT OF SUBMITTING THE BID SHALL CONSTITUTE THE FULL RESPONSIBILITY OF THE CONTRACTOR TO INSTALL SERVICE IN COMPLIANCE WITH THE SERVING UTILITY AND TO PAY ALL CHARGES LEVIED BY THE SERVING UTILITY.
- ALL TELEPHONE WORK SHALL BE IN COMPLIANCE WITH THE DRAWINGS AND REQUIREMENTS OF THE TELEPHONE COMPANY. ALL ITEMS SHOWN ON THE DRAWINGS AND THE DRAWINGS OF THE SERVING UTILITY SHALL BE PROVIDED AND/OR INSTALLED BY THE CONTRACTOR AND SHALL BE VERIFIED WITH THE SERVING UTILITY COMPANY.
- CATV SERVICE: THE ELECTRICAL CONTRACTOR SHALL CONTACT THE CATV SERVICE PLANNER UPON AWARD OF CONTRACT AND OBTAIN A COPY OF THE CATV ENGINEERING DRAWINGS PRIOR TO INSTALLING THE SERVICE CONDUIT, DUCTS, RISERS, PULL BOXES, PROTECTIVE COVERING, ETC. INDICATED ON PLAN. ALL WORK INDICATED ON THE UTILITY COMPANY ENGINEERING DRAWINGS WHETHER SHOWN ON PLAN OR NOT, SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL INSTALL THE SERVICE IN COMPLIANCE WITH THE SERVING UTILITY COMPANY REQUIREMENTS AND ALL UTILITY COMPANY WORK SHALL BE INSPECTED AND APPROVED BY THE SERVING UTILITY.
- UTILITY COMPANY ENGINEERING AND PERMIT FEES ASSOCIATED WITH THE WORK SHOWN AND INDICATED ON THE UTILITY COMPANY ENGINEERING DRAWINGS SHALL BE PAID BY THE CITY OF MENLO PARK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/OWNER OF ANY DISCREPANCIES BETWEEN THE UTILITY COMPANY ENGINEERING DRAWINGS AND THIS PLAN PRIOR TO PROCEEDING WITH THE WORK.
- FIBER SERVICE: THE ELECTRICAL CONTRACTOR SHALL CONTACT THE FIBER SERVICE PLANNER UPON AWARD OF CONTRACT AND OBTAIN A COPY OF THE CITY FIBER ENGINEERING DRAWINGS PRIOR TO INSTALLING THE SERVICE CONDUIT, DUCTS, RISERS, PULL BOXES, PROTECTIVE COVERING, ETC. INDICATED ON PLAN. ALL WORK INDICATED ON THE UTILITY COMPANY ENGINEERING DRAWINGS WHETHER SHOWN ON PLAN OR NOT, SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL INSTALL THE SERVICE IN COMPLIANCE WITH THE SERVING UTILITY COMPANY REQUIREMENTS AND ALL UTILITY COMPANY WORK SHALL BE INSPECTED AND APPROVED BY THE SERVING UTILITY.
- UTILITY COMPANY ENGINEERING AND PERMIT FEES ASSOCIATED WITH THE WORK SHOWN AND INDICATED ON THE UTILITY COMPANY ENGINEERING DRAWINGS SHALL BE PAID BY THE CITY OF MENLO PARK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/OWNER OF ANY DISCREPANCIES BETWEEN THE UTILITY COMPANY ENGINEERING DRAWINGS AND THIS PLAN PRIOR TO PROCEEDING WITH THE WORK.
- CONDUIT ROUTING INDICATED ON THESE PLANS IS DIAGNOSTIC. ACTUAL ROUTING OF UNDERGROUND CONDUITS SHALL BE COORDINATED IN THE FIELD TO AVOID INTERFERENCE WITH OTHER UTILITIES AND TRACES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN REQUIRED CLEARANCES BETWEEN UNDERGROUND ELECTRICAL CONDUITS AND FOOTINGS. CONDUIT STUB-UPS SHALL NOT BE INSTALLED IN FOOTING. EXACT METHOD FOR STUBBING-UP CONDUITS AT ROOFING LOCATIONS SHALL BE COORDINATED IN THE FIELD WITH THE GENERAL CONTRACTOR AND ARCHITECT.

OVERHEAD UTILITIES TO UNDERGROUND CONVERSION SCOPE OF WORK

OVERHEAD POWER, TELEPHONE, CATV AND FIBER OPTIC LINES ARE TO BE CONVERTED TO UNDERGROUND BETWEEN UTILITY POLE 5 AND UTILITY POLE 9.

- ## SYMBOL LIST
- O — OVERHEAD CONDUIT RUN
 - — — CONDUIT RUN UNDERGROUND, 1" PVC MINIMUM
 - CONDUIT TURNED DOWN
 - CONDUIT TURNED UP

ARCHITECT

500 LILLY STREET
1327 ALVARO BL, SUITE 110
SANTA MONICA, CA 90401
805-525-5875 P
805-525-5875 F

PEK No.

A&P ENGINEERING GROUP, INC.
400 BUREAU BL, SUITE C, WEST GARDEN, CA 90151
TEL: (909) 461-5265 FAX: (909) 461-5261

CLIENT LOGO

KEY PLAN

NORTH

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 08/22/2024

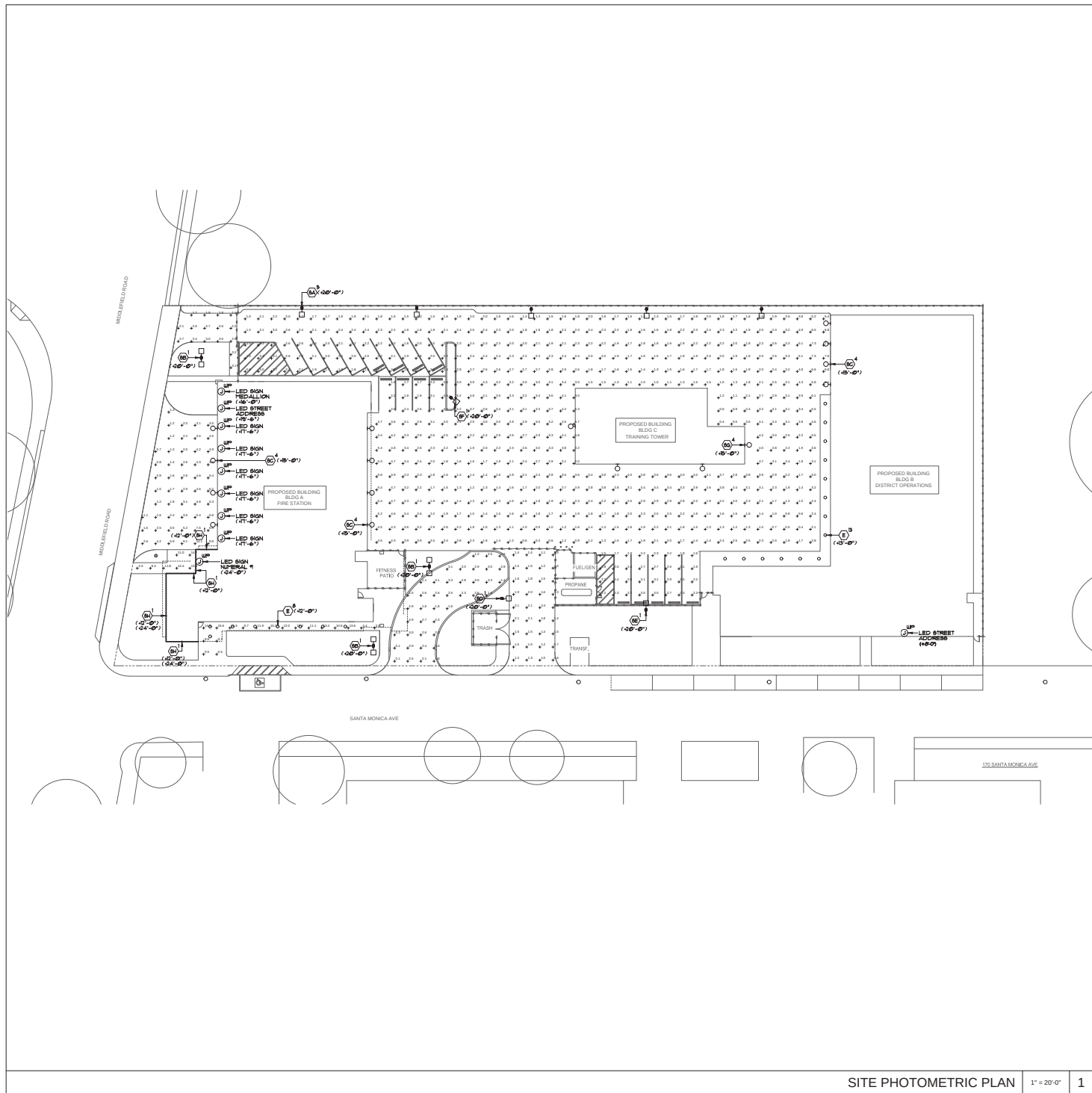
PROJECT NUMBER: 230532

No.	Description	Date
1	Plan Check Cycle #3	07-08-2023

PLANNING DEPARTMENT SUBMITTAL

DRAWING NUMBER:

SITE PLAN



PLAN NOTES

① THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Front Entrance	+	3.6 fc	14.1 fc	0.7 fc	20.1:1	5.1:1
Front Fire Station Driveway	+	2.5 fc	9.5 fc	1.4 fc	7.5:1	1.8:1
Garage Driveway	+	2.3 fc	9.8 fc	0.1 fc	33.0:1	23.0:1
Side Entrance	+	1.5 fc	2.3 fc	0.6 fc	3.8:1	2.5:1
Side Parking	+	3.1 fc	5.8 fc	1.4 fc	4.0:1	2.2:1
Pedestrian Walkway	+	9.6 fc	15.6 fc	0.5 fc	31.2:1	19.2:1
Fire Station Vehicle Hardscape	+	2.5 fc	10.4 fc	0.4 fc	26.0:1	6.3:1

EXTERIOR LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER/ MODEL	LAMP/ TEMP	WATTS/ VOLTAGE	MOUNTING HEIGHT	BUG RATING
AA	US ARCHITECTURAL T8-B-PLE-1V-PT-4LED-30W-4-ABK-TT1-1-18-P31-18-FILED	LED	60W	10'-0"	B3-UG-G2
AB	US ARCHITECTURAL T8-B-PLE-1V-PT-4LED-30W-4-ABK-TT1-1-18-P31-18-FILED	LED	60W	10'-0"	B3-UG-G2
AC	AVP LIGHTING T8-VAS-EP-4LED-30W-4-ABK-ES-PC-1V-18-P31	LED	30W	10'-0"	B3-UG-G1
AD	US ARCHITECTURAL T8-B-PLE-1V-PT-4LED-30W-4-ABK-TT1-1-18-P31	LED	43W	10'-0"	B3-UG-G2
AE	US ARCHITECTURAL T8-B-PLE-1V-PT-4LED-30W-4-ABK-TT1-1-18-P31	LED	60W	10'-0"	B3-UG-G2
AF	US ARCHITECTURAL T8-B-PLE-1V-PT-4LED-30W-4-ABK-TT1-1-18-P31	LED	60W	10'-0"	B3-UG-G3
AG	US ARCHITECTURAL T8-B-PLE-1V-PT-4LED-30W-4-ABK-TT1-1-18-P31	LED	60W	10'-0"	B3-UG-G3
AH	CONTECH LIGHTING M8548-3-ABK-T-8-ANT-CST M85X8085T-8 TLP4-HAB50V20-ENC	LED	30WPT	10'-0"	B6-UG-G0
AI	CONTECH LIGHTING T8V06-4075-AR-LS-ND-1V-VOL-T-02	LED	15W	10'-0"	B3-UG-G0

- SYMBOL LIST**
- □ SINGLE POLE MOUNTED AREA LIGHTING FIXTURE
 - ○ CEILING MOUNTED LED LIGHT FIXTURE. SHADING INDICATES FIXTURE TO BE PROVIDED WITH EMERGENCY BATTERY PACK.
 - ○ WALL MOUNTED LED LIGHT FIXTURE.
 - CEILING MOUNTED LED STRIP LIGHT FIXTURE.
 - ① UP JUNCTION BOX WALL MOUNTED UP = WATER PROOF.
 - ③ LIGHTING FIXTURE IDENTIFICATION SYMBOL. LETTER INDICATES TYPE OF FIXTURE. NUMBER AT TOP OF HEXAGON INDICATES NUMBER OF FIXTURES REQUIRED. NUMBER AT BOTTOM OF HEXAGON INDICATES MOUNTING HEIGHT FROM FLOOR TO BOTTOM OF FIXTURE. ORIENTATION OF MOUNTING HEIGHT INDICATES CEILING MOUNTING.

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1000 N. 10th St., Suite 200, San Jose, CA 95128
408.253.1000

CLIENT LOGO

KEY PLAN

DISCIPLINE

CLIENT

MENLO PARK FIRE PROTECTION DISTRICT

DATE: 08/22/2024 PROJECT NUMBER: 230532

No.	Description	Date
1	Plan Check Cycle #3	07-08-2023

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER:

SITE PHOTOMETRIC PLAN

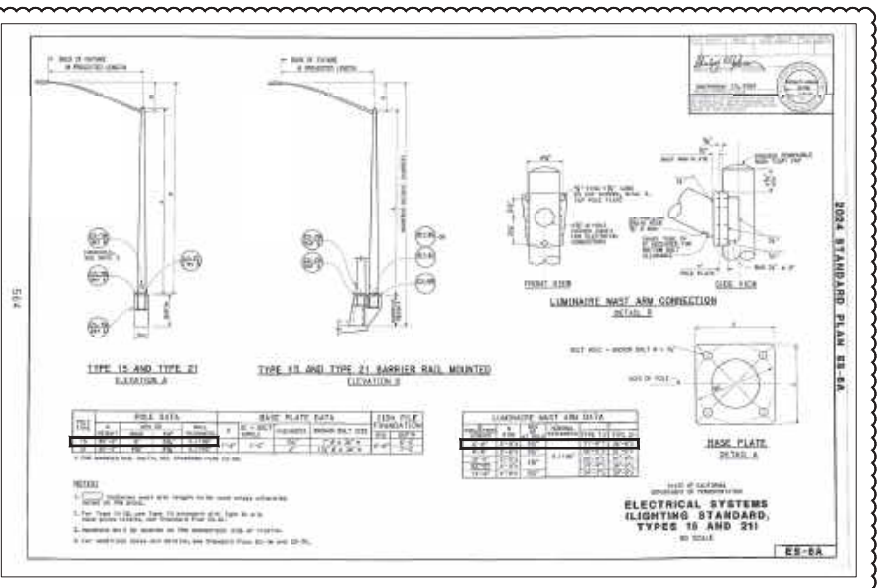
E1.1



● □ SINGLE POLE MOUNTED AREA LIGHTING FIXTURE

³
A
120'-0"

LIGHTING FIXTURE IDENTIFICATION SYMBOL. LETTER INDICATES TYPE OF FIXTURE. NUMERAL AT TOP OF HEXAGON INDICATES NUMBER OF FIXTURES REQUIRED. NUMBER AT BOTTOM OF HEXAGON INDICATES MOUNTING HEIGHT FROM FLOOR TO BOTTOM OF FIXTURE. COMMISSION OF MOUNTING HEIGHT INDICATES CEILING MOUNTING.



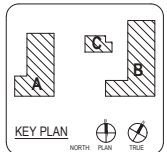


ARCHITECT PBK, INC.
3000 LUGBERRY
1327 Avenue B, Suite 110
San Luis Obispo, CA 93401
805.325.5875 P
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MENLO PARK FIRE STATION NO. 01 & TRAINING TOWER

300 MARSHFIELD ROAD
MENLO PARK, CA 94025



CLIENT
MENLO PARK FIRE PROTECTION DISTRICT

DATE
08/22/2024

PROJECT NUMBER
230532

DRAWING HISTORY

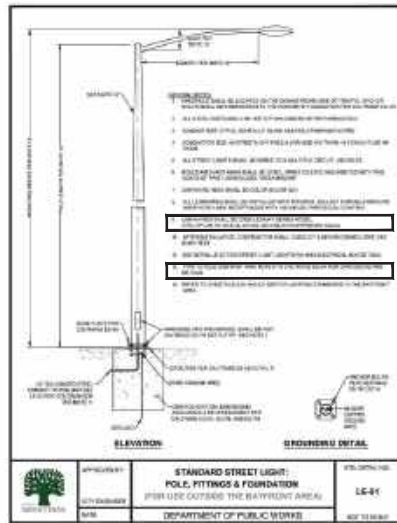
No.	Description	Date
1	Plan Check Cycle #1	07-08-2023

PLANNING DEPARTMENT SUBMITTAL

BUILDING NUMBER

CITY STANDARD
AND FIXTURE
DATA SHEET

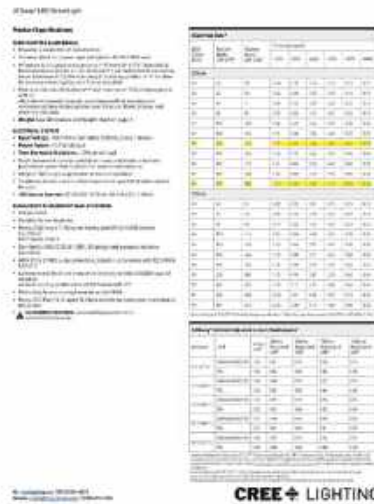
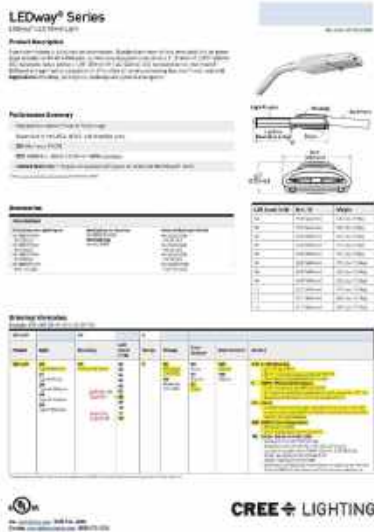
E1.3



CITY STREET LIGHT STANDARD

N.T.S.

1



LIGHT FIXTURE DATA SHEET

N.T.S.

2



ARBORIST REPORT

**MENLO PARK FIRE STATION
NO. 1 & TRAINING TOWER
300 MIDDLEFIELD RD
MENLO PARK, CA
(PLN2024-00043)**

Submitted to:

Menlo Park Fire Protection District
170 Middlefield Road
Menlo Park, CA 94025

Prepared by:

David L. Babby
Registered Consulting Arborist® #399
Board-Certified Master Arborist® #WE-4001B
Menlo Park Business License #73953

Prior: April 19, 2024
Current: December 13, 2024

TABLE OF CONTENTS

	<u>PAGE</u>
EXECUTIVE SUMMARY	1
 <u>SECTION</u> <u>TITLE</u>	
1.0 INTRODUCTION	2
2.0 TREE COUNT AND COMPOSITION	3
3.0 SUITABILITY FOR PRESERVATION	5
4.0 PROPOSED TREE DISPOSITION	6
5.0 APPRAISED TREE VALUES AND REPLACEMENTS	7
6.0 ASSUMPTIONS AND LIMITING CONDITIONS	9

LIST OF TABLES

<u>TABLE</u>	<u>TITLE</u>	
1	TREE COUNT AND COMPOSITION	3
2	HERITAGE TREE REMOVAL SUMMARY	6

EXHIBITS

<u>EXHIBIT</u>	<u>TITLE</u>
A	TREE INVENTORY TABLE (four sheets)
B	SITE MAP (one sheet)
C	PHOTOGRAPHS (five sheets)
D	HERITAGE TREE APPRAISAL CALCULATION TABLE (two sheets)

EXECUTIVE SUMMARY

Menlo Park Fire Protection District is planning for the redevelopment of their Headquarters Fire Station No. 1 at 300 Middlefield Road, Menlo Park (PLN2024-00043). The project is named Menlo Park Fire Station No. 1 & Training Tower, and involves demolishing all existing buildings and constructing three new ones and an underground parking garage. This *Arborist Report* serves to supplemental their planning submittal and disclose the following information regarding 23 trees located within or immediately adjacent to the site: size, condition, and suitability for preservation; heritage and street tree status; proposed disposition; and appraised values for heritage trees and replacement standards. Exhibit A presents details of each tree, Exhibit B contains a site map showing tree locations and assigned numbers, and Exhibit C displays photographs.

Of the 23 inventoried trees, a summary of their heritage, non-heritage and street tree status is as follows:

- Heritage (21 in total): #1-14 and 16-22.
- Non-heritage (2 in total): #15 and 23.
- Street (1 in total): #20 (partially).

All 23 trees are in direct conflict with the proposed design as represented on the 8/30/24 plan set. Of these, all but #15 and 23 are designated as heritage trees.

Table 2 summarizes the underlying reasons for removing the 21 heritage trees, supporting City criteria for removal, and their appraised values.

The combined appraised value of the 23 heritage trees equals \$123,800. As mitigation for their removals, the City requires a replacement plan reflecting a value equal to or exceeding this amount; refer to Section 5.0 of this report for detailed information.

1.0 INTRODUCTION

Menlo Park Fire Protection District plans to redevelop their Headquarters Fire Station No. 1 at 300 Middlefield Road, Menlo Park, to include demolishing all existing buildings and constructing three new ones with an underground parking garage (the project is named Menlo Park Fire Station No. 1 & Training Tower). The site occupies a nearly 2-acre parcel located at the northwest corner of Middlefield Road and Santa Monica Avenue, bordered by Middlefield Road along the south, Santa Monica Avenue along the east, and the Lands of the Roman Catholic Seminary of San Francisco along the north and west boundaries. As part of their design study and future planning submittal, they have retained me to prepare this *Arborist Report*, and specific tasks assigned to execute are as follows (this report represents an update of my prior one to address City comments dated 10/15/24):

- Visit the site on 11/27/23, 12/2/23 and 4/12/24 to document information regarding 23 trees located either: [1] inside the site and having trunk diameters of ≥ 6 inches at 54 inches above grade; [2] on neighboring properties if they are of heritage tree¹ status and either overhang or are within 10 times their trunk diameter from the site; and [3] within the public ROW, either along the frontage or 30 feet from the boundary.
- Measure each tree's trunk diameter pursuant to 13.24.020(5) of the Menlo Park Municipal Code; diameters are rounded to the nearest whole number, and trees listed with more than one are formed by multiple trunks emerging at or below grade.
- Estimate tree heights and average canopy spreads (rounded to the nearest fifth).
- Obtain photographs of each tree; see Exhibit C.
- Identify which are regulated by City Code as heritage trees and/or street trees.
- Appraise the monetary value of each heritage tree.
- Evaluate each tree's health, structure and form, and assign an overall condition rating.
- Determine each tree's suitability for preservation (e.g. high, moderate or low).
- Plot each tree number onto the site map in Exhibit B (base map is the *Site Plan of Proposed Lot Line Adjustment*, prepared by MacLeod and Associates, dated 2/7/18).
- Review the entire plan set prepared by PBK, dated 8/30/24, to ascertain the proposed disposition and impacts.
- Nail round, silver tags with engraved corresponding numbers onto each tree.
- Prepare a written report presenting the above information.

¹ Section 13.24.020(5) of the Menlo Park Municipal Code defines a heritage tree as follows: [1] any oak native to California and having a trunk diameter of ≥ 10 " at 54" above grade; [2] any other tree having a trunk diameter ≥ 15 " at 54" above grade; and [3] any multi-trunk tree $\geq 12'$ tall and with a trunk diameter ≥ 15 " below the main union of trunks, except when the trunks' union occurs below grade, and in which case, each trunk is considered a stand-alone tree.

2.0 TREE COUNT AND COMPOSITION

Twenty-three (23) trees of seven various species were inventoried for this report. They are sequentially numbered and tagged as 1 thru 23, and Table 1 below identifies their common names, assigned numbers, counts and overall percentages.

Table 1 - Tree Count and Composition

NAME	TREE NUMBER(S)	COUNT	% OF TOTAL
American sweetgum	2-5	4	17%
Coast live oak	15, 16, 20 & 21	4	17%
Littleleaf linden	7 & 8	2	9%
N. California black walnut	6	1	4%
Monterey cypress	17-19 & 22	4	17%
Olive tree	9-14 & 23	7	30%
Saucer magnolia	1	1	4%
Total		23	100%

As illustrated in the table above, the site is populated predominantly by olive trees (at 30%), followed by sweetgum, coast live oak and Monterey cypress (each at 17%).

Specific information regarding each tree is presented within the table in Exhibit A. The trees' numbers and locations can be viewed on the site map in Exhibit B, and photographs obtained in 2023 are presented in Exhibit C.

Twenty-one (21) are defined by City Code as heritage trees; they include #1-14 and 16-22. The other two, namely #15 and 23, are regarded as non-heritage trees.

Tree #20 is also defined as a street tree due to its trunk spanning over the eastern property boundary into the public ROW aligning Santa Monica Avenue. The trunks of all other trees are located entirely on private property.

Tree #6's trunk spans over the northern property boundary, and as such, is regarded as being partially offsite and jointly-owned.

Tree #15 is not shown on the site plan survey. I denote its trunk's location on the map in Exhibit B, but note that location is only roughly approximate and should not be construed as being surveyed.

The site plan survey labels three trees which either do not exist or are stumps, and callouts of each are noted on the map in Exhibit B. Of these, one is a stump adjacent to #16; another is also a stump (blanketed by ivy) adjacent to #23; and a third is adjacent to #9 and non-existent.

A general summary of the trees' locations is as follows:

- #1 is located at the east side of the main building, and its canopy spans along and grows away from the structure.
- #2 thru 5 form a row along the west side of the buildings.
- #6 thru 23 occupy the undeveloped section of ground north of the site. Of these, #6 spans the northern property boundary as previously mentioned; #7 and 8 are adjacent to another; #9 thru 14 form a row and grow under crowded conditions beneath and amongst #16 thru 21; and #15 thru 23 form a row along Santa Monica Avenue.

The following are notes regarding a few trees which are adjacent to the site but do not qualify for inclusion in the inventory:

- There is a dead Monterey cypress located immediately north of the site near the street, and I label it as such on the map in Exhibit B.
- There is a N. California black walnut located on the western adjoining property and slightly overhangs the site; its trunk is inside the fence and near the street, and is located nearly 20 feet from the property line. Due to its trunk diameter being measured as 14.9 inches at 54 inches above grade, it was not inventoried for this report due being less than the threshold of 15 inches to qualify as a heritage tree.

3.0 SUITABILITY FOR TREE PRESERVATION

Each tree has been assigned either a “high,” “moderate” or “low” suitability for preservation rating as a means to cumulatively measure its existing health, structural integrity, anticipated life span, remaining life expectancy, prognosis, location, size, particular species, tolerance to construction impacts, growing space, frequency of care needed, and safety to property and persons within striking distance. Descriptions of these ratings are presented below; the high category comprises no trees (0%), the moderate category 13 (57%), and the low category 10 (43%).

High: Applies to none.

These trees appear relatively healthy and structurally stable; have no apparent, significant health issues or structural defects; present a reasonably good potential for contributing long-term to the site; and seemingly require only periodic or regular care and monitoring to maintain their longevity and structural integrity. They are typically the most suitable for retaining and incorporating into the future landscape.

Moderate: Applies to #1-7 and 16-21.

These trees contribute to the site, but at levels less than those assigned a high suitability; might have health and/or structural issues which may or may not be reasonably addressed and properly mitigated; and frequent care is typically required for their remaining lifespan. They may be worth retaining if provided proper care, but not seemingly at significant expense or major design revisions.

Low: Applies to #8-15, 22 and 23.

These trees have significant health and/or structural issues expected to worsen regardless of tree care measures employed (i.e. beyond likely recovery). As a general guideline, they are not suitable to incorporate into the future landscape, and removal is the appropriate action regardless of future redevelopment. Any which are retained require highly frequent pruning, monitoring, and care throughout their remaining lifespans to minimize any safety threat they present to persons and property within striking distance.

4.0 PROPOSED TREE DISPOSITION

Implementing the proposed design requires removing all 23 trees. For the 21 which are of heritage tree status, namely #1-14 and 16-22, information regarding each is summarized in the table below (and continued on the next page), which presents their trunk diameter, underlying reason(s) for removal, supporting City removal criteria,² and appraised value.

Table 2 - Heritage Tree Removal Summary

TREE #	NAME	DIAM (in.)	REASON(S) FOR REMOVAL	CITY RMVL CRITERIA	APPRAISED VALUE
1	Saucer magnolia	30	Public & ADA parking, Bldg A construction, G & D	5	\$10,900
2	American sweetgum	27	Bldg A	5	\$10,600
3	American sweetgum	20	Bldg A	5	\$4,800
4	American sweetgum	25	UG garage, drive lanes	5	\$6,100
5	American sweetgum	19	UG garage, drive lanes	5	\$3,500
6	N. CA black walnut	49	UG garage, Bldg B	5	\$27,400
7	Littleleaf linden	21	UG garage, Bldg B	5	\$8,000
8	Littleleaf linden	25	UG garage, Bldg B	5	\$5,700
9	Olive tree	22	UG garage, Bldg B	3, 5	\$1,000
10	Olive tree	19	UG garage, Bldg B	1, 5	\$200
11	Olive tree	19	UG garage, Bldg B	3, 5	\$1,200
12	Olive tree	25	UG garage, Bldg B	1, 5	\$300
13	Olive tree	23	UG garage, Bldg B	3, 5	\$1,100

² Section 13.24.050(a) of the Menlo Park Municipal Code specifies removal criteria applicable towards obtaining a heritage tree removal permit (for reference, criteria #1 applies to a dead tree, #3 to health, and #5 to development).

Table continued:

TREE #	NAME	DIAM (in.)	REASON(S) FOR REMOVAL	CITY RMVL CRITERIA	APPRAISED VALUE
14	Olive tree	22	UG garage, Bldg B	3, 5	\$1,600
16	Coast live oak	25	Bldg B, G & D, Wlkwy	5	\$5,600
17	Monterey cypress	48	Bldg B, G & D, Wlkwy	5	\$16,700
18	Monterey cypress	29	Bldg B, G & D, Wlkwy	5	\$4,600
19	Monterey cypress	25	Bldg B, G & D, Wlkwy	5	\$3,400
20	Coast live oak	25	Bldg B, G & D, Wlkwy	5	\$3,600
21	Coast live oak	29	Bldg B, G & D, Wlkwy	5	\$6,000
22	Monterey cypress	20	Public & ADA parking, G & D	3, 5	\$1,500

DIAM = Diameter

Wlky = Walkway

UG = Underground

G & D = Grading & Drainage

TOTAL: \$123,800

5.0 APPRAISED TREE VALUES AND REPLACEMENTS

The 21 heritage trees were appraised, and the individual values are listed within the last columns of Exhibits A and D. Combined, their total value equals \$123,800.

Values are calculated using the *Trunk Formula Technique* derived from the 2019 *Guide for Plant Appraisal, 10th Edition*, and in conjunction with the *Species Classification and Group Assignment*, 2004 (published by the Western Chapter of the ISA). This method considers the cost of the largest commonly tree available from a nursery, plus the increase in value due to the larger size of the tree being appraised. The amount is then adjusted or depreciated by numerous factors, such as the particular tree's condition, functional and external limitations.

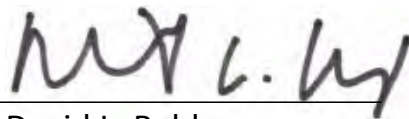
Pursuant to Section 13.24.090(b)³ of the Menlo Park Municipal Code, replacements to mitigate the removal of heritage trees shall be of a size and amount equal to or in excess of the trees' appraised values, equating to \$46,600. For reference, the City's *Heritage Tree Ordinance Administrative Guidelines* establishes the following replacement values to determine the amount and size of new trees to mitigate heritage tree removal: 5-gallon container = \$100; 15-gallon container = \$200; 24-inch box = \$400; 36-inch box = \$1,200; 48-inch box = \$5,000; and 60-inch box = \$7,000.

³ Specific language from Section 13.24.090(b) is as follows: "For development-related removals, the applicant shall provide replacement heritage trees on site in an amount equivalent to the appraised value of the removed heritage tree. The city arborist shall approve the location, size, species and number of replacement heritage trees. If the appraised value of the removed heritage tree exceeds the value of the replacement heritage trees that can be accommodated on the property, the applicant shall pay the difference in value to the heritage tree fund."

6.0 ASSUMPTIONS AND LIMITING CONDITIONS

- Information presented herein covers only inventoried trees, and reflects their size, condition, and areas viewed from the subject site and adjoining streets and sidewalks on 11/27/23, 12/2/23 and 4/12/24. Observations were performed visually and obtained from the ground without any probing, coring, dissecting or excavating.
- The documented condition and suitability ratings of dormant trees are subject to change once they can be observed following their annual regrowth of leaves.
- The assignment pertains solely to trees listed in Exhibit A. I hold no opinion towards other trees on or surrounding the project area.
- I cannot provide a guarantee or warranty, expressed or implied, that deficiencies or problems of any trees or property in question may not arise in the future.
- No assurance can be offered that if all my recommendations and precautionary measures (verbal or in writing) are accepted and followed that the desired results may be achieved.
- I cannot guarantee or be responsible for the accuracy of information provided by others.
- I assume no responsibility for the means and methods used by any person or company implementing recommendations presented in this report.
- Information presented herein represents my opinion. As such, my fee is in no way contingent upon the reporting of a specified finding, conclusion or value.
- Numbers shown on the site map in Exhibit B are solely intended to represent a tree's general location and shall not be construed as surveyed points.
- This report is proprietary to me and may not be copied or reproduced in whole or part without prior written consent. It has been prepared for the sole and exclusive use of the parties to whom submitted.
- If any part of this report or copy thereof be lost or altered, the entire evaluation shall be invalid.

Prepared By:



Date: December 13, 2024

David L. Babby

Registered Consulting Arborist® #399

Board-Certified Master Arborist® #WE-4001B

CA Licensed Tree Service Contractor #796763 (C61/D49)



EXHIBIT A:

TREE INVENTORY TABLE

(four sheets)



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION		Suitability for Preservation (High/Moderate/Low)	REGULATED		Remove	Appraised Value (Heritage Trees)
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Overall Percentage (100%=Best, 0%=Worst)	Overall Description (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree		

1	Saucer magnolia (<i>Magnolia × soulangeana</i>)	30	25	35	50%	Fair	Moderate	X	-	X	\$10,900
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Comments: One-sided form grows vertical along adjacent building and extends low (<6' high) over opposite pedestrian/parking side. Beneath high-voltage wires, and phone/cable wires are routed thru top. Multi-stem form with narrow attachments and bark inclusion. Canopy spread is 40' N to S (parallel to street) and 25' E to W (building to street). Within a planter covered by landscape fabric and river rock, and surrounded by pavement, a wood bench and posts.

2	American sweetgum (<i>Liquidambar styraciflua</i>)	27	55	35	60%	Fair	Moderate	X	-	X	\$10,600
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Comments: Multiple tops. Low canopy, and has a broken limb suspended in upper section. Buried root collar. History of branch failure. Base is within 2' of adjacent driveway. Has a large, old decaying wound at union of multiple leaders.

3	American sweetgum (<i>Liquidambar styraciflua</i>)	20	45	35	50%	Fair	Moderate	X	-	X	\$4,800
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Comments: Multiple tops. Low canopy with a history of limb failure, including a broken limb suspended mid-section. Buried root collar. Sinuous trunk and a thin top. Base is 1' from adjacent driveway.

4	American sweetgum (<i>Liquidambar styraciflua</i>)	25	65	35	40%	Poor	Moderate	X	-	X	\$6,100
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Comments: Has a mostly one-sided canopy with excessive limb weight and a leggy top. Extensively pruned in past, including a few large wounds along the NW side. Adjacent to building, and asphalt and base material cover root zone in other directions. Extensively pruned in past.

5	American sweetgum (<i>Liquidambar styraciflua</i>)	19	45	30	40%	Poor	Moderate	X	-	X	\$3,500
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Comments: Along the trunk's NW side at 6' high is a large decaying wound. Narrow, asymmetrical form with a high canopy along S side due to past limb failure. Extensively pruned in past. Adjacent to building, and asphalt and base material cover root zone in other directions. Also has a buried root collar.

6	N. California black walnut (<i>Juglans hindsii</i>)	49	60	90	40%	Poor	Moderate	X	-	X	\$27,400
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Comments: Trunks spans property line, and is located on opposing side of fence (large cutout for trunk). Unmaintained with *extensive* deadwood and history of limb failure throughout, including many broken limbs and branches suspended in thin canopy. Codominant leaders with a wide attachment emerge at 8' high. Low branches along perimeter reach/near ground. Would require substantial pruning if area beneath or within striking distance was to become occupied.



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION		Suitability for Preservation (High/Moderate/Low)	REGULATED		Remove	Appraised Value (Heritage Trees)
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Overall Percentage (100%=Best, 0%=Worst)	Overall Description (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree		
7	Littleleaf linden (<i>Tilia cordata</i>)	21	35	40	60%	Fair	Moderate	X	-	X	\$8,000
Comments: Limbs emerge at 4' high. Ivy along trunk and into crown. Deadwood and history of branch failure.											
8	Littleleaf linden (<i>Tilia cordata</i>)	25	35	35	30%	Poor	Low	X	-	X	\$5,700
Comments: One-sided crown grows towards SW. At 3.5' high is a large decaying hollow which ascends to 10' high. There is a large old stump near base. Lower canopy contains extensive watersprouts.											
9	Olive tree (<i>Olea europaea</i>)	22	45	20	20%	Poor	Low	X	-	X	\$1,000
Comments: Highly asymmetrical canopy with poor form. Suppressed beneath, and grows vertically thru #21's through #21's canopy. Large deadwood, and a limb failed along the N side at 12' high.											
10	Olive tree (<i>Olea europaea</i>)	19	35	10	5%	Dead	Low	X	-	X	\$200
Comments: 90%+ dead, the only exception being some small branches along upper N side (consider dead). Vertical cracks along trunk and lower crown. Extensive deadwood and suppressed beneath #20.											
11	Olive tree (<i>Olea europaea</i>)	19	30	30	30%	Poor	Low	X	-	X	\$1,200
Comments: Trunk has a N lean, then at 8' high, sweeps towards W. Has large and extensive deadwood. Highly asymmetrical canopy with poor form. Along E side, has a vertical basal crack. Sparse canopy.											
12	Olive tree (<i>Olea europaea</i>)	25	35	10	5%	Dead	Low	X	-	X	\$300
Comments: 90%+ dead, the only exception being a limb towards W (consider dead). At 2' high, trunk bifurcates into codominant leaders and has vertical cracks. High asymmetrical canopy grows away from #17.											
13	Olive tree (<i>Olea europaea</i>)	23	35	35	20%	Poor	Low	X	-	X	\$1,100
Comments: Suppressed beneath and at edge of #16's canopy. One-sided canopy with heavy limb weight and large deadwood throughout. Significant decline - roughly 60% dead. History of limb failure. Low branches near 3.5' above grade.											



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION		Suitability for Preservation (High/Moderate/Low)	REGULATED		Remove	Appraised Value (Heritage Trees)
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Overall Percentage (100%=Best, 0%=Worst)	Overall Description (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree		

14	Olive tree (<i>Olea europaea</i>)	22	45	35	30%	Poor	Low	X	-	X	\$1,600
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Comments: Grows partly beneath #6's canopy. Significant decline, evidenced by large and extensive deadwood throughout, as well as a large vertical crack along trunk. History of limb failure.

15	Coast live oak (<i>Quercus agrifolia</i>)	6, 4	20	15	30%	Poor	Low	-	-	X	-
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Comments: Formed by two trunks emerging at grade, one measuring 4" and another 6.2" - both represent suckers. Asymmetrical growth towards street and high-voltage wires.

16	Coast live oak (<i>Quercus agrifolia</i>)	25	55	50	50%	Fair	Moderate	X	-	X	\$5,600
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Comments: Beneath high-voltage wires, and section beneath consists of a small limb which has been reduced in height. The remaining section rises along the wires' W side, and there is a dead limb along the N. Dense ivy along the trunk's E side, and has low branches along ground. Crown angles N beginning at 3.5' high. History of limb failure and has excessive limb weight.

17	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	48	45	40	40%	Poor	Moderate	X	-	X	\$16,700
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Comments: Grows beneath high-voltage wires, and some branches rise above along the W side. Section of canopy beneath was reduced in height, in a sloped fashion, and has large deadwood throughout. Trunk grows against fence and bifurcates at 5.5' high. Low branches.

18	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	29	55	30	30%	Poor	Moderate	X	-	X	\$4,600
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Comments: Grows partly beneath high-voltage wires, and branches rise above W side. Section below wires was reduced in height (flat top), and canopy rising above has declined, being sparse, thin or dead. Has a very limited canopy. There is large basal depression along S side. Trunk bifurcates at 3.5' high; one vertical leader grows towards the wires and has a highly elevated canopy, and the opposing one divides into multiple limbs, one of which grows several feet against the vertical by several feet (with bark inclusion). Trunk is 3' from #19's. Live and dead ivy stems along trunk. Large deadwood, including a dead limb lying on #11.

19	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	25	30	30	30%	Poor	Moderate	X	-	X	\$3,400
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Comments: Directly beneath high-voltage wires and reduced in height (flat top). Has a very limited and highly elevated canopy growing into #18 and 20. Branches surround utility pole and comm. wires. Trunk is 3' from #18's, and has a large, 2' tall x 8" wide x 6" deep decaying hollow along S side at 4.5' high. Large deadwood. Upper crown curves S towards horizontal. Old, dead ivy stems along trunk.



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION		Suitability for Preservation (High/Moderate/Low)	REGULATED		Remove	Appraised Value (Heritage Trees)
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Overall Percentage (100%=Best, 0%=Worst)	Overall Description (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree		
20	Coast live oak (<i>Quercus agrifolia</i>)	25	50	45	40%	Poor	Moderate	X	X	X	\$3,600

Comments: Trunk partially extends into the public ROW (qualifying it as a street tree). Trunk grows against chain link fence and top rail, and is covered by ivy. Has a large old cut along street side. Section of canopy beneath high-voltage wires has been reduced, and along the W side, several limbs with rangy form rise above the wires.

21	Coast live oak (<i>Quercus agrifolia</i>)	29	45	45	40%	Poor	Moderate	X	-	X	\$6,000
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Comments: Trunk leans SW away from #20, and its canopy is one-sided due to being pruned away from high-voltage wires. Has elongated branches extending a significant distance away from the trunk and at risk of failure due to excessive limb weight. A scaffold limb emerges from the trunk at 4' high, grows SW, and forms some bark inclusion at its attachment. Deadwood.

22	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	20	40	25	20%	Poor	Low	X	-	X	\$1,500
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Comments: Located directly beneath high-voltage wires, the entire canopy being reduced in height (flat), except for one branch rising above the wires along the W side (and the branch top is dead with a smaller broken branch below). Elevated canopy with a very minor amount of foliage (at roughly 20%). Extensive deadwood along top and has many stubs. Its canopy is also suppressed beneath #21's. Trunk bifurcates at 5.5' high, and at the shared union is 8" of bark inclusion with a 3' long decay column below. Buried root collar from spoils.

23	Olive tree (<i>Olea europaea</i>)	11	25	15	40%	Poor	Low	-	-	X	-
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Comments: Grows beneath and curves S away from #22. Beneath high-voltage wires and has been reduced in height sometime ago. Poor, highly asymmetrical form. Low branches over planter along street.

EXHIBIT B:

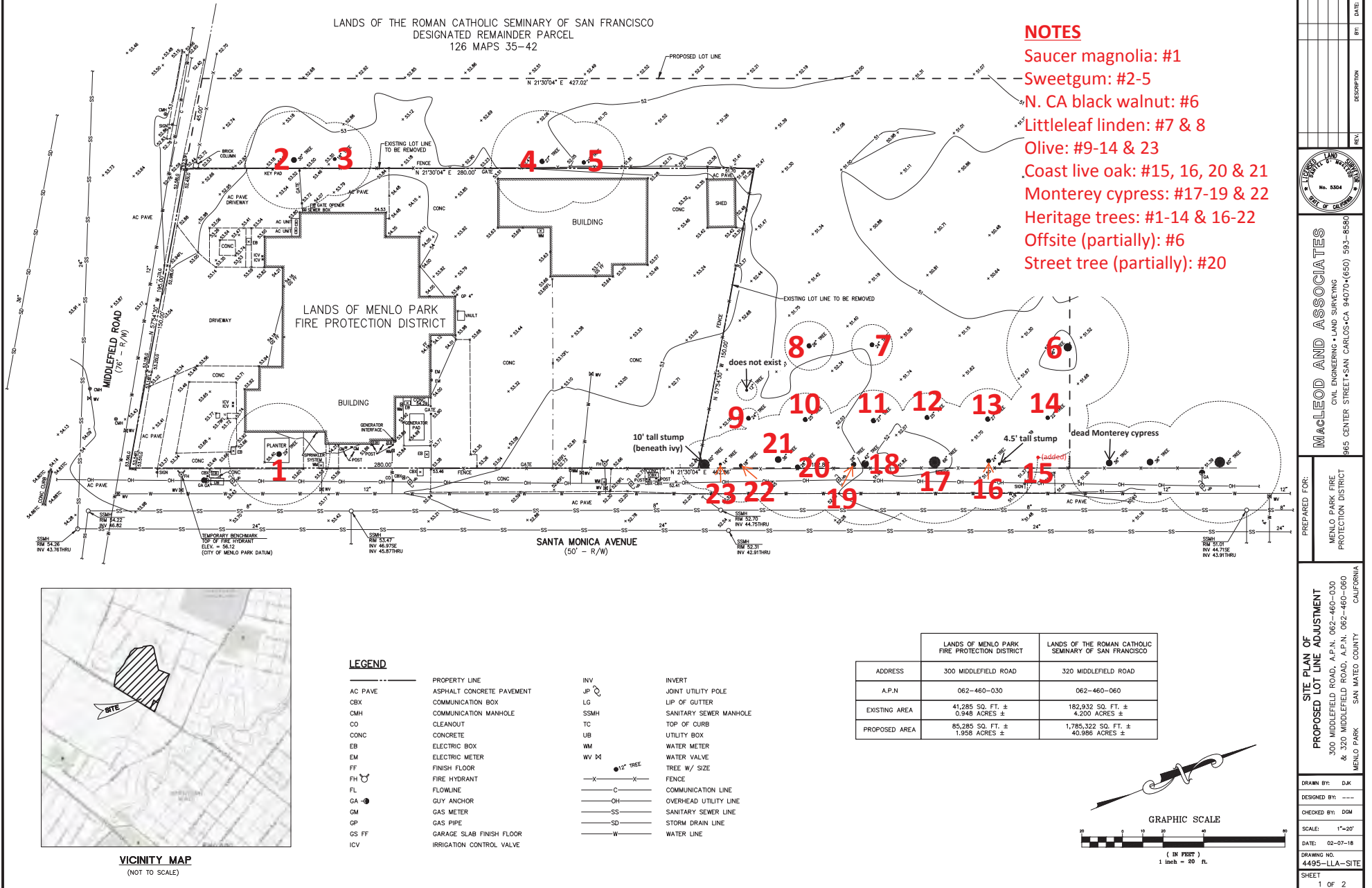
SITE MAP

(one sheet)

LANDS OF THE ROMAN CATHOLIC SEMINARY OF SAN FRANCISCO
DESIGNATED REMAINDER PARCEL
126 MAPS 35-42

NOTES

- Saucer magnolia: #1
- Sweetgum: #2-5
- N. CA black walnut: #6
- Littleleaf linden: #7 & 8
- Olive: #9-14 & 23
- Coast live oak: #15, 16, 20 & 21
- Monterey cypress: #17-19 & 22
- Heritage trees: #1-14 & 16-22
- Offsite (partially): #6
- Street tree (partially): #20



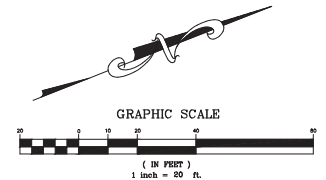
LEGEND

- AC PAVE
- CBX
- CMH
- CO
- CONC
- EB
- EM
- FF
- FL
- GA
- GM
- GP
- GS FF
- ICV

- PROPERTY LINE
- JP
- LG
- SSMH
- TC
- UB
- WM
- WV M
- ASPHALT CONCRETE PAVEMENT
- COMMUNICATION BOX
- COMMUNICATION MANHOLE
- CLEANOUT
- CONCRETE
- ELECTRIC BOX
- ELECTRIC METER
- FINISH FLOOR
- FIRE HYDRANT
- FLOWLINE
- GUY ANCHOR
- GAS METER
- GAS PIPE
- GARAGE SLAB FINISH FLOOR
- IRRIGATION CONTROL VALVE

- INV
- JP
- LG
- SSMH
- TC
- UB
- WM
- WV M
- 12" TREE
- JOINT UTILITY POLE
- LIP OF GUTTER
- SANITARY SEWER MANHOLE
- TOP OF CURB
- UTILITY BOX
- WATER METER
- WATER VALVE
- TREE W/ SIZE
- FENCE
- COMMUNICATION LINE
- OVERHEAD UTILITY LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- WATER LINE

	LANDS OF MENLO PARK FIRE PROTECTION DISTRICT	LANDS OF THE ROMAN CATHOLIC SEMINARY OF SAN FRANCISCO
ADDRESS	300 MIDDLEFIELD ROAD	320 MIDDLEFIELD ROAD
A.P.N.	062-460-030	062-460-060
EXISTING AREA	41,285 SQ. FT. ± 0.948 ACRES ±	182,932 SQ. FT. ± 4.200 ACRES ±
PROPOSED AREA	85,285 SQ. FT. ± 1.958 ACRES ±	1,785,322 SQ. FT. ± 40.986 ACRES ±



DATE: _____

BY: _____

DESCRIPTION: _____

REV: _____

LAND SURVEYING

No. 5304

STATE OF CALIFORNIA

MACLEOD AND ASSOCIATES

CIVIL ENGINEERING • LAND SURVEYING

965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR:

MENLO PARK FIRE PROTECTION DISTRICT

SITE PLAN OF PROPOSED LOT LINE ADJUSTMENT

300 MIDDLEFIELD ROAD, A.P.N. 062-460-030 & 320 MIDDLEFIELD ROAD, A.P.N. 062-460-060

MENLO PARK SAN MATEO COUNTY CALIFORNIA

DRAWN BY: DJK

DESIGNED BY: ----

CHECKED BY: DOM

SCALE: 1"=20'

DATE: 02-07-18

DRAWING NO. 4495-LLA-SITE

SHEET 1 OF 2

EXHIBIT C:

PHOTOGRAPHS

(five sheets)

Photo Index

Page C-1: Trees #1 thru 6

Page C-4: Trees #16 thru 21

Page C-2: Trees #7 thru 11

Page C-5: Trees #21 thru 23

Page C-3: Trees #12 thru 16





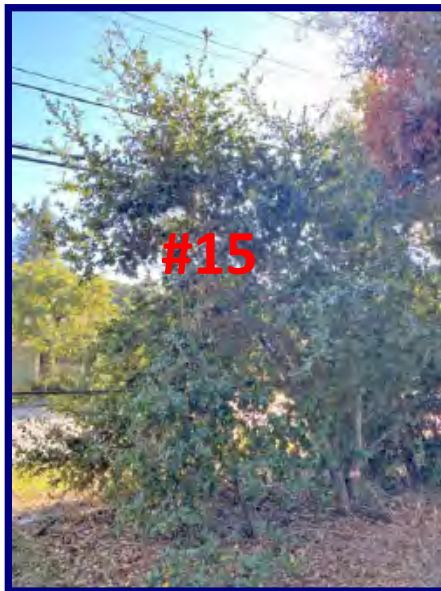






EXHIBIT D:

TREE APPRAISAL CALCULATION TABLE

(two sheets)



HERITAGE TREE APPRAISAL CALCULATION TABLE

TREE/ TAG NO.	TREE NAME	SIZE		Replacement Tree Basic Price (inch) ²	Basic Cost (Cross Sectional Area x Basic Price)	DEPRECIATION FACTORS			Total Depreciated Cost	Appraised Value (round to nearest \$100)
		Trunk Diameter (in.)	Cross Sectional Area			Overall Condition Rating	Functional Limitations	External Limitations		
1	Saucer magnolia (<i>Magnolia × soulangeana</i>)	30	706.86	77.04	\$54,456	50%	40%	100%	\$10,891	\$10,900
2	American sweetgum (<i>Liquidambar styraciflua</i>)	27	572.56	77.04	\$44,110	60%	40%	100%	\$10,586	\$10,600
3	American sweetgum (<i>Liquidambar styraciflua</i>)	20	314.16	77.04	\$24,203	50%	40%	100%	\$4,841	\$4,800
4	American sweetgum (<i>Liquidambar styraciflua</i>)	25	490.88	77.04	\$37,817	40%	40%	100%	\$6,051	\$6,100
5	American sweetgum (<i>Liquidambar styraciflua</i>)	19	283.53	77.04	\$21,843	40%	40%	100%	\$3,495	\$3,500
6	N. California black walnut (<i>Juglans hindsii</i>)	49	1885.75	45.46	\$85,726	40%	80%	100%	\$27,432	\$27,400
7	Littleleaf linden (<i>Tilia cordata</i>)	21	346.36	77.04	\$26,684	60%	50%	100%	\$8,005	\$8,000
8	Littleleaf linden (<i>Tilia cordata</i>)	25	490.88	77.04	\$37,817	30%	50%	100%	\$5,673	\$5,700
9	Olive tree (<i>Olea europaea</i>)	22	380.13	45.46	\$17,281	20%	30%	100%	\$1,037	\$1,000
10	Olive tree (<i>Olea europaea</i>)	19	283.53	45.46	\$12,889	5%	30%	100%	\$193	\$200
11	Olive tree (<i>Olea europaea</i>)	19	283.53	45.46	\$12,889	30%	30%	100%	\$1,160	\$1,200
12	Olive tree (<i>Olea europaea</i>)	25	490.88	45.46	\$22,315	5%	30%	100%	\$335	\$300
13	Olive tree (<i>Olea europaea</i>)	23	415.48	45.46	\$18,888	20%	30%	100%	\$1,133	\$1,100
14	Olive tree (<i>Olea europaea</i>)	22	380.13	45.46	\$17,281	30%	30%	100%	\$1,555	\$1,600
16	Coast live oak (<i>Quercus agrifolia</i>)	25	490.88	45.46	\$22,315	50%	50%	100%	\$5,579	\$5,600
17	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	48	1809.56	77.04	\$139,409	40%	30%	100%	\$16,729	\$16,700
18	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	29	660.52	77.04	\$50,887	30%	30%	100%	\$4,580	\$4,600



HERITAGE TREE APPRAISAL CALCULATION TABLE

TREE/ TAG NO.	TREE NAME	SIZE		Replacement Tree Basic Price (inch) ²	Basic Cost (Cross Sectional Area x Basic Price)	DEPRECIATION FACTORS			Total Depreciated Cost	Appraised Value (round to nearest \$100)
		Trunk Diameter (in.)	Cross Sectional Area			Overall Condition Rating	Functional Limitations	External Limitations		
19	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	25	490.88	77.04	\$37,817	30%	30%	100%	\$3,404	\$3,400
20	Coast live oak (<i>Quercus agrifolia</i>)	25	490.88	45.46	\$22,315	40%	40%	100%	\$3,570	\$3,600
21	Coast live oak (<i>Quercus agrifolia</i>)	29	660.52	45.46	\$30,027	40%	50%	100%	\$6,005	\$6,000
22	Monterey cypress (<i>Hesperocyparis macrocarpa</i>)	20	314.16	77.04	\$24,203	20%	30%	100%	\$1,452	\$1,500



ARBOR RESOURCES

professional consulting arborists and tree care

ARBORIST REPORT

**MENLO PARK TEMPORARY
FIRE STATION NO. 1
114 SANTA MARGARITA AVE
MENLO PARK, CA
(APN 062-272-610)**

Submitted to:

Menlo Park Fire Protection District
170 Middlefield Road
Menlo Park, CA 94025

Prepared by:

David L. Babby
Registered Consulting Arborist® #399
Board-Certified Master Arborist® #WE-4001B
Menlo Park Business License #73953

July 18, 2025

TABLE OF CONTENTS

<u>SECTION</u>	<u>TITLE</u>	<u>PAGE</u>
1.0	INTRODUCTION	1
2.0	TREE DESCRIPTION	2
3.0	SUITABILITY FOR PRESERVATION	3
4.0	IMPACT ANALYSIS	4
5.0	APPRAISED TREE VALUES AND REPLACEMENTS	6
6.0	TREE PROTECTION MEASURES	7
6.1	Design Guidelines	7
6.2	Before Demolition, Grading and Construction	8
6.3	During Demolition, Grading and Construction	10
7.0	ASSUMPTIONS AND LIMITING CONDITIONS	12

EXHIBITS

<u>EXHIBIT</u>	<u>TITLE</u>
A	TREE INVENTORY TABLE (one sheet)
B	SITE MAP (one sheet)
C	PHOTOGRAPHS (four sheets)
D	HERITAGE TREE APPRAISAL CALCULATION TABLE (one sheet)

1.0 INTRODUCTION

Menlo Park Fire Protection District plans to utilize 114 Santa Margarita Avenue as a temporary fire station during the construction of Fire Station No. 1 at 300 Middlefield Road. The project is named Menlo Park Temp Fire Station No. 1, and involves demolishing the existing home and sections of asphalt pavement; installing a new driveway and pavement; and placing a fire station trailer, apparatus bay tent, utility trailer and Conex box. Due to the site being occupied by four heritage trees,¹ the district has retained me to prepare this report, and specific tasks assigned to execute are as follows:

- Visit the site on 4/25/25 and 6/27/25 to document information of the four trees, which account for all located inside the property and with trunk diameters of ≥ 6 inches (at 54 inches above grade); heritage trees on neighboring properties if they overhang the site or are within 10 times their trunk diameters; and those within the public ROW, either along the frontage or within 30 feet from the boundaries.
- Measure each trunk diameter pursuant to 13.24.020(5) of the Menlo Park Municipal Code; diameters are rounded to the nearest whole number.
- Estimate tree heights and average canopy spreads (rounded to the nearest fifth).
- Obtain photographs of each tree; see Exhibit C.
- Evaluate each tree's health, structure and form, and assign an overall condition rating.
- Determine each tree's suitability for preservation (e.g. high, moderate or low).
- Appraise their monetary values.
- Assign numbers 24 thru 27, which represent a continuation of the sequential pattern already established for the future Fire Station No. 1.
- Nail round silver tags with engraved, corresponding numbers onto each trunk.
- Plot each tree number onto the site map in Exhibit B (base map is a copy of the *Topography Map* prepared by Hanna Brunetti, dated July 2025).
- Review an undated aerial map showing the proposed driveway and trailer configuration, and discuss potential options with the district to limit impacts while achieving required project parameters for the temporary station.
- Prepare a written report presenting the above information, and email a copy as a PDF document.

¹ Section 13.24.020(5) of the Menlo Park Municipal Code defines a heritage tree as follows: [1] any oak native to California and having a trunk diameter of ≥ 10 " at 54" above grade; [2] any other tree having a trunk diameter ≥ 15 " at 54" above grade; and [3] any multi-trunk tree $\geq 12'$ tall and with a trunk diameter ≥ 15 " below the main union of trunks, except when the trunks' union occurs below grade, and in which case, each trunk is considered a stand-alone tree.

2.0 TREE DESCRIPTION

The four (4) trees include two coast redwoods (#24 and 26) and two shamel ash (#25 and 27). Tree #24 is located in front of the existing residence; #25 is along the front, west side of the property; #26 is along the rear, southern boundary; and #27 is along the rear, eastern boundary. Note that all compass references mentioned in this report consider project north being towards Santa Margarita Avenue.

The trunks of #26 and 27 also span over the respective south and east boundaries, and as such, are regarded as being partially offsite and jointly-owned.

Specific information regarding each tree is presented within the table in Exhibit A. The trees' numbers and locations can be viewed on the site map in Exhibit B, and photographs are presented in Exhibit C.

All four qualify as heritage trees pursuant to Section 13.24.020(5)(A) of the Menlo Park Municipal Code due to having trunk diameters exceeding the minimal trunk diameter threshold of 15 inches for trees other than native oaks.

A summary of the trees' sizes and conditions is as follows:

- #24 (redwood): 66" trunk diameter, 100' tall, 50' canopy spread, fair health, poor structure and good form.
- #25 (ash): 44" trunk diameter, 60' tall, 60' canopy spread, good health, poor structure and fair form.
- #26 (redwood): 72" trunk diameter, 120' tall, 65' canopy spread, poor health, good structure and good form.
- #27 (ash): 28" trunk diameter, 45' tall, 45' canopy spread, fair health, poor structure and fair form.

3.0 SUITABILITY FOR TREE PRESERVATION

Each tree has been assigned either a “high,” “moderate” or “low” suitability for preservation rating as a means to cumulatively measure its existing health, structural integrity, anticipated life span, remaining life expectancy, prognosis, location, size, particular species, tolerance to construction impacts, growing space, frequency of care needed, and safety to property and persons within striking distance. Descriptions of these ratings are presented below, and the high category comprises no trees (0%), the moderate category three (75%), and the low category one (25%).

High: Applies to none.

These trees appear relatively healthy and structurally stable; have no apparent, significant health issues or structural defects; present a reasonably good potential for contributing long-term to the site; and seemingly require only periodic or regular care and monitoring to maintain their longevity and structural integrity. They are typically the most suitable for retaining and incorporating into the future landscape.

Moderate: Applies to #24 thru 26.

These trees contribute to the site, but at levels less than those assigned a high suitability; might have health and/or structural issues which may or may not be reasonably addressed and properly mitigated; and frequent care is typically required for their remaining lifespan. They may be worth retaining if provided proper care, but not seemingly at significant expense or major design revisions.

Low: Applies to #27.

This ash tree has significant health and/or structural issues which cannot be reasonably mitigated. As a general guideline, it is unsuitable to incorporate into the future landscape, and removal is the appropriate action regardless of the upcoming site renovation. If retained, highly frequent pruning, monitoring, and care is needed throughout its remaining lifespan to minimize any safety threat to persons and property within striking distance.

4.0 IMPACT ANALYSIS

PROPOSED REMOVAL (#24)

Implementing the proposed design requires removing coast redwood #24 due to its trunk being in conflict with the future driveway proposed along the lot's eastern section. The driveway's proposed 20-foot wide entry is necessitated and constrained by the lot size and dimensions, and requires being located and configured so the fire station trailer and apparatus bay tent can be properly placed to provide sufficient space for the fire engine and ambulance to travel and park. Note that a heritage tree removal application will be needed, and would occur under City removal criteria #5.²

An additional noteworthy item includes it having a significant structural defect where the main trunk bifurcates into codominant leaders at 12 feet high, and at their shared union, a weak attachment is formed. Of particular concern is the attachment being located so low in its crown, increasing the potential for one or both leaders to break. Measures to address and potentially abate this defect include significantly reducing the height, installing a cable support, and performing highly frequent inspections and maintenance. The height reduction component, however, would dramatically and adversely change its appearance and function to the extent that removal becomes a practical and viable option, regardless of the proposed project.

If retention is required, design considerations to achieve some minimal level of protection are listed below, and applies to the area up to the existing home's foundation, up to the existing asphalt sidewalk, up to the property boundary, and 20 feet from its trunk in all other directions (i.e. its Tree Protection Zone, or TPZ, hereinafter). Note that even with close adherence to the below design considerations, the tree may still be irreparably impacted due to the amount of root area affected, and the substantial compaction and load requirements of a fire engine.

- a. The nearest driveway edge should be at least 6.5 feet from the trunk's closest side (which represents the closest edge of the existing walkway).

² Section 13.24.050(a) of the City Code specifies removal criteria applicable towards obtaining a heritage tree removal permit (for reference, criteria #1 applies to a dead tree, #3 to health and #5 to development).

- b. The driveway surface, base material, edging and forms should be established entirely above-grade (i.e. no-dig design), and direct compaction of soil grade must be avoided. These specifications can be achieved by utilizing Tensar® BX Geogrid pinned on existing soil grade, then base material spread on top and compacted to the necessary proctor density. A possible superior design includes omitting base material altogether, and designing a thickened and super-reinforced, concrete driveway surface. Soil fill used to bevel the top of drive to grade must be sharply sloped and not be piled against the trunk. Also, ensure the approach can rise sharply from the street to achieve the raised elevation.
- c. In the event base material is needed within the TPZ and requires being placed beneath existing grade, it shall consist of CU-Structural Soil.™ The process involved with installing this material is time consuming, with the initial step utilizing an Air-Spade® to remove soil to the required subgrade depth, then manually spreading the material around all exposed roots ≥1-inch in diameter. Subgrade must not be directly compacted, but the structural soil can be compacted to the necessary proctor density. The driveway surface would then be poured on top. There may also be the need to manually remove any existing base underlying the artificial turf.

RETAINED TREES (#25 thru 27)

Protecting #25 thru 27 appears highly probable by retaining existing asphalt paving³ and avoiding trenching or other ground disturbance within their following TPZs (which are also delineated on the map in Exhibit B):

- #25: 15 feet N, S and E from its trunk; up to the existing fence; and a rectangular pattern in all other directions.
- #26: 20 feet N, S and E, and a rectangular pattern in all other directions.
- #27: 12 feet N, S and E from its trunk; up to the existing home's foundation; and a rectangular pattern in all other directions.

Additional protection measures are presented within Section 6.0 of this report, and should be carefully followed and incorporated into the design.

³ The application of seal coat or slurry seal of existing asphalt is acceptable provided no materials are placed or spread on unpaved ground within a TPZ.

5.0 APPRAISED TREE VALUES AND REPLACEMENTS

The four heritage trees were appraised, and the individual values are listed within the last columns of Exhibits A and D. Combined, their total value equals \$82,900.

Values are calculated using the *Trunk Formula Technique* derived from the 2019 *Guide for Plant Appraisal, 10th Edition*, and in conjunction with the *Species Classification and Group Assignment*, 2004 (published by the Western Chapter of the ISA). This method considers the cost of the largest commonly tree available from a nursery, plus the increase in value due to the larger size of the tree being appraised. The amount is then adjusted or depreciated by numerous factors, such as the particular tree's condition, functional and external limitations.

Pursuant to Section 13.24.090(b)⁴ of the Menlo Park Municipal Code, replacements to mitigate the removal of a heritage tree shall be of a size and amount equal to or in excess of its appraised value. For removing heritage tree #24, replacements would need to equal or exceed its value of \$29,900. As reference, the City's *Heritage Tree Ordinance Administrative Guidelines* establishes the following replacement values to determine the amount and size of new trees to mitigate heritage tree removal: 5-gallon container = \$100; 15-gallon container = \$200; 24-inch box = \$400; 36-inch box = \$1,200; 48-inch box = \$5,000; and 60-inch box = \$7,000.

⁴ Specific language from Section 13.24.090(b) is as follows: "For development-related removals, the applicant shall provide replacement heritage trees on site in an amount equivalent to the appraised value of the removed heritage tree. The city arborist shall approve the location, size, species and number of replacement heritage trees. If the appraised value of the removed heritage tree exceeds the value of the replacement heritage trees that can be accommodated on the property, the applicant shall pay the difference in value to the heritage tree fund."

6.0 TREE PROTECTION MEASURES

Recommendations presented within this section consider the proposed design, and serve as protection measures to help mitigate or avoid impacts to heritage trees being retained. They should be carefully followed and incorporated into project plans, and I (hereinafter "project arborist") should be consulted in the event any cannot be feasibly implemented. Please note that all referenced distances from trunks are intended to be from their outermost perimeter near soil grade.

6.1 Design Guidelines

1. Tree Protections Zones (TPZs) are listed within Section 4.0 and are also delineated on the map in Exhibit B. Where within these setbacks, all approved work must be manually performed without the operation or travel of heavy equipment, including small tractors; highly mitigated (e.g. hand-digging and root retention); and conducted under supervision of the project arborist. In general, a TPZ is intended to restrict or highly limit the following activities within specified distances: removing asphalt, trenching, soil surface scraping, compaction, mass/finish-grading, overexcavation, subexcavation, tilling, ripping, swales, bioswales, storm drains, dissipaters, equipment cleaning, removal of underground utilities and vaults, altering existing water/drainage flows, stockpiling and dumping of materials, and equipment and vehicle operation. In the event an impact encroaches slightly within a setback, it can be reviewed on a case-by-case basis by the project arborist to determine whether measures can sufficiently mitigate impacts to less-than-significant levels.
2. On all site-related plans, add each trunk location and assigned number and delineate their TPZs reflected in Exhibit B. Also, include the following note (or notes) on the demolition and site plans: all protection measures specified within the Arborist Report shall be followed; existing asphalt within the TPZs shall remain; no ground work is permitted within TPZs, including trenching for utilities or storm drains; and the placement of temporary facilities within a TPZ shall be on existing asphalt only, require no digging for footings, supervised by the project arborist.
3. Avoid specifying hardscape over existing unpaved areas within a TPZ.

4. Should erosion control measures be required, add a note onto the related plan specifying that any installed within a TPZ shall be established up against or beyond curbs, and require a maximum vertical soil cut of 2 inches for their embedment.
5. The temporary and permanent drainage design, including downspouts, should not require water being discharged towards a tree's trunk.
6. Adhere to the following additional guidelines for any new landscape:
 - a. Establish irrigation and lighting features beyond TPZs (e.g. main line, lateral lines, valve boxes, wiring, electrical lines, controllers, sensors, backflow preventers and meters). For any line(s) where this is not feasible, route them in a radial direction to a tree's trunk, and terminate a specific distance from a trunk (versus crossing past it). The routes and overall layout should be reviewed with the project arborist prior to any trenching or excavation occurring, and note that any open trench may require being dug using an AirSpade.® Irrigation inside TPZs should consist of Netafim soaker hoses, or equivalent, laid on grade and covered by mulch. Additionally, header lines should terminate beyond TPZs.
 - b. Avoid tilling, ripping and compaction within TPZs.
 - c. Establish any bender board or other edging material within TPZs to be on top of existing soil grade (such as by using vertical stakes).
 - d. Utilize a 3- to 4-inch layer of coarse wood chips or other high-quality mulch for new ground cover beneath canopies (avoid using gorilla hair, bark or rock, stone, gravel, black plastic or other synthetic ground cover). Do not pile mulch against trunk, rather taper the depth to 1/2- or 1/4-inch at the trunk.
7. Avoid specifying to apply herbicide in a TPZ; any used on site should be labeled for safe use near trees. Also, liming shall not occur within 50 feet from a tree's canopy.

6.2 Before Demolition, Grading and Construction

8. Conduct a site meeting between the general contractor and project arborist several weeks prior to demolition for the purpose of reviewing staked locations, tree fencing, routes of access, watering, trenching, staging and other protection measures presented in this report. These items are detailed within this report.

9. Provide supplemental and potable over unpaved ground beneath their canopies, beginning as soon as possible prior to demolition, and continuing throughout construction. The methodology, frequency and amounts can be reviewed with the project arborist, and possible methodologies include flooding the ground or deep-root injection.
10. Manually spread a 4- to 6-inch layer of coarse wood chips (¼- to ¾-inch in size) over unpaved ground within TPZs of #25 and 26 (up to, but not piled against their trunks). The chips shall be derived from a tree-service company and approved by the project arborist beforehand.
11. Prior to demolition and mobilizing equipment to the site, install tree protection fencing to restrict access inside unpaved areas of TPZs. For this particular site and project, due to the extent of existing pavement and size of the trees' root crowns at the asphalt edges (where driven posts would adversely impact the trees), fencing should consist of 6-foot tall chain link panels mounted on concrete blocks or metals stands and made immobile. It shall be kept in place and upright throughout construction, and removed or modified only under the knowledge and direct consent of the project arborist. Note that fencing must remain on existing asphalt and not encroach inside unpaved areas of TPZs, and the sections of existing paved areas of TPZs can be utilized during construction to provide space to temporarily place materials; parking vehicles; operate equipment; and accommodate the fire station trailers, apparatus bay tent, and Conex box.
12. Signs of 8.5- by 11-inch in size (minimum) shall be affixed to each long side of fence and contain the following language: "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL BY THE CITY ARBORIST."
13. Once tree fencing has been installed, the project arborist shall revisit the site to inspect and confirm protection adheres to instructions within this report. A verification letter, to include photos, shall be subsequently prepared. Also, note that prior to tree protection fencing being removed towards the end of the project, a final inspection by the City arborist is required.

14. The project arborist must also regularly inspect the project site to evaluate the effectiveness of tree protection measures, as well as recommend any additional measures, treatment and care. Inspections shall occur at least every four weeks, and continue through final inspection. Additional site visits may be necessary to observe/advise regarding tree care and/or services. A summary of pertinent observations and recommendations shall coincide with each inspection.

6.3 During Demolition, Grading and Construction

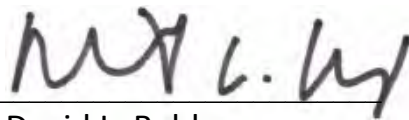
15. Any authorized work inside a TPZ shall be by foot-traffic only, manually performed under supervision by the project arborist, and not require the use of heavy equipment or tractors.
16. The approved demolition of existing hardscape, landscape or other features within a TPZ shall be carefully performed to avoid damaging a tree's trunk, canopy, soil and roots within a TPZ, including ground underlying existing features.
17. During any seal coat or slurry seal of existing asphalt, avoid the overpour or placement of materials on unpaved ground within a TPZ.
18. Prior to mechanical excavation within 5 feet from a TPZ, manually dig a 1-foot wide trench along the cut edge, to include overexcavation, and down to the required subgrade depth or 18 inches, whichever is shallower. Advise the project arborist when this work is scheduled so observations of cut roots can be made. Exposed roots shall be cleanly severed and their surfaces kept continually moist, by draping burlap over the cut face and applying water daily or twice daily.
19. Existing broken asphalt at the bases of #26 and 27 should manually peeled back using a shovel or crowbar (and leaving any underlying base in place).
20. Great care must be taken by all equipment operators to position their equipment and avoid trunks and branches, including the scorching of foliage. Any tree damage or injury should be immediately reported to the project arborist.

21. Avoid damaging or cutting roots with diameters of ≥ 2 inches without prior assessment by the project arborist. Should roots of this size be encountered, within one hour of exposure, they should either be covered by burlap that remains continually moist until the root is covered by soil. If they are approved for cutting, cleanly sever at 90° to the angle of root growth against the cut line (using loppers or a sharp hand saw), and then immediately after, the cut end either buried with soil or covered by a plastic sandwich bag (and secured using a rubber band, and removed just before backfilling). Roots encountered with diameters < 2 inches and requiring removal can be cleanly severed at right angles to the direction of root growth (although those originating from the oaks and have diameters between 1 to 2 inches should be approached on a case-by-case basis).
22. Spoils created during digging shall not be piled or spread on unpaved ground within a TPZ. If essential, spoils can be temporarily piled on plywood or a tarp.
23. Avoid using tree trunks as winch supports for moving or lifting heavy loads, as well as for tying rope, cables, chains or other items around.
24. Any pruning shall be highly selective, targeted, and performed under direction of the project arborist. The work shall be conducted in accordance with the most recent ANSI A300 standards, and by a California licensed tree-service contractor (D-49) that has an ISA certified arborist in a supervisory role, carries General Liability and Worker's Compensation insurance, and abides by ANSI Safety Operations.
25. Avoid disposing harmful products (such as cement, paint, chemicals, oil and gasoline) beneath canopies or anywhere on site that allows drainage within or near TPZs. Herbicides should not be used with a TPZ; where used on site, they should be labeled for safe use near trees. Also, liming should not occur within 50 feet of a tree's canopy.

7.0 ASSUMPTIONS AND LIMITING CONDITIONS

- Information presented herein covers only inventoried trees, and reflects their size, condition, and areas viewed from the subject site and adjoining streets and sidewalks on 4/25/25 and 6/27/25. Observations were performed visually and obtained from the ground without any probing, coring, dissecting or excavating.
- The assignment pertains solely to trees listed in Exhibit A. I hold no opinion towards other trees on or surrounding the project area.
- I cannot provide a guarantee or warranty, expressed or implied, that deficiencies or problems of any trees or property in question may not arise in the future.
- No assurance can be offered that if all my recommendations and precautionary measures (verbal or in writing) are accepted and followed that the desired results may be achieved.
- I cannot guarantee or be responsible for the accuracy of information provided by others.
- I assume no responsibility for the means and methods used by any person or company implementing recommendations presented in this report.
- Information presented herein represents my opinion. As such, my fee is in no way contingent upon the reporting of a specified finding, conclusion or value.
- Numbers shown on the site map in Exhibit B are solely intended to represent a tree's general location and shall not be construed as surveyed points.
- This report is proprietary to me and may not be copied or reproduced in whole or part without prior written consent. It has been prepared for the sole and exclusive use of the parties to whom submitted.
- If any part of this report or copy thereof be lost or altered, the entire evaluation shall be invalid.

Prepared By:



Date: July 18, 2025

David L. Babby

Registered Consulting Arborist® #399

Board-Certified Master Arborist® #WE-4001B

CA Licensed Tree Service Contractor #796763 (C61/D49)



EXHIBIT A:

TREE INVENTORY TABLE

(one sheet)



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION		Suitability for Preservation (High/Moderate/Low)	REGULATED		Proposed Removal	Appraised Value (Heritage Trees)
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Overall Percentage (100%=Best, 0%=Worst)	Overall Description (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree		
24	Coast redwood (<i>Sequoia sempervirens</i>)	66	100	50	40%	Poor	Moderate	X	-	X	\$24,900

Comments: Trunk bifurcates into codominant leaders (E and W configuration) at 12' high, and forms a weak union containing 4-5' of included bark. The vast majority of tree, ±85%, ascends above the union. The E leader also divides into codominant branches at 40' higher. Elongated limbs along crown, a condition creating excessive weight and a higher potential for one or more to break. Ground beneath canopy is comprised of artificial turf, installed sometime in last few years; the impact to roots during the process, and the extent of compaction of soil and any underlying base material are unknown. Overall, the tree appears in fair health, and has a poor structure and good form.

25	Shamel ash (<i>Fraxinus uhdei</i>)	44	60	60	40%	Poor	Moderate	X	-	-	\$11,100
----	---	----	----	----	-----	------	----------	---	---	---	----------

Comments: Trunk is nearly 6' from shared fence along W boundary. Multiple leaders emerge along trunk at 11' high and form narrow and weak attachments, some with included bark. Asphalt mounds formed by roots. Asymmetrical canopy grows away from the W direction. Highly elevated canopy, quite dramatically over structure beneath its W side. Overall, tree appears healthy, and has a poor structure and fair form.

26	Coast redwood (<i>Sequoia sempervirens</i>)	72	120	65	50%	Fair	Moderate	X	-	-	\$35,000
----	--	----	-----	----	-----	------	----------	---	---	---	----------

Comments: Trunk spans over the S fence line, indicating joint ownership with the adjoining neighbor. Raised asphalt formed by its base and roots along both sides of fence. Has a very thin top, symptomatic of low vigor, and historic imagery reveals this condition has existed for many years, likely due to insufficient water availability due to most of the ground being covered by asphalt. Formed by a single trunk. Nearly 3/4 of branches overhanging site have been reduced in length. Overall, the tree appears in relatively poor health, and has good structure and form.

27	Shamel ash (<i>Fraxinus uhdei</i>)	28	45	45	30%	Poor	Low	X	-	-	\$2,700
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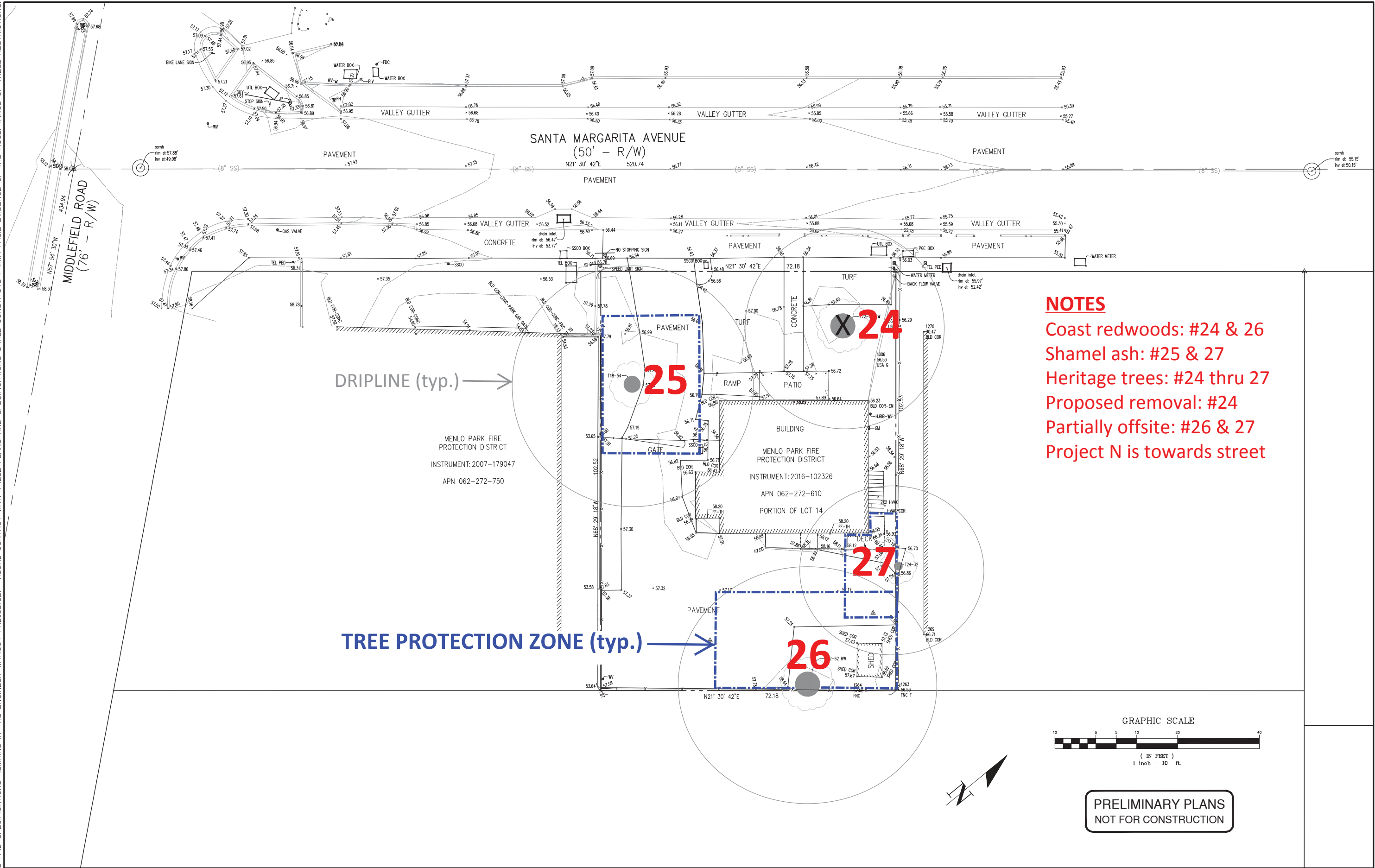
Comments: Borders the E fence line, and the trunks spans the boundary and fence line, the majority of which is on the adjoining property. Asphalt is located up to its base and fence line. Trunk leans slightly NE. Has a thin, sparse, leggy and asymmetrical canopy with excessive limb/branch weight and deadwood. Excessively pruned in past with numerous reduction/topping cuts. Crowded-growing conditions adjacent to #26. Overall, tree appears in fair health, has a poor structure and fair form.

EXHIBIT B:

SITE MAP

(one sheet)

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



REVISIONS:			HANNA-BRUNETTI EST. 1910 CIVIL ENGINEERS • LAND SURVEYORS CONSTRUCTION MANAGERS 7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA OFFICE (408) 842-2173 • FAX (408) 842-3662 EMAIL: ENGINEERING@HANNABRUNETTI.COM	DATE: JULY 2025		REFERENCES	Topography Map 114 Santa Margarita Road - APN 062-272-610 MENLO PARK JULY 2025		SHEET
DATE	DESCRIPTION	BY:		HORIZ. SCALE: 1"=10'					1
				VERT. SCALE: NONE					
				DESIGNED BY: AM					
				CHECKED BY:					
			DRAWN BY: MR				OF 1		
							JOB NO.	23062	

EXHIBIT C:

PHOTOGRAPHS

(four sheets)

Photo Index

Page C-1: Tree #24

Page C-3: Tree #26

Page C-2: Tree #25

Page C-4: Tree #27









EXHIBIT D:

TREE APPRAISAL CALCULATION TABLE

(one sheet)



HERITAGE TREE APPRAISAL CALCULATION TABLE

TREE/ TAG NO.	TREE NAME	SIZE		Replacement Tree Basic Price (inch) ²	Basic Cost (Cross Sectional Area x Basic Price)	DEPRECIATION FACTORS			Total Depreciated Cost	Appraised Value (round to nearest \$100)
		Trunk Diameter (in.)	Cross Sectional Area			Overall Condition Rating	Functional Limitations	External Limitations		
24	Coast redwood (<i>Sequoia sempervirens</i>)	66	3421.20	36.36	\$124,395	40%	60%	100%	\$29,855	\$29,900
25	Shamel ash (<i>Fraxinus uhdei</i>)	44	1520.53	36.36	\$55,287	40%	60%	100%	\$13,269	\$13,300
26	Coast redwood (<i>Sequoia sempervirens</i>)	72	4071.51	36.36	\$148,040	50%	50%	100%	\$37,010	\$37,000
27	Shamel ash (<i>Fraxinus uhdei</i>)	28	615.75	36.36	\$22,389	30%	40%	100%	\$2,687	\$2,700

FIRE STATION #1 (CERSID: 10064581)

Submitted TBD

Facility Information

FIRE STATION #1 (MENLO PARK, CA)

- Business Activities
- Business Owner/Operator Identification

Guidance Messages

- **Warning:**
 1. Business Activities - The federal EPA ID Number for CERSID: 10064581 has changed from: 'CAL000224631' to ''.
 2. Business Owner/Operator Identification - The Facility ID for CERSID: 10064581 has changed from: '220223_011224' to '41-000-011224'.

Hazardous Materials Inventory

- Hazardous Material Inventory (4)
- Site Map (Official Use Only)
 - *Figure 2 Site Plan* (Adobe PDF, 265KB)
 - *Figure 1 Facility Location Map* (Adobe PDF, 344KB)

Emergency Response and Training Plans

- Emergency Response/Contingency Plan
 - *Emergency Response/Contingency Plan* (Adobe PDF, 496KB)
- Employee Training Plan
 - *Employee Training Plan* (Adobe PDF, 56KB)

Site Identification**FIRE STATION #1**300 MIDDLEFIELD RD
MENLO PARK, CA 94025

County

San Mateo

CERS ID

10064581

EPA ID Number

Submittal Status

Submitted TBD

Hazardous Materials

Does your facility have on site (for any purpose) at any one time, hazardous materials at or above 55 gallons for liquids, 500 pounds for solids, or 200 cubic feet for compressed gases (include liquids in ASTs and USTs); or is regulated under more restrictive inventory local reporting requirements (shown below if present); or the applicable Federal threshold quantity for an extremely hazardous substance specified in 40 CFR Part 355, Appendix A or B; or handle radiological materials in quantities for which an emergency plan is required pursuant to 10 CFR Parts 30, 40 or 70?

Yes**Underground Storage Tank(s) (UST)**

Does your facility own or operate underground storage tanks?

No**Hazardous Waste**

Is your facility a Hazardous Waste Generator?

No

Does your facility treat hazardous waste on-site?

No

Is your facility's treatment subject to financial assurance requirements (for Permit by Rule and Conditional Authorization)?

No

Does your facility consolidate hazardous waste generated at a remote site?

No

Does your facility need to report the closure/removal of a tank that was classified as hazardous waste and cleaned on-site?

No

Does your facility generate in any single calendar month 1,000 kilograms (kg) (2,200 pounds) or more of federal RCRA hazardous waste, or generate in any single calendar month greater than 1 kg (2.2 pounds) of RCRA acute hazardous waste; or generate more than 100 kg (220 pounds) of spill cleanup materials contaminated with RCRA acute hazardous waste.

No

Is your facility a Household Hazardous Waste (HHW) Collection site?

No**Excluded and/or Exempted Materials**

Does your facility recycle more than 100 kg/month of excluded or exempted recyclable materials (per HSC 25143.2)?

No**Aboveground Petroleum Storage**

Does your facility own or operate aboveground petroleum storage tanks or containers AND:

* have a total aboveground petroleum storage capacity of 1,320 gallons or more, OR

* have one or more petroleum tanks in an underground area?

No**Regulated Substances**

Does your facility have Regulated Substances stored onsite in quantities greater than the threshold quantities established by the California Accidental Release prevention Program (CalARP)?

No**Additional Information**

No additional comments provided.

Facility/Site

FIRE STATION #1

300 MIDDLEFIELD RD
MENLO PARK, CA 94025CERS ID
10064581

Submittal Status

Submitted on 10/10/2023 by *Briana Lipka* of FIRE STATION #1 (MENLO PARK, CA)

Identification

Menlo Park Fire Protection District

Operator Phone
(650) 688-8400Business Phone
(650) 688-8400

Business Fax

Beginning Date

Ending Date

Dun & Bradstreet

SIC Code

Primary NAICS

Facility/Site Mailing Address

170 Middlefield Road
Menlo Park, CA 94025

Primary Emergency Contact

On Duty Battalion Chief

Title

On Duty Battalion Chief

Business Phone
(650) 688-840024-Hour Phone
(650) 269-3735

Pager Number

Owner

Menlo Park Fire Protection District

(650) 688-8400

300 MIDDLEFIELD AVE
MENLO PARK, CA 94025

Secondary Emergency Contact

Gage Schlice

Title

Fire Marshal

Business Phone
(650) 688-840024-Hour Phone
(650) 388-6339

Pager Number

Billing Contact

Menlo Park Fire

Protection District

(650) 688-8400

170 Middlefield Road
Menlo Park, CA 94025

mpfpd@menlofire.gov

Environmental Contact

Gage Schlice

(650) 688-8400

170 Middlefield Road
Menlo Park, CA 94025

mpfpd@menlofire.gov

Name of Signer

Jon Johnston

Signer Title

Fire Marshal

Document Preparer

Briana Lipka

Additional Information

Briana Lipka, QISP, CHMM

Environmental Director

Du-All Safety, LLC | 45950 Hotchkiss St. | Fremont, CA 94539

(510) 651-8289 | (408) 318-2156 - Cell

brianal@du-all.com | www.du-all.com

Locally-collected Fields

Some or all of the following fields may be required by your local regulator(s).

Property Owner

Phone

Mailing Address

Assessor Parcel Number (APN)

Number of Employees

Facility ID

41-000-011224

Hazardous Materials And Wastes Inventory Matrix Report

CERS Business/Org.	FIRE STATION #1	Chemical Location	CERS ID	10064581
Facility Name	FIRE STATION #1	Generator	Facility ID	220223_011224
	300 MIDDLEFIELD RD , MENLO PARK 94025		Status	Submitted on TBD

DOT Code/Fire Haz. Class	Common Name	Unit	Quantities			Annual Waste Amount	Federal Hazard Categories	Hazardous Components (For mixture only)		
			Max. Daily	Largest Cont.	Avg. Daily			Component Name	% Wt	EHS CAS No.
Combustible Liquid, Class II	DIESEL FUEL NO. 2	Gallons	1000	1000	850	0	- Physical			
	CAS No	State	Storage Container		Pressue	Waste Code	Flammable			
	68334-30-5	Liquid	Aboveground Tank		Ambient		- Health Acute			
	Map: Site Plan Grid: Generator	Type			Temperature		Toxicity			
		Pure	Days on Site: 365		Ambient		- Health Skin			
							Corrosion			
							Irritation			

DIESEL FUEL NO. 1

CAS No
68334-30-5
Map: Site Plan Grid:
Generator

Gallons

1000

1000

850

0

- Physical
Flammable
- Health Acute
Toxicity
- Health Skin
Corrosion
Irritation

State
Liquid
Type
Pure

Storage Container
Aboveground Tank

Days on Site: 365

Pressue
Ambient
Temperature
Ambient

Waste Code

Gallons

1000

1000

850

0

- Physical
Flammable
- Health Acute
Toxicity
- Health Skin
Corrosion
Irritation

State
Liquid
Type
Pure

Storage Container
Aboveground Tank

Days on Site: 365

Pressue
Ambient
Temperature
Ambient

Waste Code

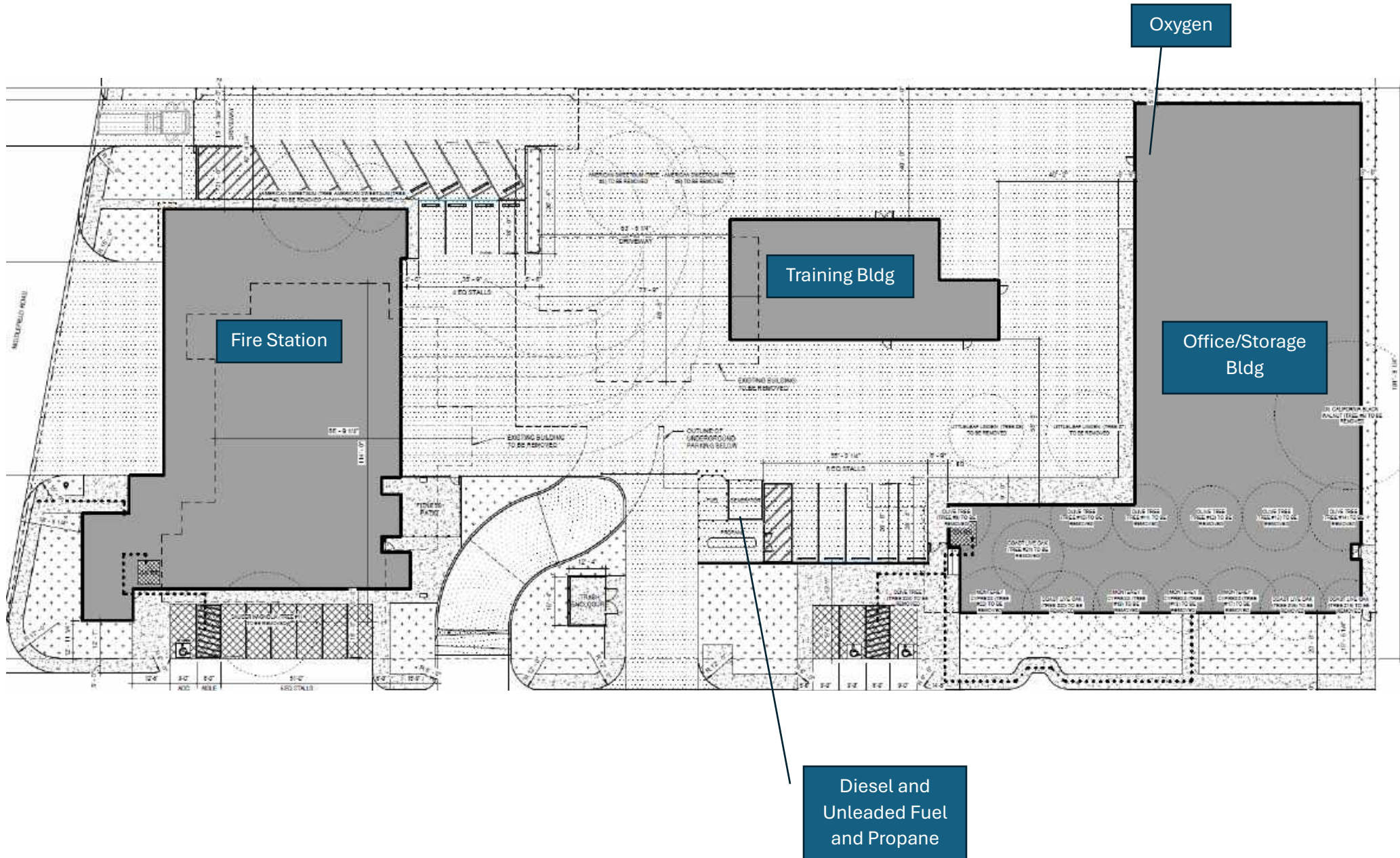
Propane

CAS No
68334-30-5
Map: Site Plan Grid: Generator

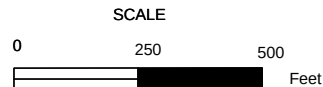
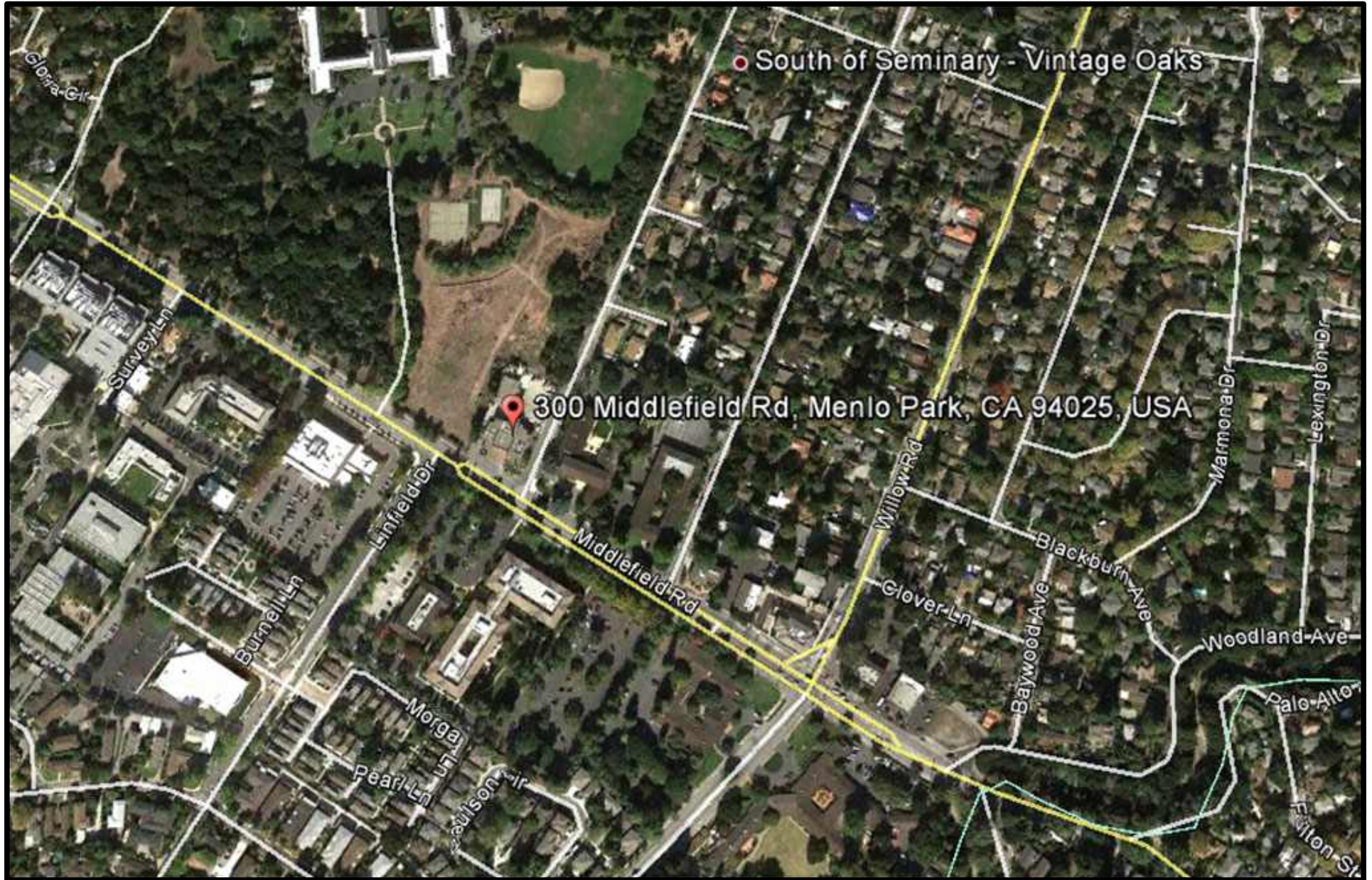
Hazardous Materials And Wastes Inventory Matrix Report

CERS Business/Org.	FIRE STATION #1				Chemical Location		CERS ID	10064581		
Facility Name	FIRE STATION #1				Shop - Oxygen Room		Facility ID	220223_011224		
	300 MIDDLEFIELD RD , MENLO PARK 94025						Status	Submitted TBD		
							Hazardous Components (For mixture only)			
DOT Code/Fire Haz. Class	Common Name	Unit	Quantities		Annual Waste	Federal Hazard				
			Max. Daily	Largest Cont.	Avg. Daily	Amount	Categories	Component Name	% Wt	EHS CAS No.
Oxidizing, Class 2	OXYGEN, GAS	Cu. Feet	1750	250	1500	0	- Physical Gas			
	CAS No	State	Storage Container		Pressue	Waste Code	Under Pressure			
	7782-44-7	Gas	Cylinder		> Ambient		- Physical Oxidizer			
	Map: Site Plan	Grid:			Temperature		- Physical Hazard			
	Storage Bldg	Pure	Days on Site: 365		Ambient		Not Otherwise Classified			

Fire Station 1 Site Plan



Fire Station #1 Location Map



E7

Facility Location Map

Menlo Park Fire Protection District
Fire Station #1
300 Middlefield Road
Menlo Park, California
May 3, 2023

Figure
1

Prepared by:

du-all.com

CALIFORNIA ENVIRONMENTAL REPORTING SYSTEM (CERS)
CONSOLIDATED EMERGENCY RESPONSE / CONTINGENCY PLAN

Prior to completing this Plan, please refer to the INSTRUCTIONS FOR COMPLETING A CONSOLIDATED CONTINGENCY PLAN

A. FACILITY IDENTIFICATION AND OPERATIONS OVERVIEW

FACILITY ID #	F A 0 0	A1. CERS ID #	10064581	A2. DATE OF PLAN PREPARATION/REVISION	(MM/DD/YYYY) 06/25/2025
BUSINESS NAME (Same as Facility Name or DBA - Doing Business As)					A4.
Menlo Park Fire Protection District Fire Station 1					
BUSINESS SITE ADDRESS					A5.
300 Middlefield Road					
BUSINESS SITE CITY			A6.	CA	A7. ZIP CODE
Menlo Park					94025
TYPE OF BUSINESS (e.g., Painting Contractor)			A8.	INCIDENTAL OPERATIONS (e.g., Fleet Maintenance)	
Firefighting				Adminsitration	
THIS PLAN COVERS CHEMICAL SPILLS, FIRES, AND EARTHQUAKES INVOLVING (Check all that apply):					A10.
☒ 1. HAZARDOUS MATERIALS; ☐ 2. HAZARDOUS WASTES					

B. INTERNAL RESPONSE

INTERNAL FACILITY EMERGENCY RESPONSE WILL OCCUR BY (Check all that apply):	B1.
☒ 1. CALLING PUBLIC EMERGENCY RESPONDERS (e.g., 9-1-1)	
☒ 2. CALLING HAZARDOUS WASTE CONTRACTOR	
☒ 3. ACTIVATING IN-HOUSE EMERGENCY RESPONSE TEAM	

C. EMERGENCY COMMUNICATIONS, PHONE NUMBERS AND NOTIFICATIONS

In the event of an emergency involving hazardous materials and/or hazardous waste, all facilities must IMMEDIATELY:

1. Notify facility personnel and evacuate if necessary in accordance with the Emergency Action Plan (Title 8 California Code of Regulations §3220);
2. Notify local emergency responders by calling 9-1-1;
3. Notify the local Unified Program Agency (UPA) at the phone number below; and
4. Notify the State Warning Center at (800) 852-7550.

Facilities that generate, treat, store or dispose of hazardous waste have additional responsibilities to notify and coordinate with other response agencies. Whenever there is an imminent or actual emergency situation such as an explosion, fire, or release, the Emergency Coordinator must follow the appropriate requirements for the category of facility and type of release involved:

1. Title 22 California Code of Regulations §66265.56. Emergency Procedures for generators of 1,000 kilograms or more of hazardous waste in any calendar month.
2. Title 22 California Code of Regulations §66265.196. Response to Leaks or Spills and Disposition of Leaking or Unfit-for-Use Tank Systems.
3. Title 40 Code of Federal Regulations §302.6. Notification requirements for a release of a hazardous substance equal to or greater than the reportable quantity.
4. Title 22 California Code of Regulations §66262.34(d)(2) and Title 40 Code of Federal Regulations §262.34(d)(5)(ii) for generators of less than 1000 kilograms of hazardous waste in any calendar month.

Following notification and before facility operations are resumed in areas of the facility affected by the incident, the Emergency Coordinator shall notify the local UPA and the local fire department's hazardous materials program, if necessary, that the facility is in compliance with requirements to:

1. Provide for proper storage and disposal of recovered waste, contaminated soil or surface water, or any other material that results from an explosion, fire, or release at the facility; and
2. Ensure that no material that is incompatible with the released material is transferred, stored, or disposed of in areas of the facility affected by the incident until cleanup procedures are completed.

EMERGENCY RESPONSE	AMBULANCE, FIRE, POLICE AND CHP	9-1-1	
PHONE NUMBERS:	CALIFORNIA STATE WARNING CENTER (CSWC)/CAL OES	(800) 852-7550	
	NATIONAL RESPONSE CENTER (NRC)	(800) 424-8802	
	POISON CONTROL CENTER	(800) 222-1222	
	LOCAL UNIFIED PROGRAM AGENCY (UPA)	(650) 372-6200	C1.
	OTHER (Specify):		C2. C3.
NEAREST MEDICAL FACILITY / HOSPITAL NAME:	Stanford Medical Center	(650) 723-5111	C4. C5.

AGENCY NOTIFICATION PHONE NUMBERS:	CALIFORNIA DEPT. OF TOXIC SUBSTANCES CONTROL (DTSC)	(916) 255-3545	
	REGIONAL WATER QUALITY CONTROL BOARD (RWQCB)	(510) 622-2300	C6.
	U.S. ENVIRONMENTAL PROTECTION AGENCY (US EPA)	(800) 300-2193	
	CALIFORNIA DEPT. OF FISH AND WILDLIFE (CDFW)	(916) 358-2900	
	U.S. COAST GUARD (USCG)	(202) 267-2180	
	CAL OSHA	(916) 263-2800	
	CAL FIRE OFFICE OF THE STATE FIRE MARSHAL (OSFM)	(916) 323-7390	
	OTHER (Specify):		C7. C8.
	OTHER (Specify):		C9. C10.

Check the applicable boxes to indicate your facility's procedures for containing spills and preventing and mitigating releases, fires and/or explosions.	D1.
☒ 1. MONITOR FOR LEAKS, RUPTURES, PRESSURE BUILD-UP, ETC.; ☐ 2. PROVIDE STRUCTURAL PHYSICAL BARRIERS (e.g., Portable spill containment walls, built-in berms); ☒ 3. PROVIDE ABSORBENT PHYSICAL BARRIERS (e.g., Pads, spill pigs, spill pillows); ☒ 4. COVER OR BLOCK FLOOR AND/OR STORM DRAINS; ☐ 5. LINED TRENCH DRAINS AND/OR SUMPS; ☒ 6. AUTOMATIC FIRE SUPPRESSION SYSTEM; ☒ 7. ELIMINATE SOURCES OF IGNITION FOR FLAMMABLE HAZARDS; ☒ 8. STOP PROCESSES AND/OR OPERATIONS; ☐ 9. AUTOMATIC / ELECTRONIC EQUIPMENT SHUT-OFF SYSTEM; ☒ 10. SHUT OFF WATER, GAS, ELECTRICAL UTILITIES; ☒ 11. CALL 9-1-1 FOR PUBLIC EMERGENCY RESPONDER ASSISTANCE AND/OR MEDICAL AID; ☒ 12. NOTIFY AND EVACUATE PERSONS IN ALL THREATENED AND/OR IMPACTED AREAS; ☒ 13. ACCOUNT FOR EVACUATED PERSONS IMMEDIATELY AFTER EVACUATION; ☒ 14. PROVIDE PROTECTIVE EQUIPMENT FOR ON-SITE EMERGENCY RESPONSE TEAM; ☒ 15. REMOVE CONTAINERS AND/OR ISOLATE AREAS; ☒ 16. HIRE LICENSED HAZARDOUS WASTE CONTRACTOR; ☒ 17. USE ABSORBENT MATERIAL FOR SPILL CONTAINMENT; ☐ 18. VACUUM SUCTION USING APPROPRIATE VACUUM (e.g., Intrinsically safe) FOR SPILL CONTROL AND/OR CLEANUP; ☒ 19. DECONTAMINATE PERSONNEL AND EQUIPMENT WITHIN DESIGNATED AREA AND DISPOSE OF WASTEWATER AS HAZARDOUS WASTE; ☒ 20. PROVIDE SAFE TEMPORARY STORAGE OF HAZARDOUS WASTE GENERATED DURING EMERGENCY ACTIONS; ☐ 21. OTHER (Specify):	D2.

THE FOLLOWING ALARM SIGNAL(S) WILL BE USED TO BEGIN EVACUATION OF THE FACILITY (Check all that apply):	E1.
☐ 1. BELLS;	E2.
☒ 2. HORNS/SIRENS;	
☒ 3. VERBAL (i.e., Shouting);	
☐ 4. OTHER (Specify):	

Corner of Parking Lot at Santa Monica Avenue - See Figure 2

Note: The Emergency Coordinator must account for all onsite employees and visitors after evacuation.

☒ 1. WRITTEN PROCEDURES DESCRIBING ROUTES, EXITS, AND ASSEMBLY AREAS;
☒ 2. EVACUATION MAP(S) DEPICTING ROUTES, EXITS, AND ASSEMBLY AREAS;
☐ 3. OTHER (Specify):

Note: Evacuation procedures and/or maps should be posted in visible facility locations and must be included in the Contingency Plan.

ADVANCE ARRANGEMENTS FOR LOCAL EMERGENCY SERVICES (Check one of the following):	F1.
☒ 1. HAVE BEEN DETERMINED NOT NECESSARY;	
☐ 2. THE FOLLOWING ARRANGEMENTS HAVE BEEN MADE (Specify):	F2.
Note: Advance arrangements with local fire and police departments, hospitals, state and local emergency response teams, and/or emergency services contractors should be made for your facility, if necessary. Large Quantity Generators must describe arrangements in the Contingency Plan.	

G. EMERGENCY EQUIPMENT

Check the applicable boxes to list emergency response equipment available at the facility, identify the location(s) where the equipment is kept, and indicate the equipment's capability, if applicable.

TYPE	EQUIPMENT AVAILABLE G1.	LOCATION G2.	CAPABILITY G3.
EXAMPLE	☒ CHEMICAL PROTECTIVE GLOVES	SPILL RESPONSE KIT	SINGLE USE, OIL RESISTANT ONLY
Safety and First Aid	1. ☐ CHEMICAL PROTECTIVE SUITS, APRONS, AND/OR VESTS		
	2. ☐ CHEMICAL PROTECTIVE GLOVES		
	3. ☐ CHEMICAL PROTECTIVE BOOTS		
	4. ☒ SAFETY GLASSES, GOGGLES, AND FACE SHIELDS	On fire engine	
	5. ☒ HARD HATS	On fire engine	
	6. ☐ AIR-PURIFYING RESPIRATORS	On fire engine	
	7. ☒ SELF-CONTAINED BREATHING APPARATUS (SCBA)	On fire engine	
	8. ☒ FIRST AID KITS	On fire engine	
	9. ☒ PLUMBED EYEWASH FOUNTAIN AND/OR SHOWER	Apparatus Bay	
	10. ☐ PORTABLE EYEWASH KITS AND/OR STATION		
	11. ☐ OTHER		
Fire Fighting	12. ☒ PORTABLE FIRE EXTINGUISHERS	In buildings and on fire engine	
	13. ☒ FIXED FIRE SUPPRESSION SYSTEMS AND/OR SPRINKLERS	All buildings	
	14. ☒ FIRE ALARM BOXES	All buildings	
	15. ☐ OTHER		
Spill Control and Clean-Up	16. ☐ ALL-IN-ONE SPILL KIT		
	17. ☒ ABSORBENT MATERIAL	On fire engine, apparatus bay	
	18. ☐ CONTAINER FOR USED ABSORBENT		
	19. ☐ BERM AND/OR DIKING EQUIPMENT		
	20. ☒ BROOM	On fire engine and in fire station	
	21. ☒ SHOVEL	Fire Station	
	22. ☒ VACUUM	Fire station	
	23. ☐ EXHAUST HOOD		
	24. ☐ SUMP AND/OR HOLDING TANK		
	25. ☐ CHEMICAL NEUTRALIZERS		
	26. ☐ GAS CYLINDER LEAK REPAIR KIT		
	27. ☐ SPILL OVERPACK DRUMS		
	28. ☐ OTHER		
	Communications and Alarm Systems	29. ☒ TELEPHONES (e.g., Cellular)	On persons and in each office
30. ☒ INTERCOM AND/OR PA SYSTEM		Offices	
31. ☒ PORTABLE RADIOS		On fire engine and on persons	
32. ☐ AUTOMATIC ALARM CHEMICAL MONITORING EQUIPMENT			
Other	33. ☐ OTHER		
	34. ☐ OTHER		

H. EARTHQUAKE VULNERABILITY

Identify areas of the facility that are vulnerable to hazardous materials releases due to seismic motion. These areas require immediate isolation and inspection.

VULNERABLE AREAS (Check all that apply): H1. ☒ 1. HAZARDOUS MATERIALS AND/OR WASTE STORAGE AREAS ☐ 2. PROCESS LINES AND PIPING ☐ 3. LABORATORY ☐ 4. WASTE TREATMENT AREA	LOCATIONS (e.g., Shop, outdoor shed, lab): H2. Outdoors and Storage Building
---	---

Identify mechanical systems vulnerable to releases / spills due to earthquake-related motion. These systems require immediate isolation and inspection.

VULNERABLE SYSTEMS AND/OR EQUIPMENT (Check all that apply): H3. ☒ 1. SHELVES, CABINETS AND/OR RACKS ☒ 2. TANKS AND SHUT-OFF VALVES ☒ 3. PORTABLE GAS CYLINDERS ☒ 4. EMERGENCY SHUT-OFF AND/OR UTILITY VALVES ☒ 5. SPRINKLER SYSTEMS ☐ 6. STATIONARY PRESSURIZED CONTAINERS (e.g., Propane tank)	LOCATIONS: H4. Storage building Fuel and Propane Tanks and Generator Oxygen Room in Shop Generator and Fuel and Propane Throughout
--	---

I. EMPLOYEE TRAINING

Employee training is required for all employees and/or contractors handling hazardous materials and/or hazardous wastes during normal and/or emergency operations. Most facilities will need to submit a separate Training Plan. However, your CUPA may accept this section as the Training Plan for some small facilities.

Employee training plans may include the following content:

- | | |
|--|--|
| <ul style="list-style-type: none"> • Applicable laws and regulations; • Emergency response plans and procedures; • Safety Data Sheets; • Hazard communication related to health and safety; • Methods for safe handling of hazardous substances; • Hazards of materials and processes (e.g., fire, explosion, asphyxiation); • Hazard mitigation, prevention and abatement procedures; • Coordination of emergency response actions; • Notification procedures for local emergency responders, CUPA, Cal OES, and onsite personnel; | <ul style="list-style-type: none"> • Communication and alarm systems; • Personal protective equipment; • Use and maintenance of emergency response equipment and supplies (e.g. Fire extinguishers, respirators, spill control materials); • Decontamination procedures; • Evacuation procedures and evacuation staging locations; • Identification of facility areas, equipment, and systems vulnerable to earthquakes and other natural disasters. • OTHER (Specify): |
|--|--|

Check the applicable boxes below to indicate how the employee training program is administered.

☒ 1. FORMAL CLASSROOM	☐ 2. VIDEOS	☐ 3. SAFETY MEETINGS	☐ 4. STUDY GUIDES / MANUALS	H1.
☐ 5. OTHER (Specify): _____				H2.
☐ 6. NOT APPLICABLE SINCE FACILITY HAS NO EMPLOYEES				
☐ 7. CHECK IF A SEPARATE EMPLOYEE TRAINING PLAN IS USED AND UPLOADED TO CERS AS A PDF DOCUMENT				H3.
☐ 8. CHECK IF EMPLOYEE TRAINING IS COVERED BY THE ABOVE REFERENCED CONTENT AND OTHER DOCUMENTS ONSITE				H4.

EMPLOYEE TRAINING FREQUENCY AND RECORDKEEPING TRAINING MUST BE:

- Provided initially for new employees as soon as possible following the date of hire. New employees should not work in an unsupervised position that involves hazardous materials handling and/or hazardous waste management without proper training;
- Provided within six months from the date of hire for new employees at a large quantity generator;
- Ongoing and provided at least annually;
- Amended prior to a change in process or work assignment;
- Given upon modification to the Emergency Response/Contingency Plan.

Large Quantity Generator Training: Large quantity generators (1,000 kg or more) must retain written plan and documentation of employee training which includes:

- A written description of the type and amount of both initial and ongoing training that will be given to persons filling each job position having responsibility for hazardous waste management and/or emergency response.
- The name, job title and job description for each position at the facility related to hazardous waste management.
- Current employee training records must be retained until closure of the facility and former employee training records must be retained for at least three years after termination of employment.

Small Quantity Generator Training: Small quantity generators (less than 1,000 kg) must include basic hazardous waste management and emergency response procedures but a written employee training plan and training records are not required. In order to show that the facility has met the small quantity generator employee training requirement, an employee training plan and training records may be made available.

Hazardous Materials Business Plan Training: Businesses must provide initial and annual employee training that includes the content referenced above. The training may be based on the job position and training records must be made available for a period of at least three years.

J. LIST OF ATTACHMENTS

Check one of the following:	J1.
☒ 1. NO ATTACHMENTS ARE REQUIRED; or	
☐ 2. THE FOLLOWING DOCUMENTS ARE ATTACHED:	J2.

EMPLOYEE TRAINING PLAN

1. FACILITY INFORMATION

BUSINESS NAME (Same as FACILITY NAME or DBA – Doing Business As)

FIRE STATION #1

FACILITY ID

FA0011224

ADDRESS

300 MIDDLEFIELD RD

2. TRAINING FOR PERSONNEL

☐

Not applicable because facility has no employees

Personnel are trained in the following procedures:

☒

Internal alarm/notification

☒

Evacuation/re-entry procedures & assembly point locations

☒

Emergency incident reporting

☐

External emergency response organization notification

☒

Location(s) and contents of Emergency Response/Contingency Plan

☐

Facility evacuation drills, that are conducted at least: (Specify: "Quarterly", etc.)

Specify

3. TRAINING FOR CHEMICAL HANDLERS

Chemical Handlers are additionally trained in the following:

☒

Safe methods for handling and storage of hazardous materials

☒

Location(s) and proper use of fire and spill control equipment

☒

Spill procedures/emergency procedures

☒

Proper use of personal protective equipment

☒

Specific hazard(s) of each chemical to which they may be exposed, including routes of exposure (i.e., inhalation, ingestion, absorption)

☒

Hazardous Waste Handlers/Managers are trained in all aspects of hazardous waste management specific to their job duties (e.g., container accumulation time requirements, labeling requirements, storage area inspection requirements, manifesting requirements, etc.)

4. EMERGENCY RESPONSE TEAM

Members are capable of and engaged in the following:

Complete this section only if you have an in-house emergency response team

☒

Personnel rescue procedures

☒

Shutdown of operations

☒

Liaison with responding agencies

☒

Use, maintenance, and replacement of emergency response equipment

☒

Refresher training, which is provided at least annually

☐

Emergency response drills, which are conducted at least: (Specify: "Quarterly", etc.)

Specify

Employees are

5. RECORD KEEPING

The following records are maintained at the facility (Check all that apply).

Note: This list of records does not necessarily identify every type of record required to be maintained by the facility.

☒	Current employees training records (to be retained until closure of the facility)
☒	Former employees' training records (to be retained at least three years after termination of employment)
☒	Training Program(s) (i.e., written description of introductory and continuing training)
☒	Current copy of this Emergency Response/Contingency Plan
☒	Record of recordable/reportable hazardous material/waste releases
☒	Record of hazardous material/waste storage area inspections
☐	Record of hazardous waste tank daily inspections
☒	Description and documentation of facility emergency response drills