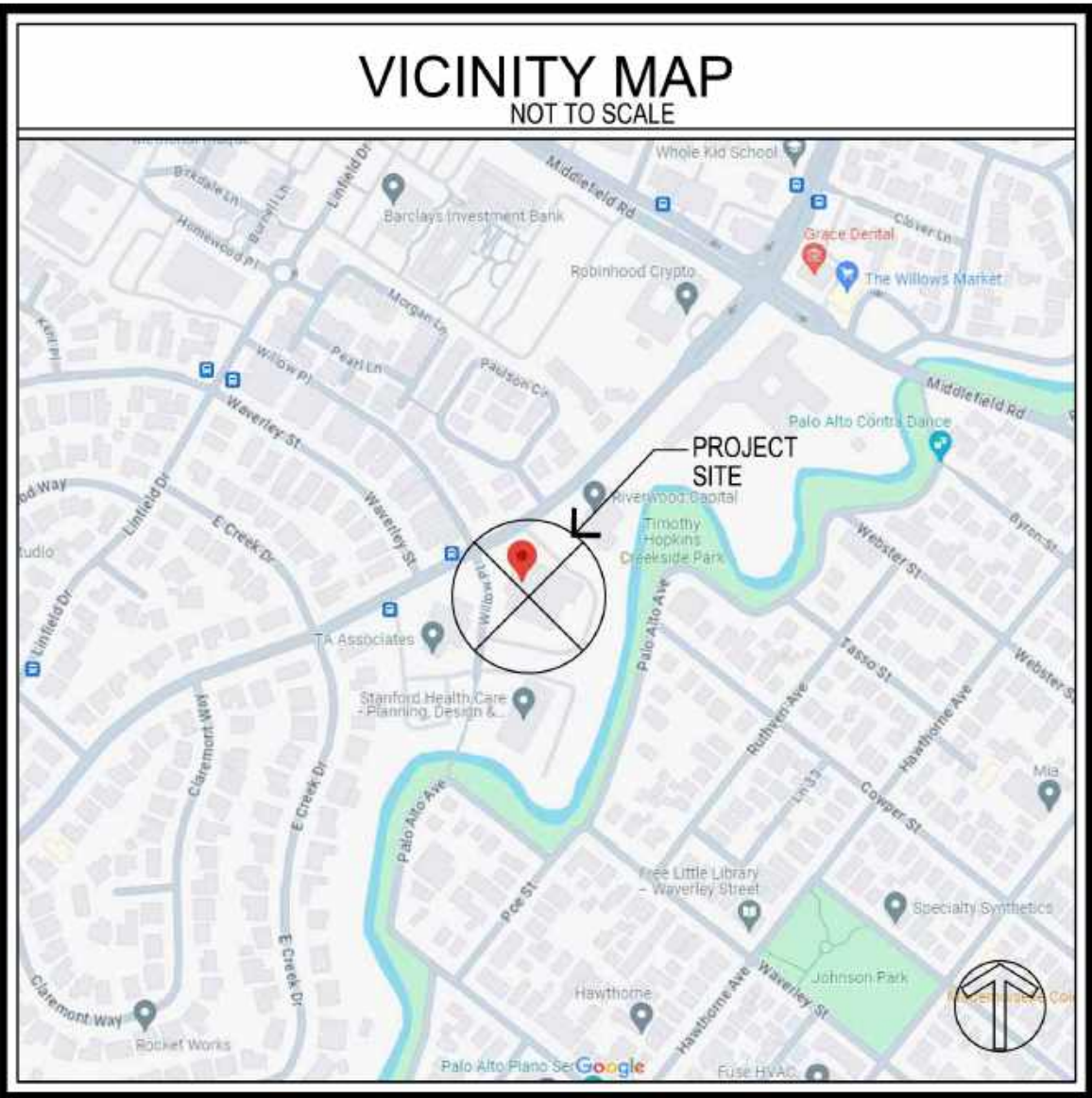




APPLICANT
68 WILLOW OWNER, LLC
265 LYTTON AVE, SUITE 303
PALO ALTO, CA 94301
ATTN: CHASE RAPP
PH: (650) 815-6969

ARCHITECT
SDG ARCHITECTS, INC.
3361 WALNUT BLVD., SUITE 120
BRENTWOOD, CA 94513
ATTN: JEFF POTTS
PH: (925) 634-7000

CIVIL ENGINEER
CARLSON BARBEE & GIBSON
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
ATTN: RYAN HANSEN
PH: (925) 322-7984

LANDSCAPE ARCHITECT
ENVIRONMENTAL FORESIGHT, INC.
2065 N. BROADWAY, SUITE 203
WALNUT CREEK, CA 94596
ATTN: KEVIN PROCTOR
PH: (510) 283-8552

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CONCEPTUAL LANDSCAPE DESIGN

399,264 68 Willow
Menlo Park, CA
July 22, 2024

68 Willow Land Owner, LLC



399,204 68 Willow
Menlo Park, CA
July 22, 2024

68 Willow Land Owner, LLC

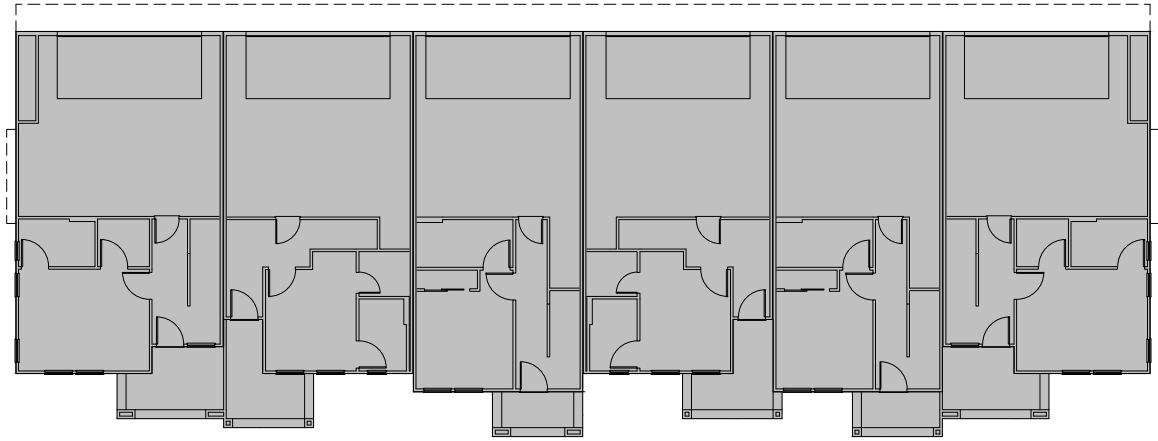
EXISTING SITE & SURROUNDING CONTEXT A01





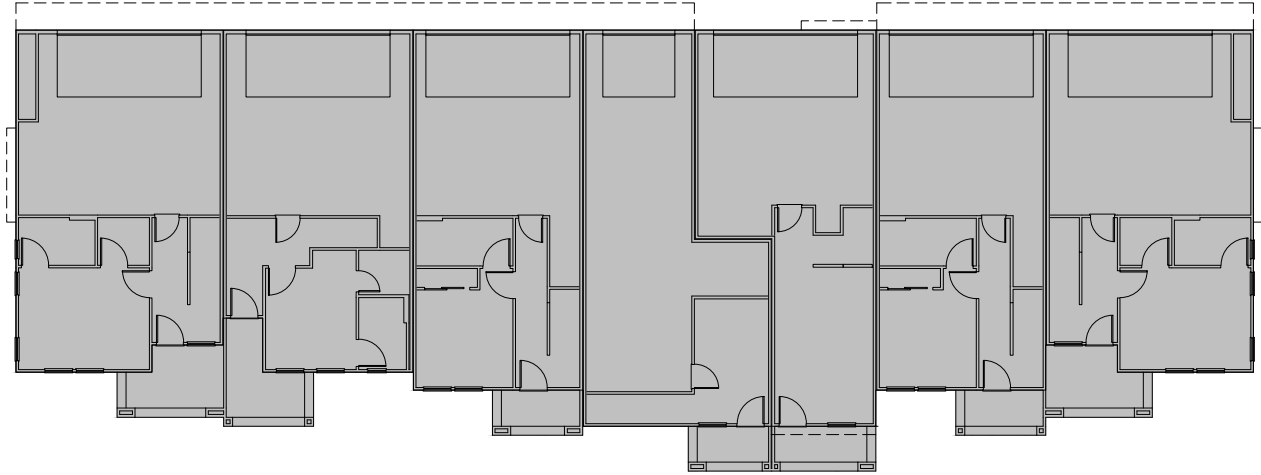
BLDG TYPE 6A

(3 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION = 5,062.44 SQ. FT. = x 3
BUILDINGS = 15,187 SQ. FT.



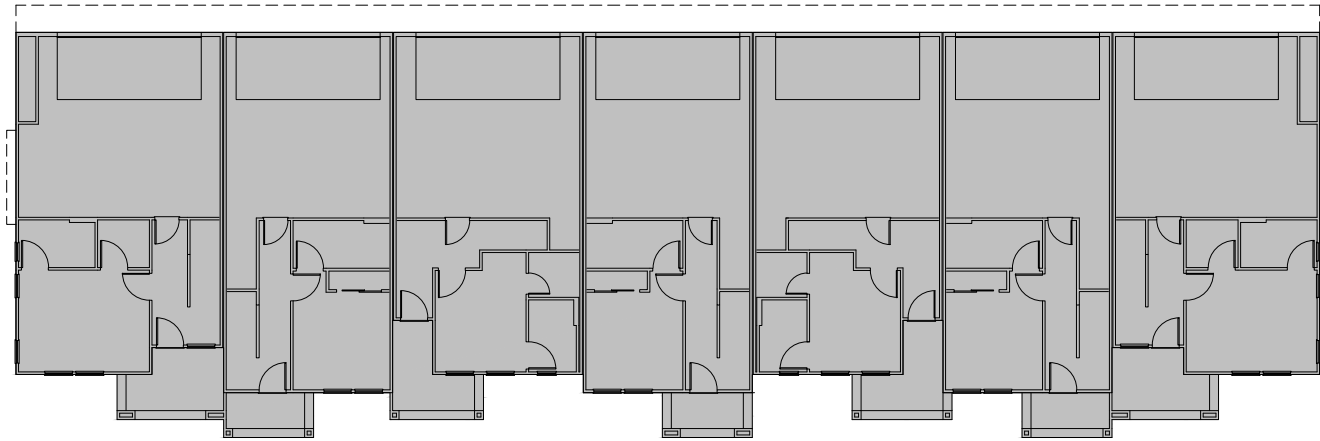
BLDG TYPE 6B

(2 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION = 5,194.92 SQ. FT. x 2
BUILDINGS = 10,390 SQ. FT.



BLDG TYPE 7A

(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION = 5,878.44 SQ. FT. x 1
BUILDING = 5,878 SQ. FT.



BLDG TYPE 7B

(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION = 5,991.04 SQ. FT. x 1
BUILDING = 5,991 SQ. FT.

399,204 68 Willow
Menlo Park, CA
July 22, 2024

68 Willow Land Owner, LLC



BLDG TYPE 6A ALT

(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION = 5,073.10 SQ. FT. x 1
BUILDING = 5,073 SQ. FT.



NOTE:

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A03 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information

ALLOWABLE BUILDING COVERAGE:

50% x TOTAL LOT S.F. = 50% x 108,852 S.F. = 54,426 S.F.

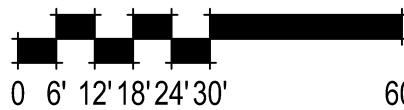
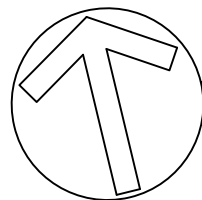
PROPOSED BUILDING COVERAGE:

BUILDING TYPE 6A = 5,062.44 S.F. EA. x 3 BLDGS. =	15,187 S.F.
BUILDING TYPE 6A ALT = 5,073.10 S.F. EA. x 1 BLDG. =	5,073 S.F.
BUILDING TYPE 6B = 5,194.92 S.F. EA. x 2 BLDGS. =	10,390 S.F.
BUILDING TYPE 7A = 5,878.44 S.F. EA. x 1 BLDG. =	5,878 S.F.
BUILDING TYPE 7B = 5,991.04 S.F. EA. x 1 BLDG. =	5,991 S.F.

BUILDING COVERAGE OF LOT = 42,280 S.F.

PROPOSED BUILDING COVERAGE / TOTAL LOT S.F. =
42,280 S.F. / 108,852 S.F. = 38.84%

NORTH



**LOT COVERAGE
A02**

SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



68 Willow - Unit Count & Square Footages - 07/18/2024						
Unit	Description	Number of Units	Living SF	Garage SF	Porch SF	Deck SF
T1 (Unit 3)	4 Bed/3.5 Bath	13	1,918	418	50	50
T2 (Unit 4)	4 Bed/3.5 Bath	11	1,996	448	77	77
T3 (Unit 5)	4 Bed/3.5 Bath	16	2,225	451	83	83
Z1 (Unit 1)	3 Bed/3 Bath	5	1,569	550	46	78
Z2 (Unit 2)	3 Bed/3 Bath	5	1,736	433	58	51
Total		50	99,015	22,493	3,345	3,470

68 Willow - Building Square Footages									
Building	Number of Bldgs	Living SF	Subtotal Living SF	Garage SF	Subtotal Garage SF	Porch SF	Subtotal Porch SF	Deck SF	Subtotal Deck SF
T 6-Unit Bldg T3-T2-T1-T2-T1-T3	2	12,278	24,556	2,634	5,268	420	840	420	840
T 7-Unit Bldg T3-T1-T2-T1-T2-T1-T3	1	14,196	14,196	3,052	3,052	470	470	470	470
Z 6-Unit Bldg T3-T2-Z1-Z2-T1-T3	3	11,669	35,007	2,751	8,253	397	1,191	422	1,266
Z 6-Unit Bldg ALT T3-T2-Z1-Z2-T1-T3	1	11,669	11,669	2,751	2,751	397	397	422	422
Z 7-Unit Bldg T3-T2-T1-Z1-Z2-T1-T3	1	13,587	13,587	3,169	3,169	447	447	472	472
Total	8		99,015		22,493		3,345		3,470

PROJECT DESCRIPTION

THE PROJECT SITE IS LOCATED ON WILLOW ROAD, ONE OF THE CITY'S PRIMARY EAST-WEST ROUTES. THE PROPERTY IS IMPROVED WITH A ONE-STORY, APPROXIMATELY 27,000 SQUARE FOOT OFFICE BUILDING, THAT WE BELIEVE WAS BUILT IN 1955 AND RENOVATED IN 2006. THE SITE IS ACCESSIBLE FROM WILLOW ROAD AND WILLOW PLACE WHICH ALSO CONNECTS TO WILLOW ROAD. SURFACE PARKING AROUND THE SOUTHERN PORTION OF THE OFFICE BUILDING PROVIDES APPROXIMATELY 87 PARKING SPACES; NINE ADDITIONAL SPACES, INCLUDING TWO HANDICAP SPACES, ARE LOCATED ALONG THE NORTHERN BOUNDARY. LOW-INTENSITY OFFICE USES BORDER THE PROPERTY TO THE NORTH/NORTHEAST AND SOUTH/SOUTHWEST. THE LINFIELD OAKS RESIDENTIAL NEIGHBORHOOD IS ACROSS WILLOW ROAD TO THE NORTHWEST/WEST. THE EAST/SOUTHEAST BOUNDARY IS BORDERED BY SAN FRANCISQUITO CREEK. ACROSS THE CREEK IS THE DOWNTOWN NORTH NEIGHBORHOOD IN THE CITY OF PALO ALTO.

THE PROPOSED PROJECT CONSISTS OF 50 TOWNHOME STYLE UNITS CONFIGURED IN 8 TOTAL 3-STORY BUILDINGS. THE BUILDINGS ARE ARRANGED WITH FRONT DOORS FACING THE ADJACENT STREETS AND NEIGHBORING PARCELS. THE SITE IS DESIGNED WITH A SIMPLE LOOP ROAD PROVIDING USABLE OPEN SPACE IN THE CENTRAL AREA ALONG WITH THE OPEN SPACE ALONG THE CREEK AND VARIOUS POCKETS OF USABLE SPACE. THERE ARE 5 UNIT TYPES INCLUDING ZIPPER TOWNHOMES AND TRADITIONAL TOWNHOMES RANGING FROM APPROXIMATELY 1650 SF - 2200 SF, THESE INCLUDE 3 AND 4 BEDROOM UNITS. THE UNITS ARE ARRANGED IN 5 DIFFERENT BUILDING COMBINATIONS WHICH INCLUDE 6 AND 7 UNIT BUILDINGS. WE ARE PROPOSING A MODERN FARMHOUSE AESTHETIC WHICH INCLUDES A MIX OF STONE, STUCCO, AND BOARD AND BATT SIDING.

AFFORDABLE HOUSING / DENSITY BONUS

AFFORDABLE HOUSING (PER MPMC 16.96)		
AFFORDABLE UNITS:	REQUIRED 15% (7.5 UNITS)	PROVIDED 7 UNITS + .5 IN LIEU FEE

DENSITY BONUS
NONE REQUESTED:

15% VERY LOW: 3 CONCESSIONS 50% DB
15% LOW : 1 CONCESSION 27.5% DB
15% MODERATE: 1 CONCESSION 10% DB

CONCESSIONS:	STANDARD	CONCESSION
	75 MAX	102
1. NUMBER OF PARKING SPACES		

WAIVERS:	STANDARD	WAIVER
	97,970 SF	99,015 SF
1. FLOOR AREA RATIO		
2. SETBACKS	SEE TABLE	
3. BUILDING PROJECTIONS	SEE DB LETTER	
4. BUILDING PROFILE	SEE DB LETTER	
5. EXTERIOR MATERIALS	SEE DB LETTER	
6. GARAGE STALL SIZE	10'x20' / CAR	9'x20' / CAR

PROJECT DATA TABLE

ADDRESS:	68 WILLOW ROAD MENLO PARK, CA 94025
APN:	62-423-020
GENERAL PLAN:	COMMERCIAL
ZONING:	C-1
SITE AREA (GROSS):	108,856 S.F. (2.499 ACRE)
ALLOWABLE DENSITY:	30 DU/AC
PROPOSED DENSITY:	50 UNITS (20 DU/AC)
BUILDING CODE:	2022 C.B.C.
OCCUPANCY:	R3 / U
CONSTRUCTION:	TYPE V
FIRE SPRINKLERS:	INCLUDED PER C.B.C. 903.2

DEVELOPMENT STANDARDS

SETBACKS:	REQUIRED	PROPOSED
FRONT	30'	10'
REAR	20'	55'
RIGHT SIDE	20'	12.5'
LEFT SIDE	20'	7'

T.O.B. CREEK SETBACK	SEE EXHIBIT	23' ENCROACHMENT
----------------------	-------------	------------------

HEIGHT:	40'	39.5'
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OPEN SPACE		
COMMON (100 SF / UNIT [20'x20' MIN]):	5,000 SF	+15,000 SF
OR		
PRIVATE (80 SF / UNIT [6'x6' MIN]):	4,000 SF	+2,640 SF

FAR (90%):	97,970 SF	99,015 SF
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COVERAGE (50%):	54,426 SF	42,280 SF
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PARKING STANDARDS

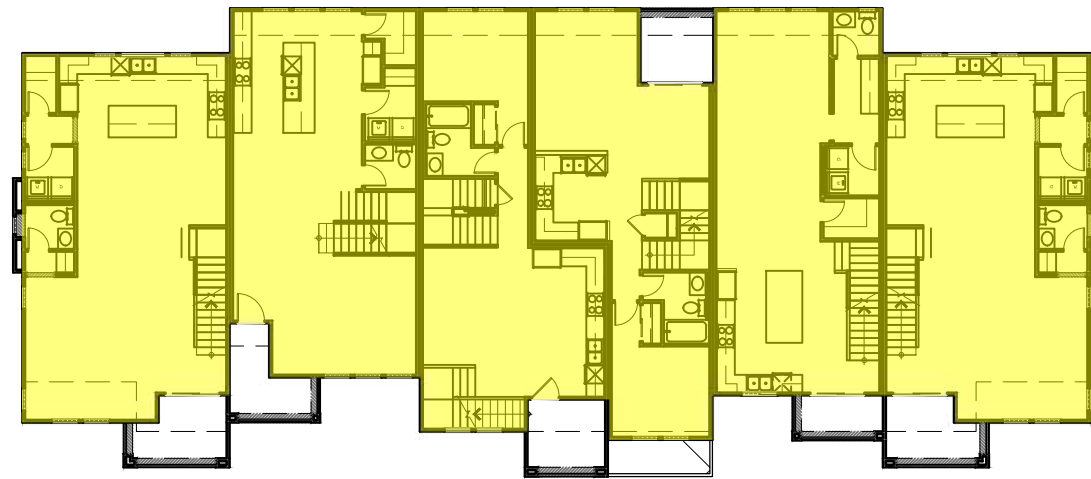
PARKING STANDARDS (PER MPMC 16.72)		
REQUIRED SPACES		
1 SPACES PER UNIT MIN.:	50 SPACES	
1.5 SPACES PER UNIT MAX.:	75 SPACES	

PARKING SPACES		
GARAGE SPACES:	100 SPACES	
SURFACE PARKING SPACES:	2 SPACES	
TOTAL SPACES PROVIDED:	102 SPACES	

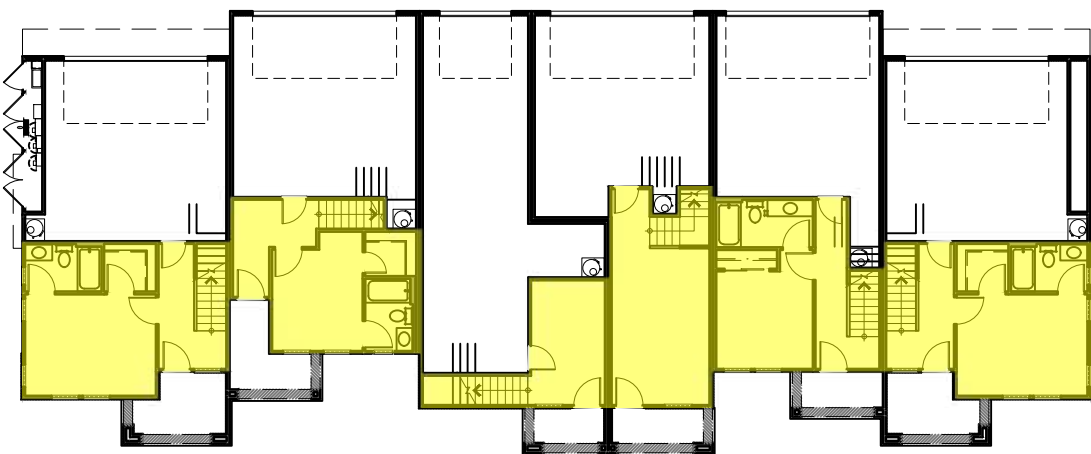
ALL GARAGE STALLS DO NOT MEET MINIMUM



BLDG TYPE 6A - THIRD FLOOR
4,935 SF



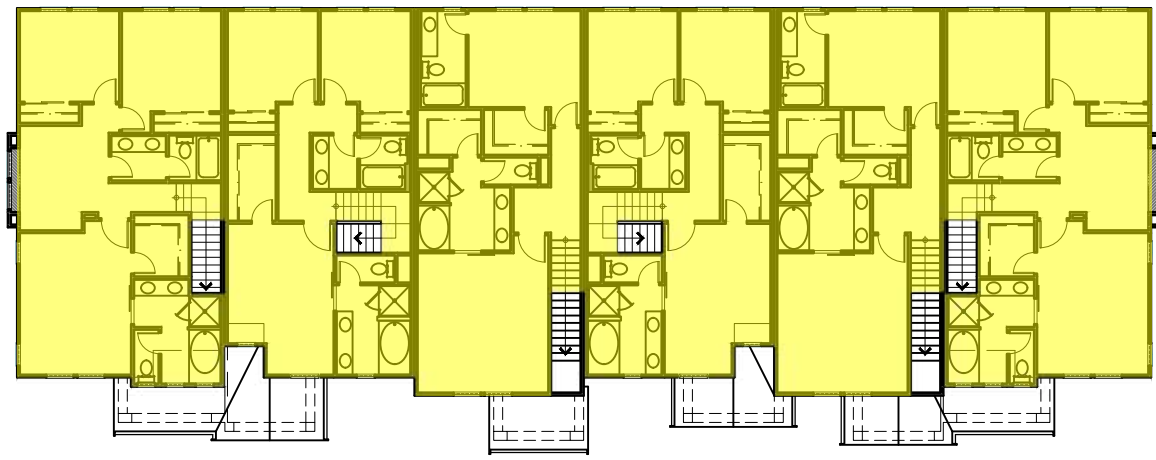
BLDG TYPE 6A - SECOND FLOOR
4,933 SF



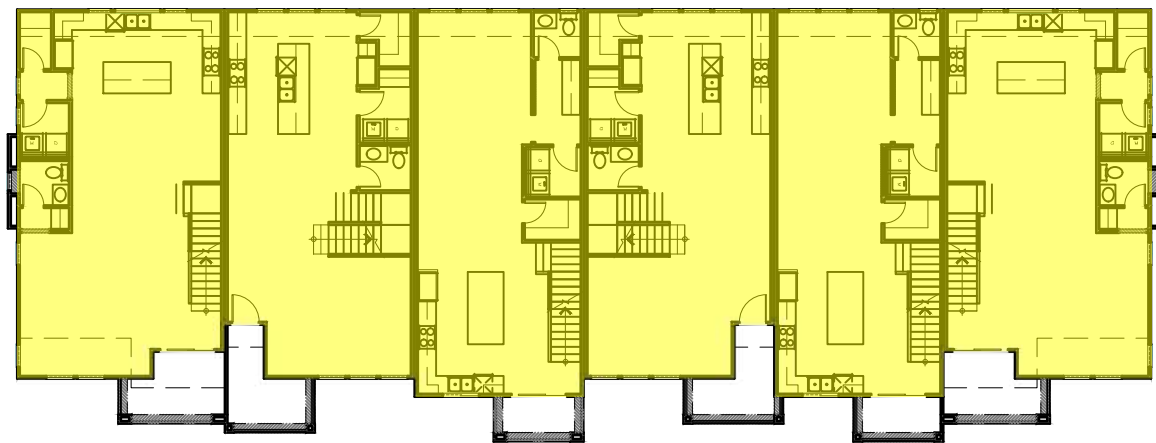
BLDG TYPE 6A - FIRST FLOOR
1,876 SF
TOTAL AREA = 11,744 SF

4 x 11,744 SF = 46,976 SF

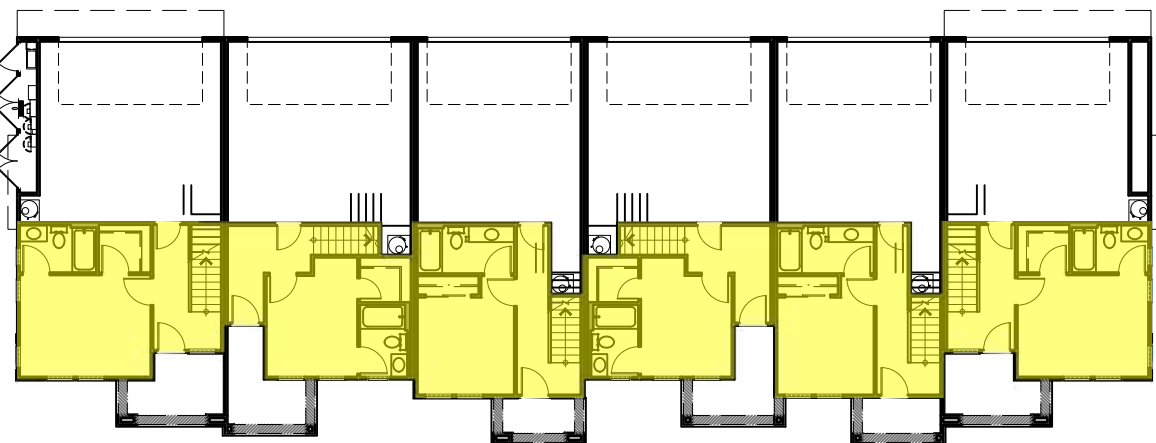
NOTE: BLDG TYPES 6A & 6A ALT HAVE IDENTICAL FLOOR AREAS.



BLDG TYPE 6B - THIRD FLOOR
5,051 SF

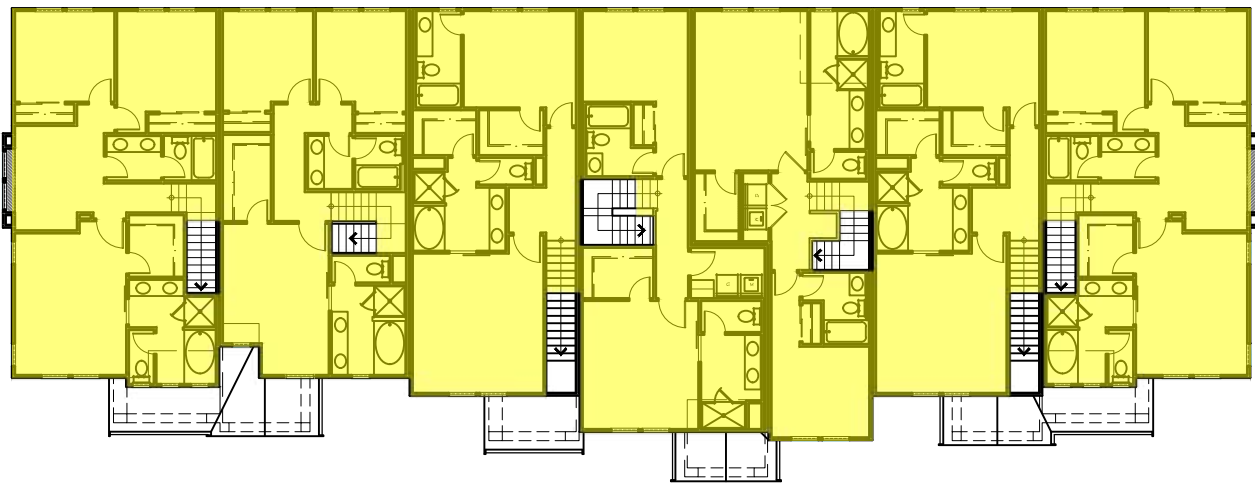


BLDG TYPE 6B - SECOND FLOOR
5,140 SF

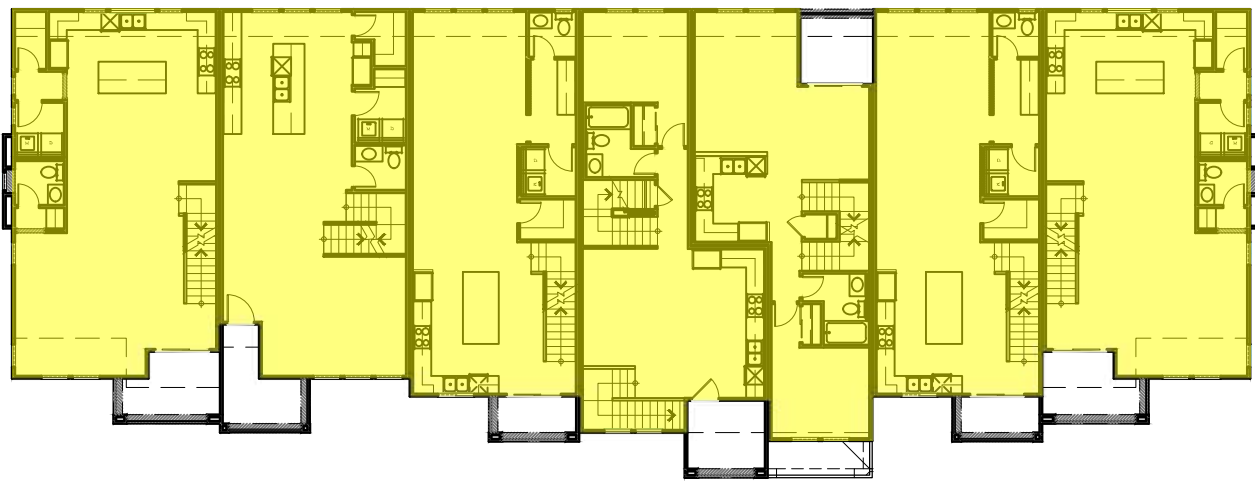


BLDG TYPE 6B - FIRST FLOOR
2,088 SF
TOTAL AREA = 12,279 SF

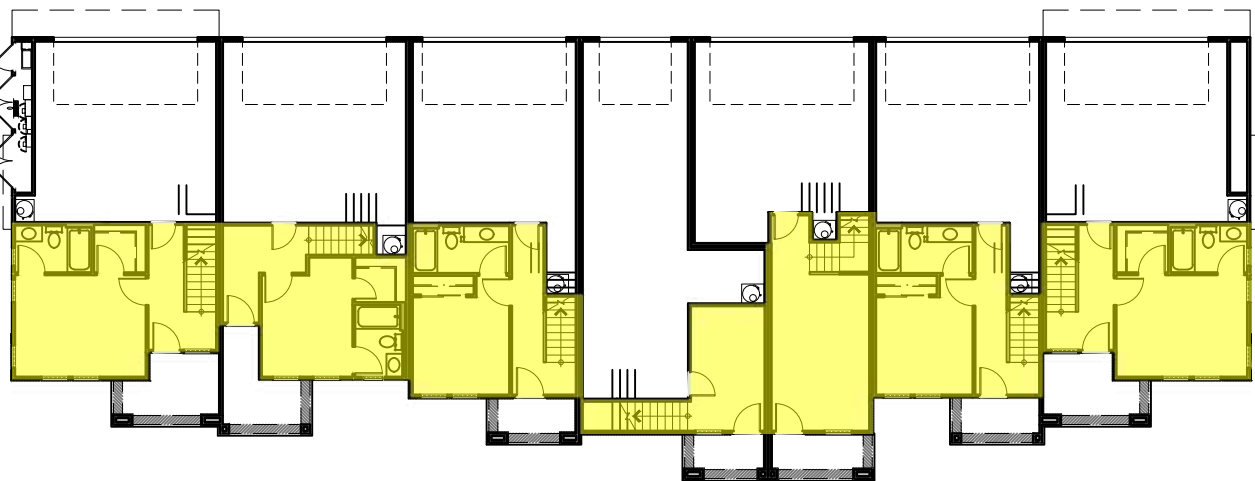
2 x 12,279 SF = 24,558 SF



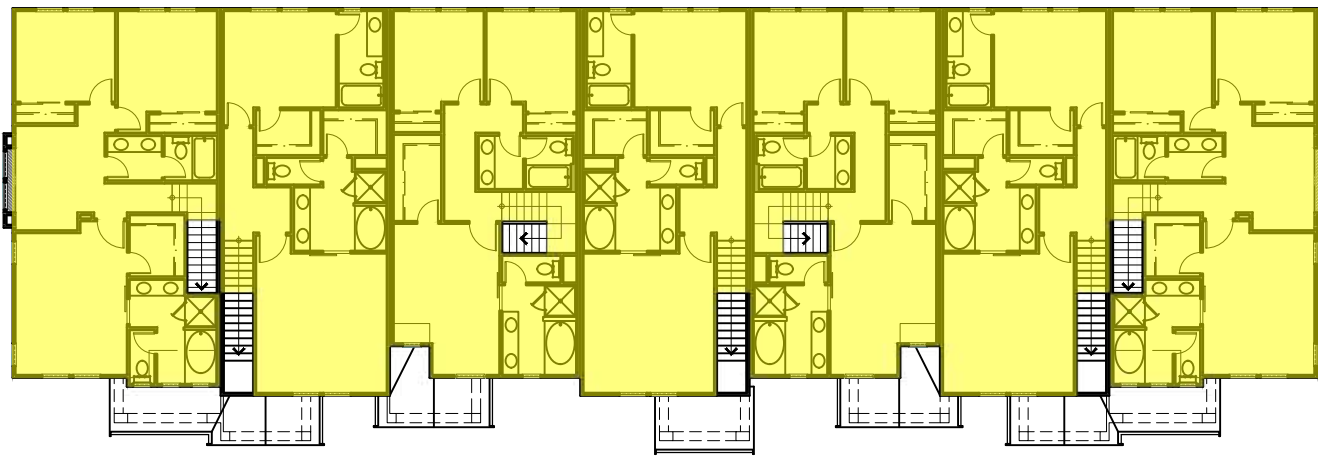
BLDG TYPE 7A - THIRD FLOOR
5,675 SF



BLDG TYPE 7A - SECOND FLOOR
5,745 SF



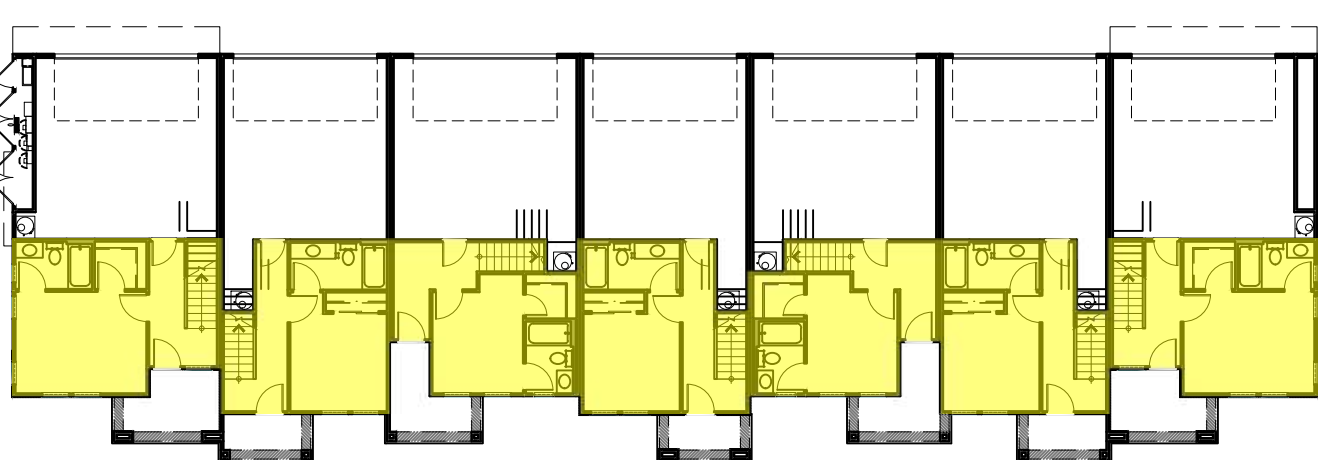
BLDG TYPE 7A - FIRST FLOOR
2,218 SF
TOTAL AREA = 13,638 SF



BLDG TYPE 7B - THIRD FLOOR
5,820 SF



BLDG TYPE 7B - SECOND FLOOR
5,952 SF



BLDG TYPE 7B - FIRST FLOOR
2,427 SF
TOTAL AREA = 14,199 SF

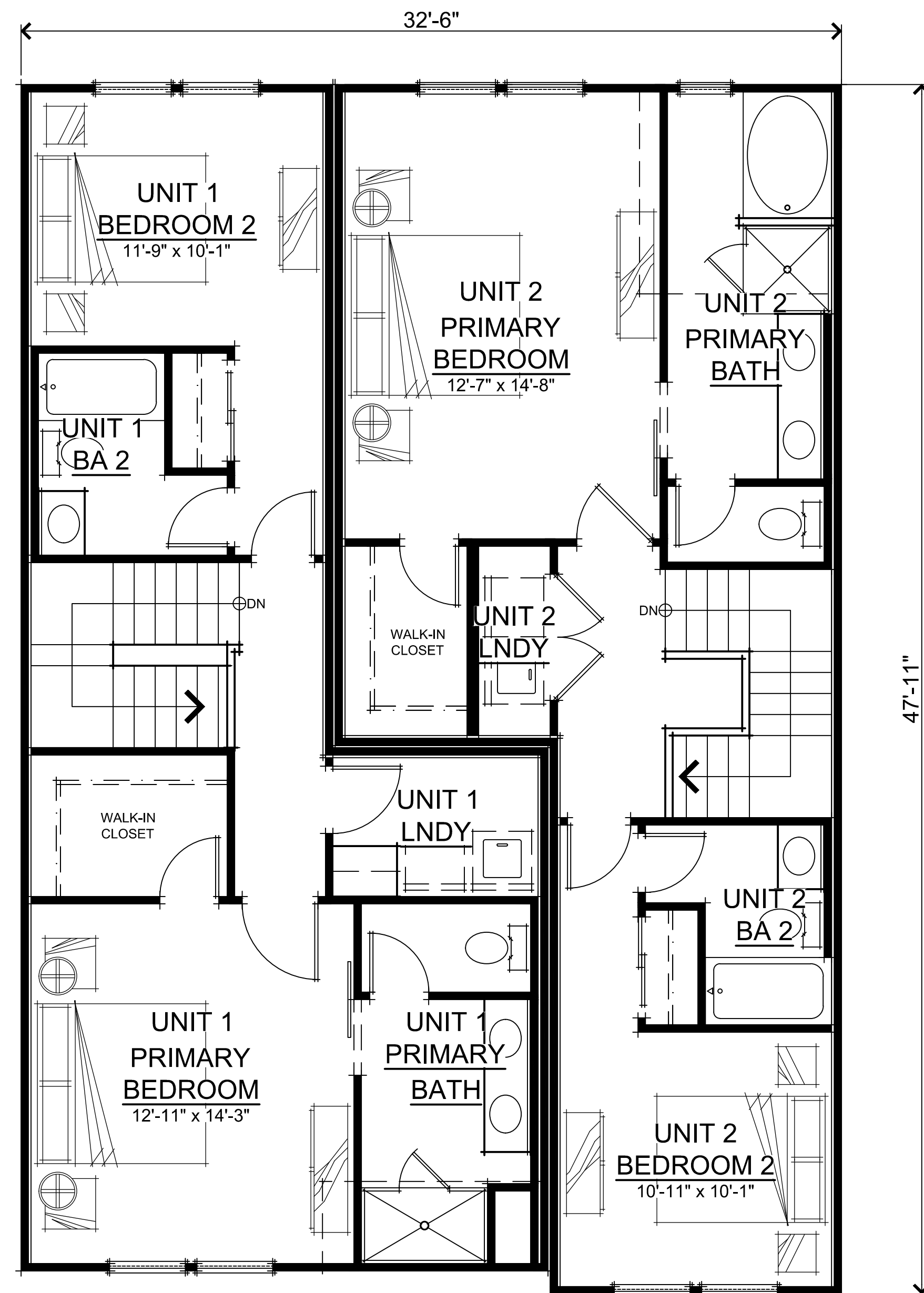
FAR CALCULATION

6A x 4	46,976 SF
6B x 2	24,558 SF
7A x 1	13,638 SF
7B x 1	14,199 SF

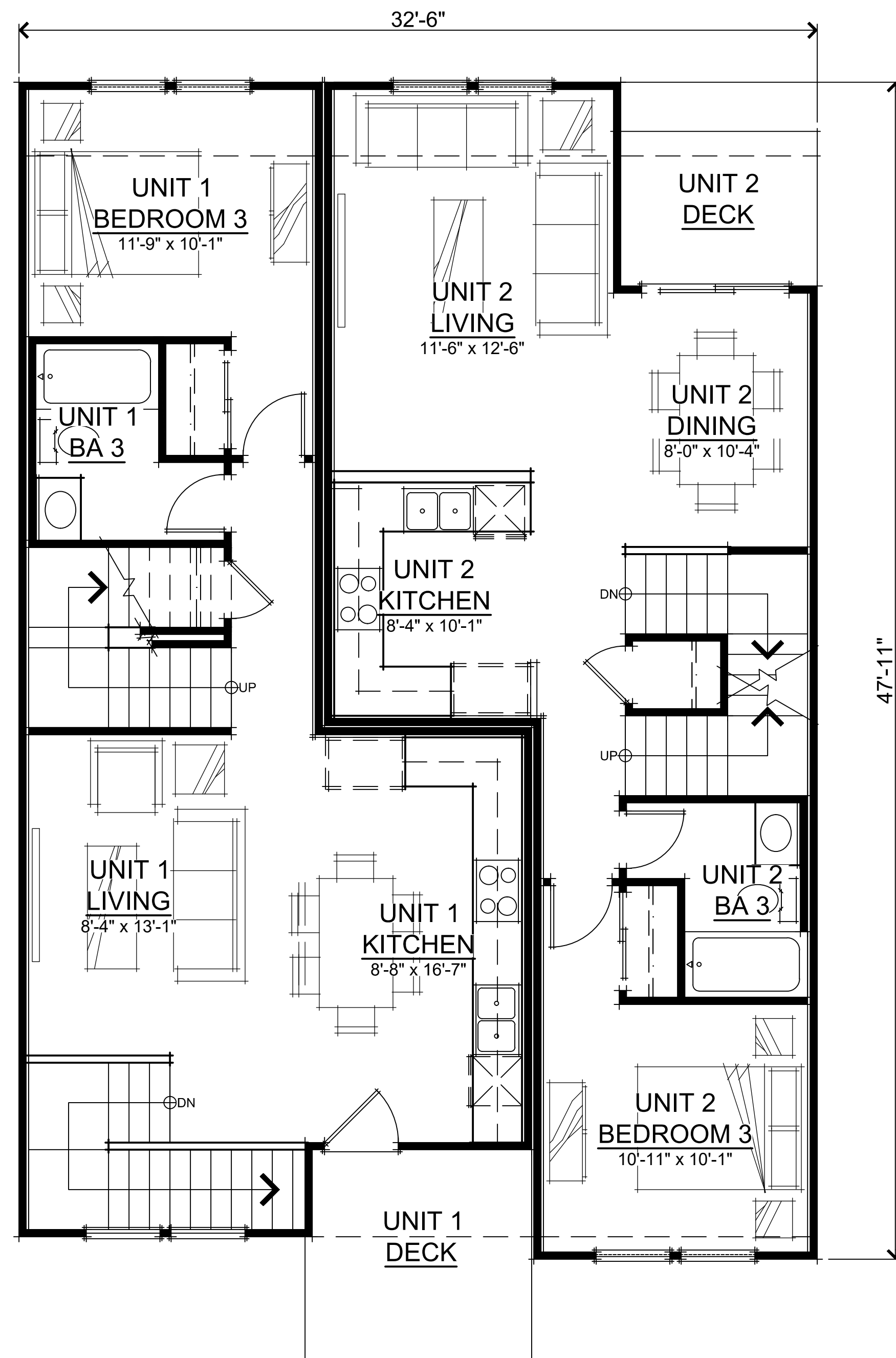
TOTAL 99,371 SF

108,868 SF LOT AREA = 0.91

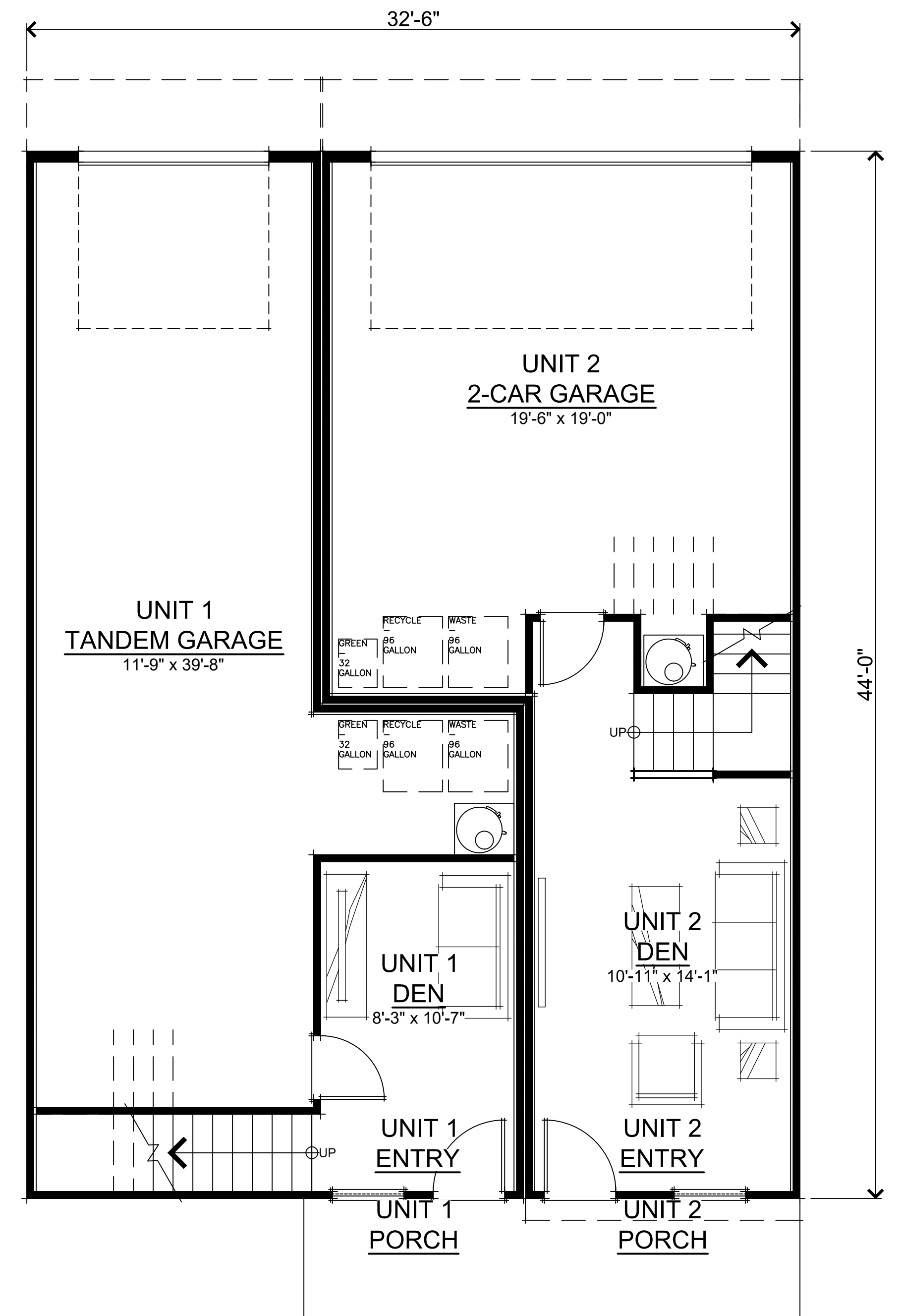
NOTE: DUE TO THE INCLUSION OF AIR GAPS, THE FLOOR AREAS LISTED ON THIS SHEET ARE GREATER THAN THE SUM OF EACH BUILDING TYPE'S UNIT AREAS.



THIRD FLOOR PLAN



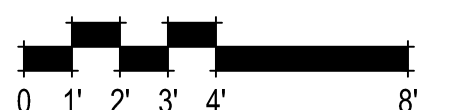
SECOND FLOOR PLAN



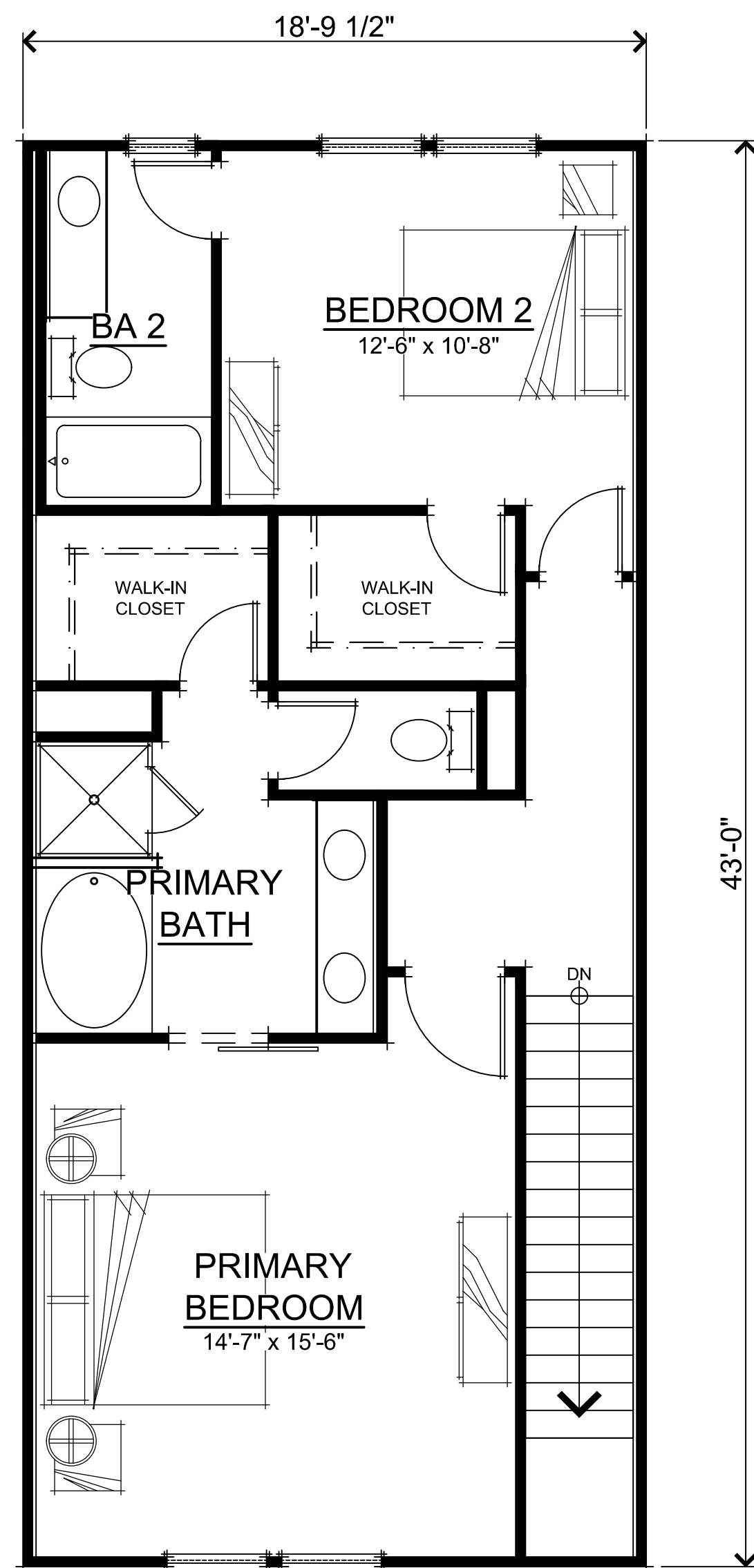
FIRST FLOOR PLAN

UNIT 2 SQUARE FOOTAGES	
FIRST FLOOR	277 SQ. FT.
SECOND FLOOR	714 SQ. FT.
THIRD FLOOR	745 SQ. FT.
TOTAL LIVING	1736 SQ. FT.
2-CAR GARAGE	433 SQ. FT.
PORCH	58 SQ. FT.
DECK	67 SQ. FT.

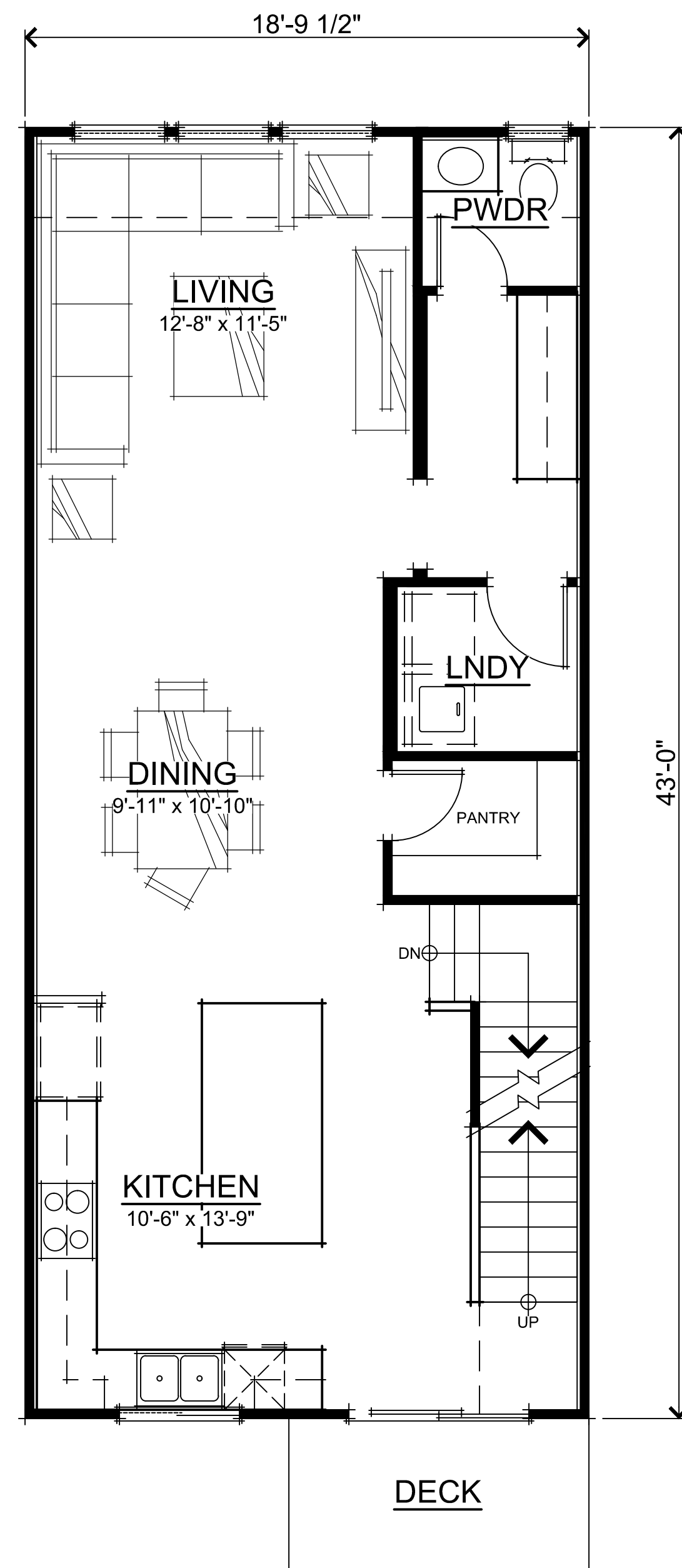
UNIT 1 SQUARE FOOTAGES	
FIRST FLOOR	174 SQ. FT.
SECOND FLOOR	686 SQ. FT.
THIRD FLOOR	709 SQ. FT.
TOTAL LIVING	1569 SQ. FT.
TANDEM GARAGE	550 SQ. FT.
PORCH	46 SQ. FT.
DECK	78 SQ. FT.



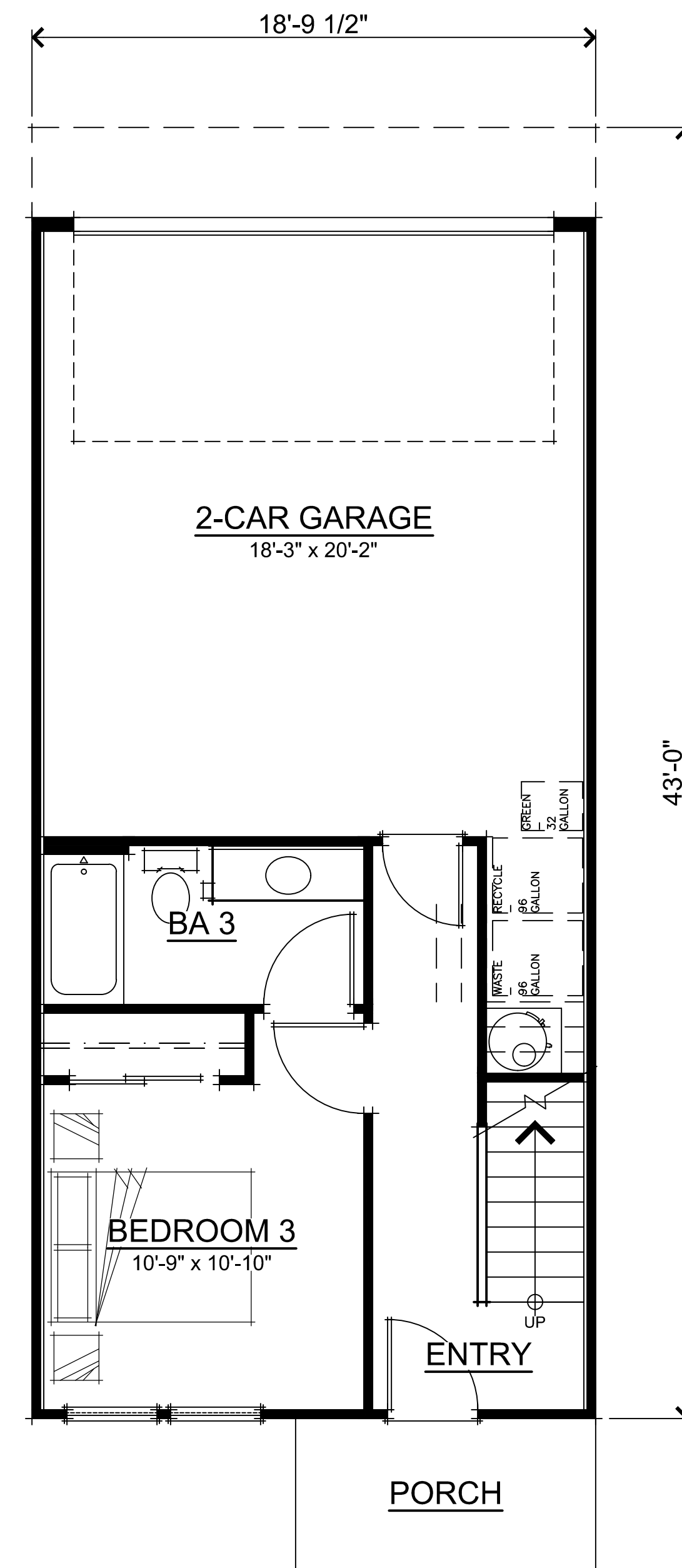
UNIT 1 & 2 FLOOR PLANS
A05



THIRD FLOOR PLAN

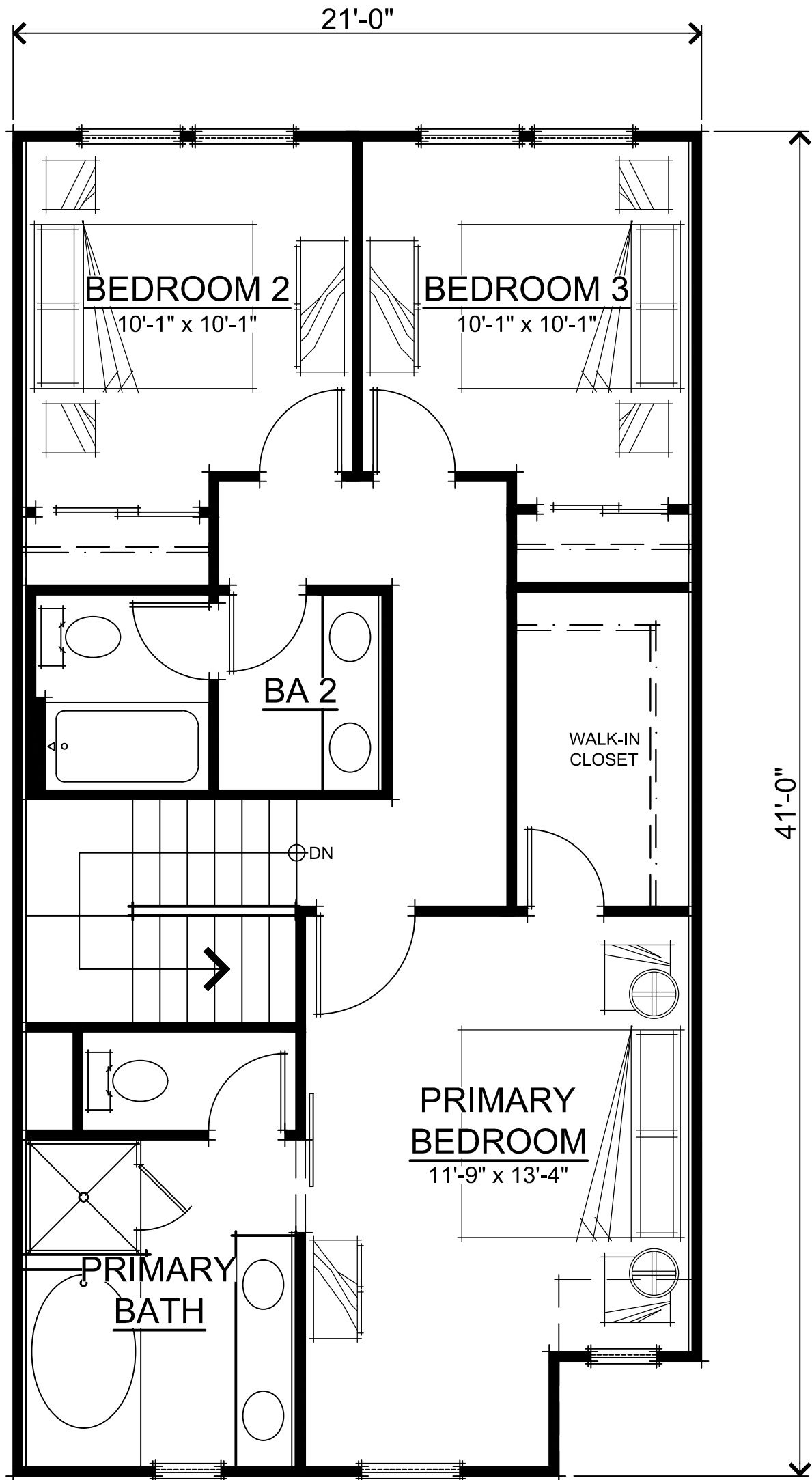


SECOND FLOOR PLAN

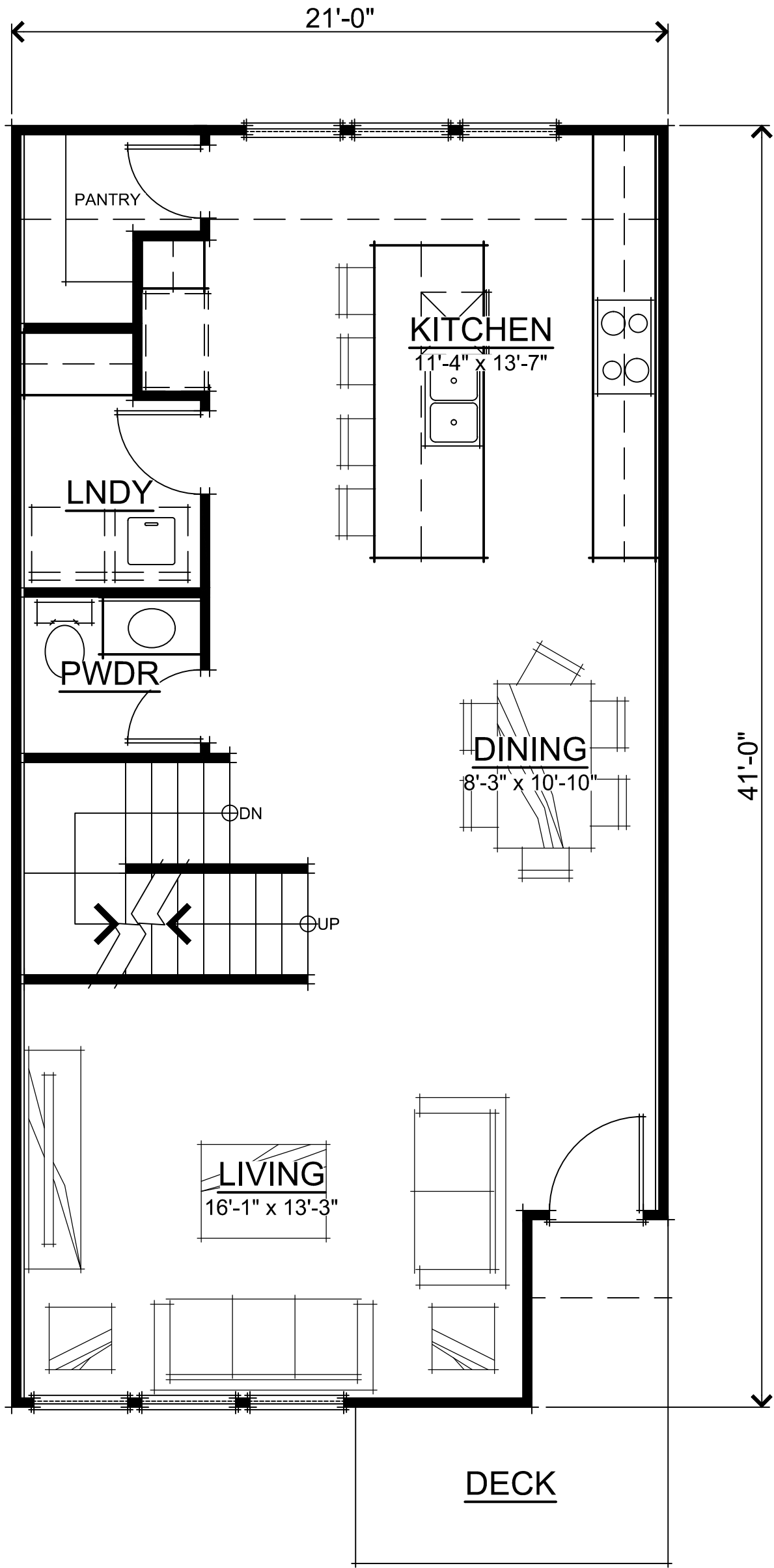


FIRST FLOOR PLAN

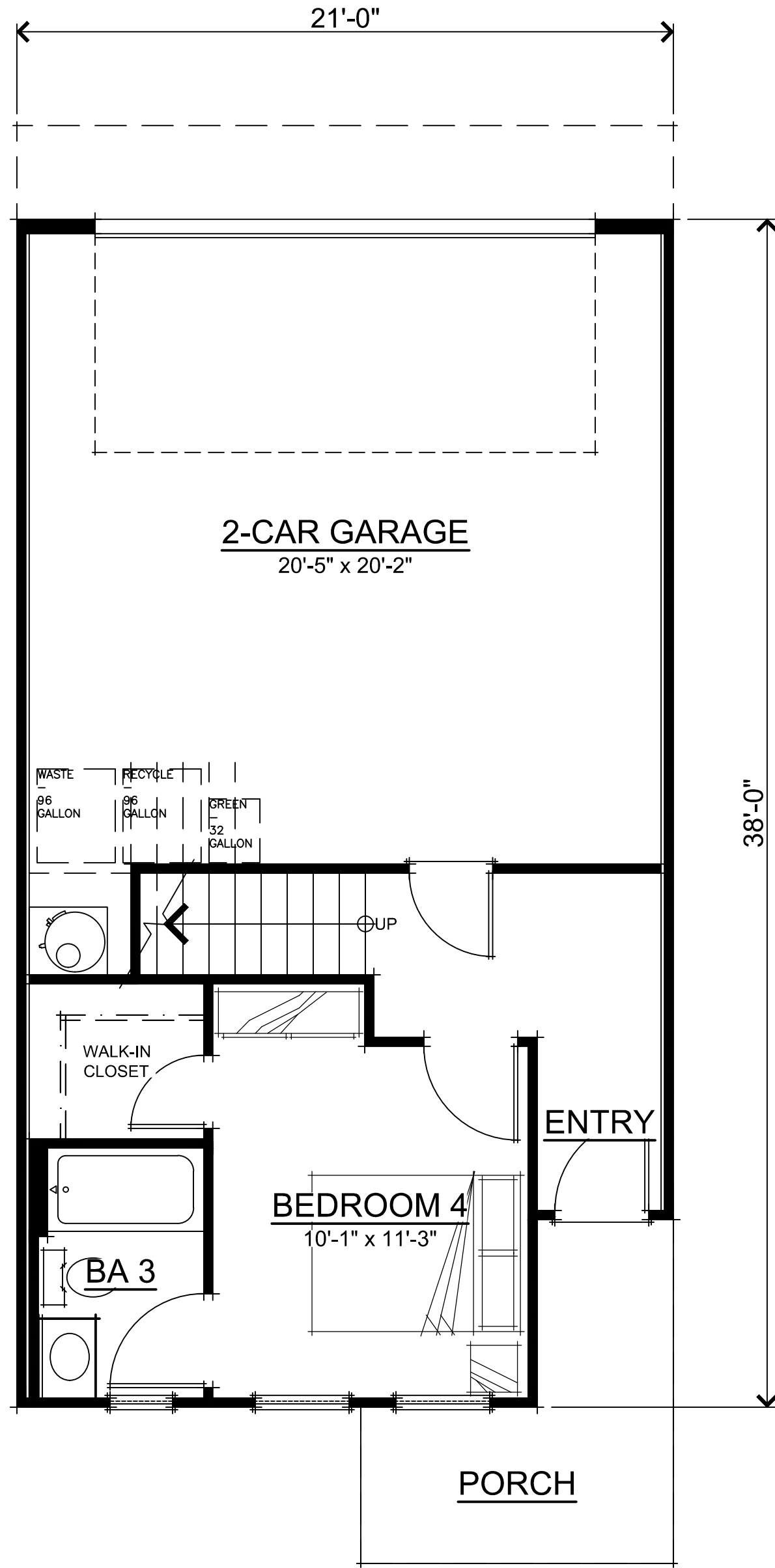
SQUARE FOOTAGES	
FIRST FLOOR	337 SQ. FT.
SECOND FLOOR	812 SQ. FT.
THIRD FLOOR	769 SQ. FT.
TOTAL LIVING	1918 SQ. FT.
2-CAR GARAGE	418 SQ. FT.



THIRD FLOOR PLAN



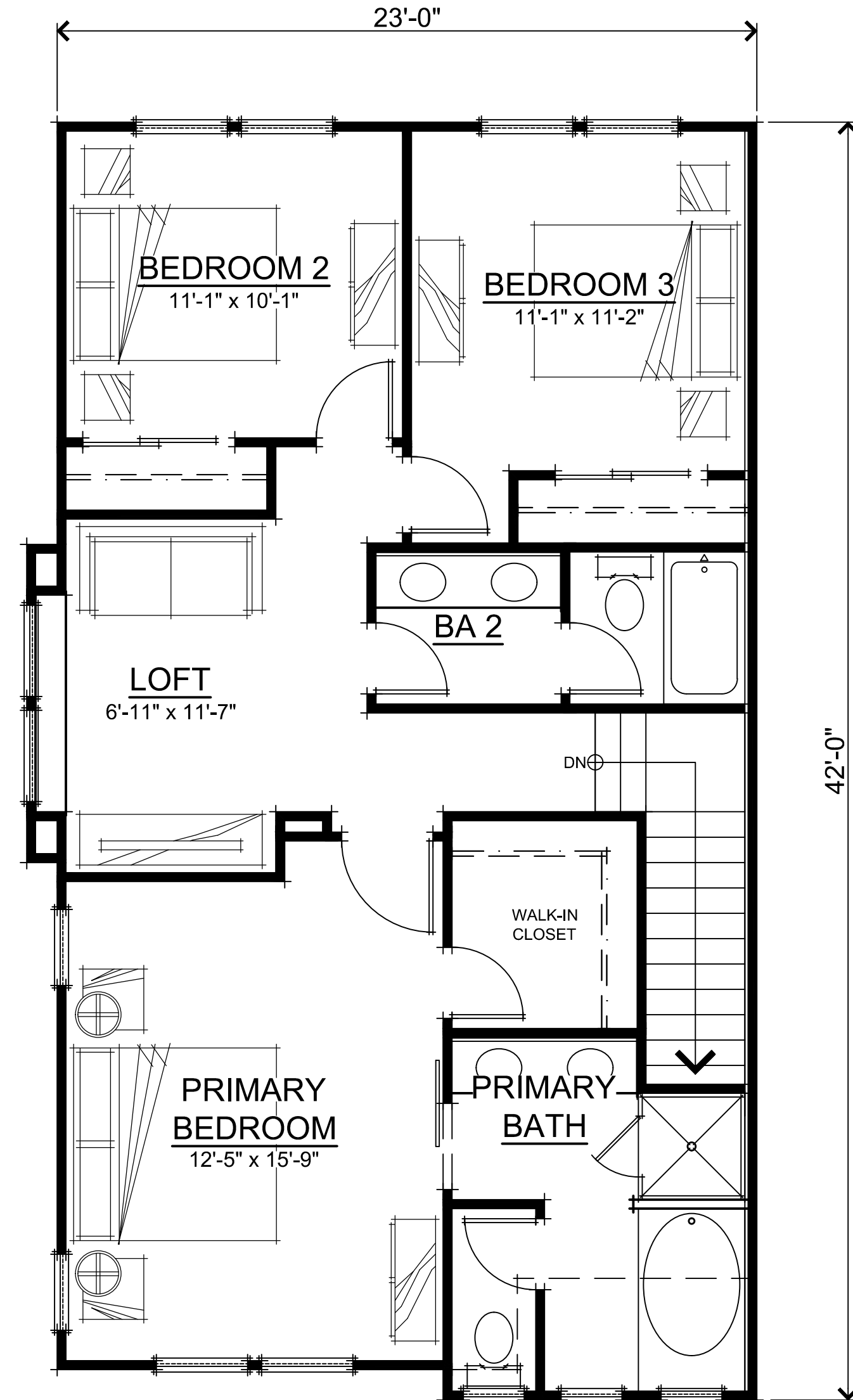
SECOND FLOOR PLAN



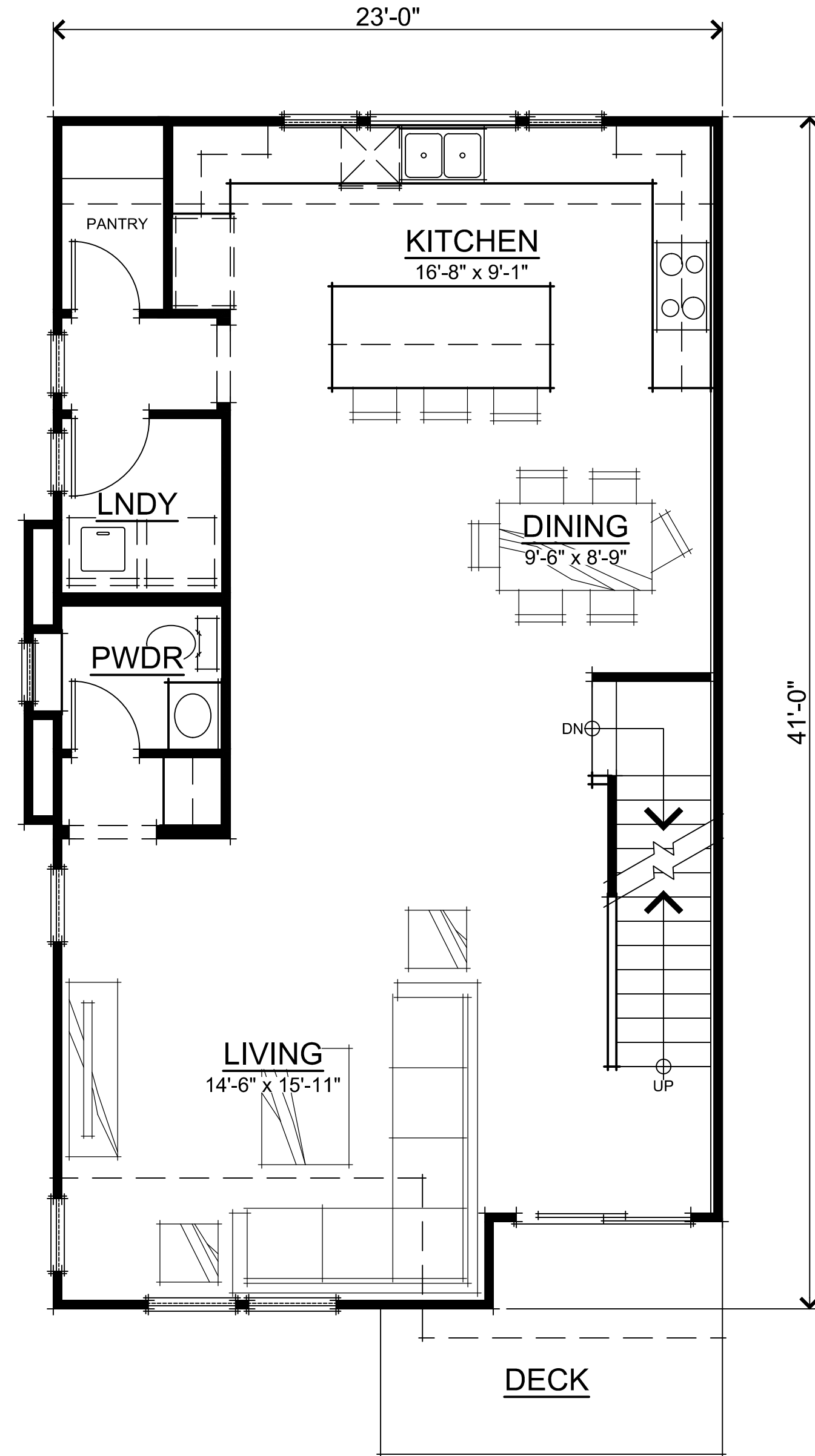
FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	327 SQ. FT.
SECOND FLOOR	838 SQ. FT.
THIRD FLOOR	831 SQ. FT.
TOTAL LIVING	1996 SQ. FT.
2-CAR GARAGE	448 SQ. FT.

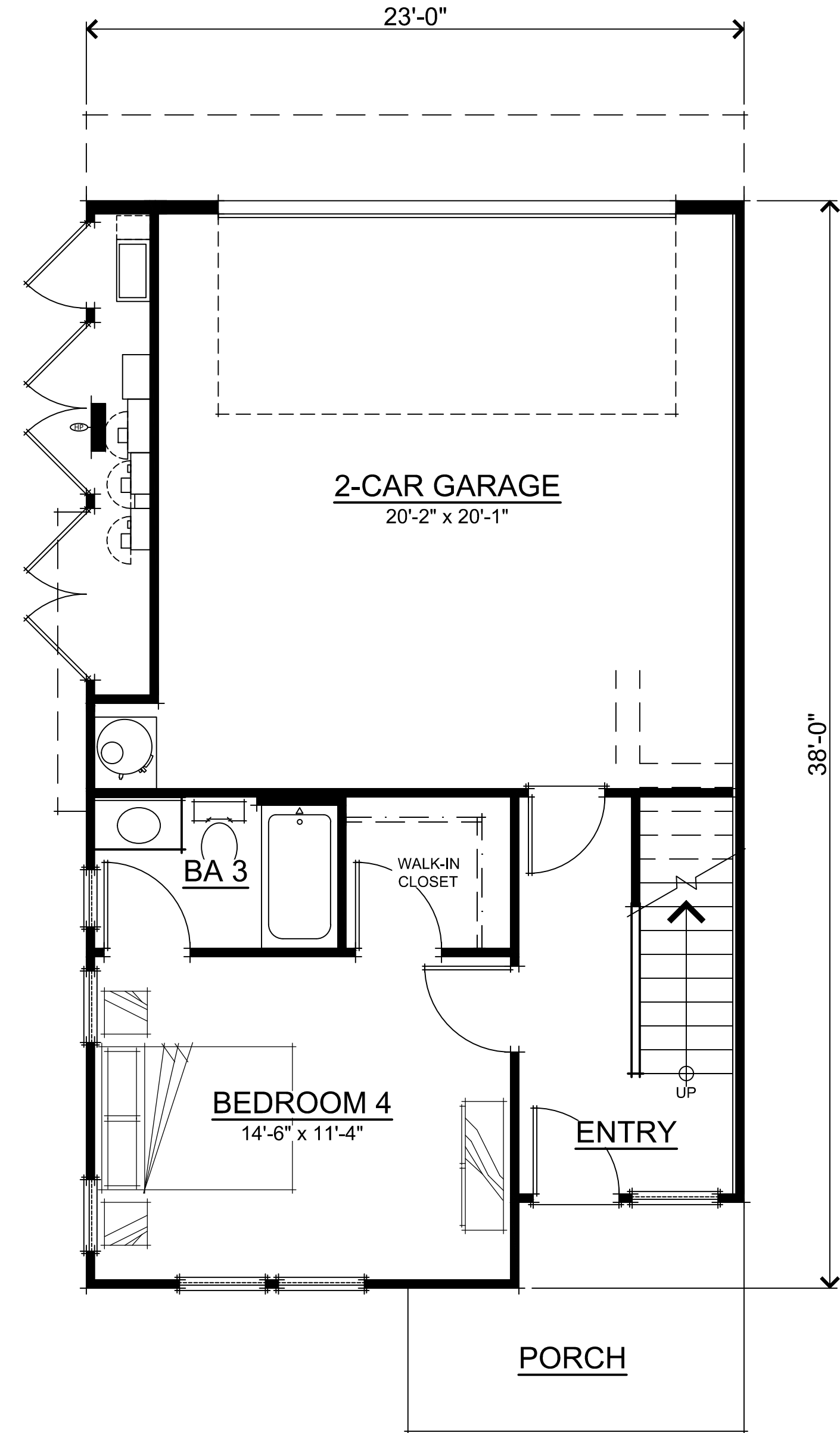




THIRD FLOOR PLAN



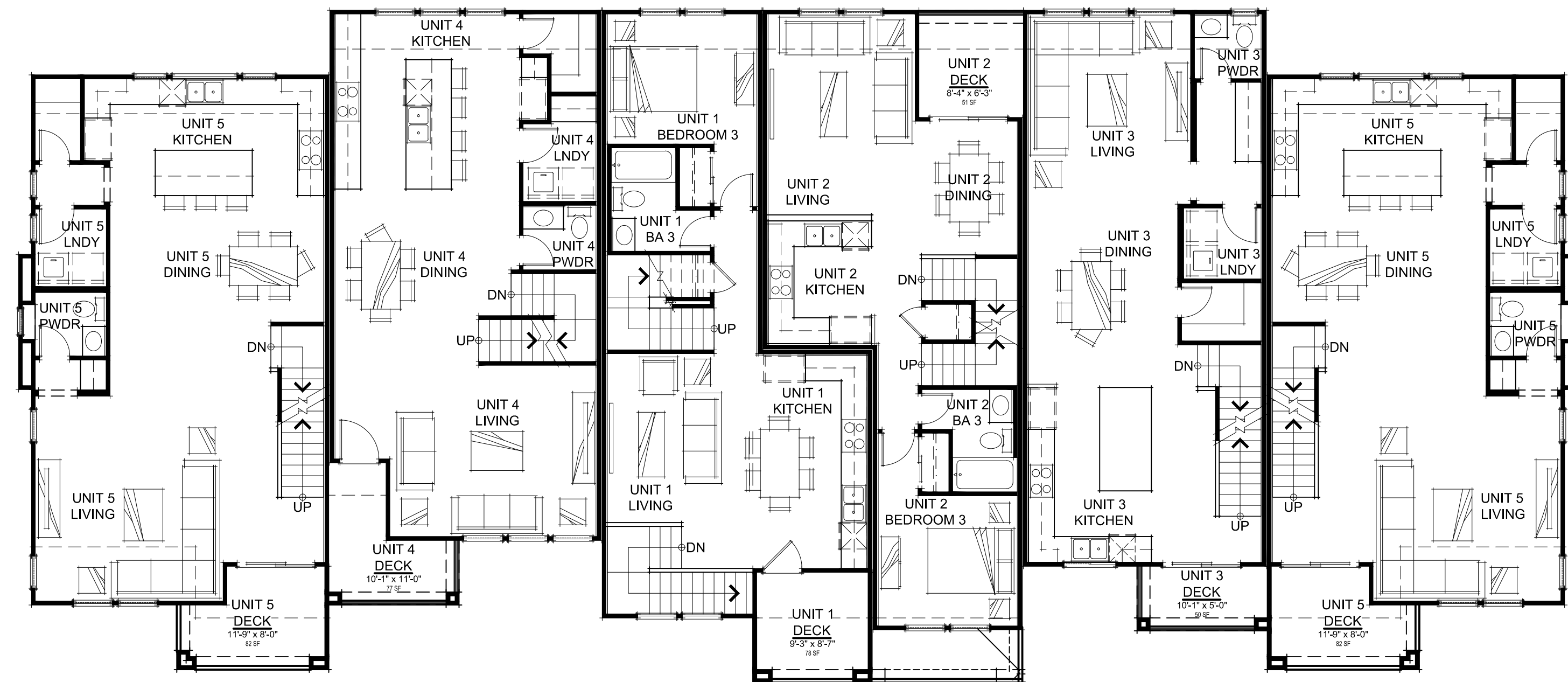
SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	379 SQ. FT.
SECOND FLOOR	921 SQ. FT.
THIRD FLOOR	925 SQ. FT.
TOTAL LIVING	2225 SQ. FT.
2-CAR GARAGE	435 SQ. FT.





UNIT 5

UNIT 4R

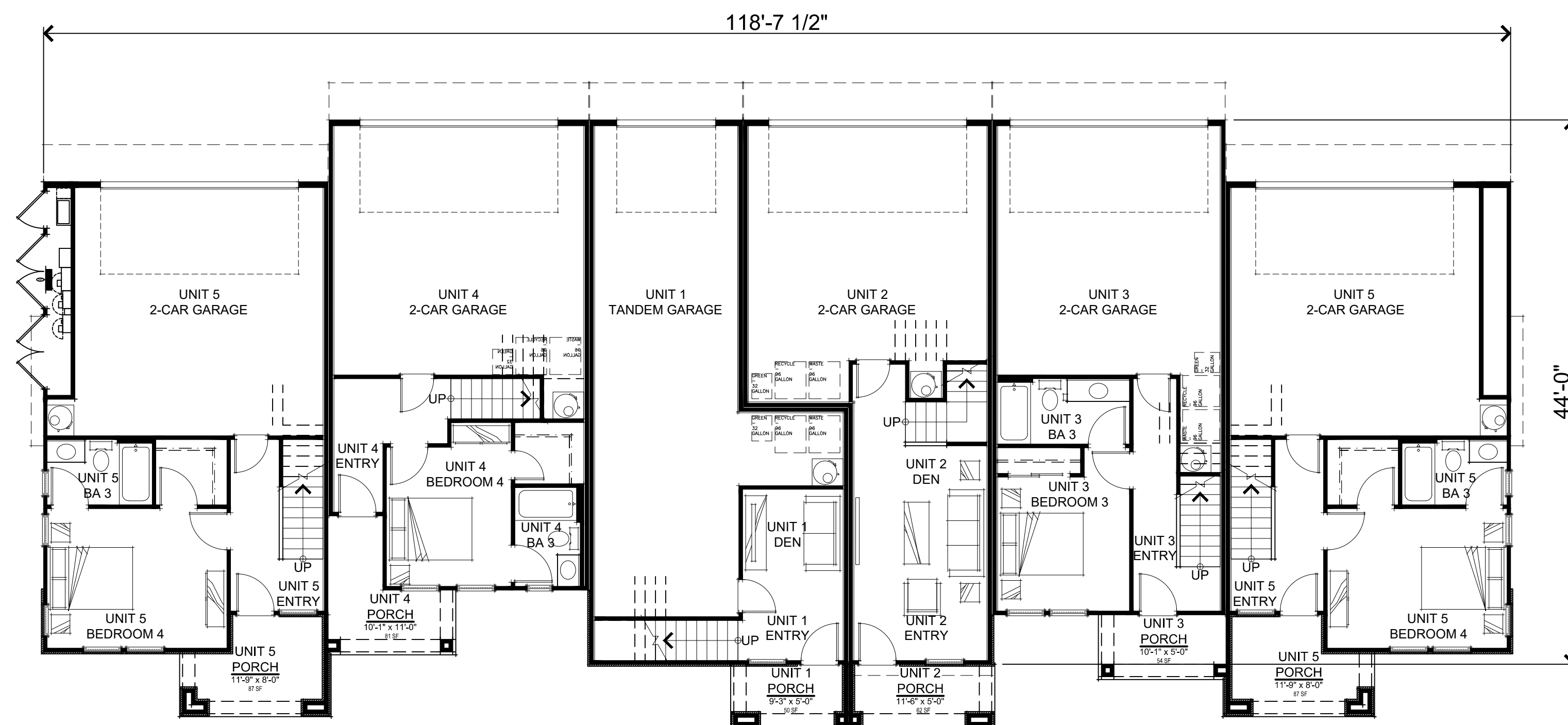
UNIT 1

UNIT 2

UNIT 3

UNIT 5R

SECOND FLOOR PLAN



UNIT 5

UNIT 4R

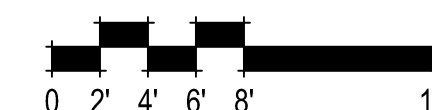
UNIT 1

UNIT 2

UNIT 3

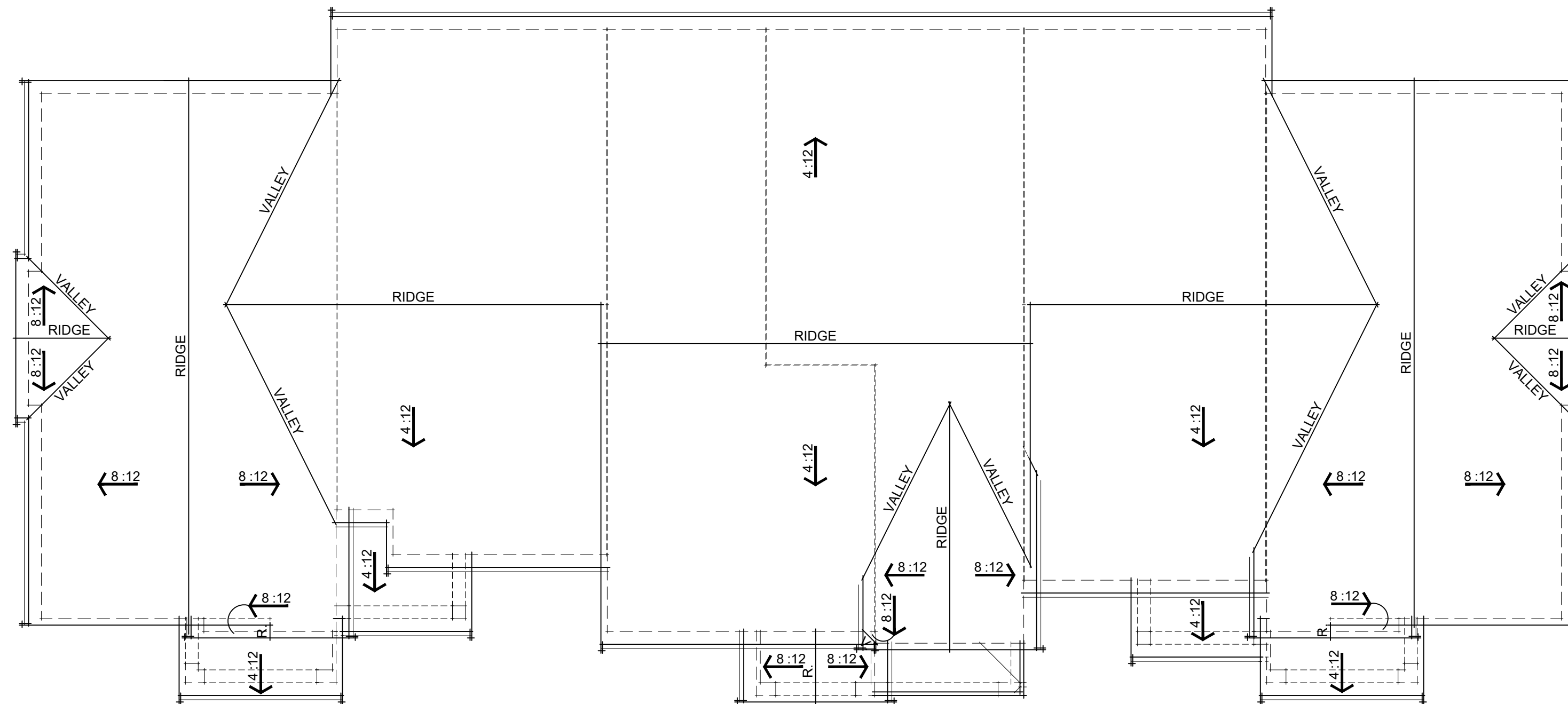
UNIT 5R

FIRST FLOOR PLAN



BLDG TYPE 6A FIRST & SECOND FLOOR PLANS

A09



UNIT 5

UNIT 4R

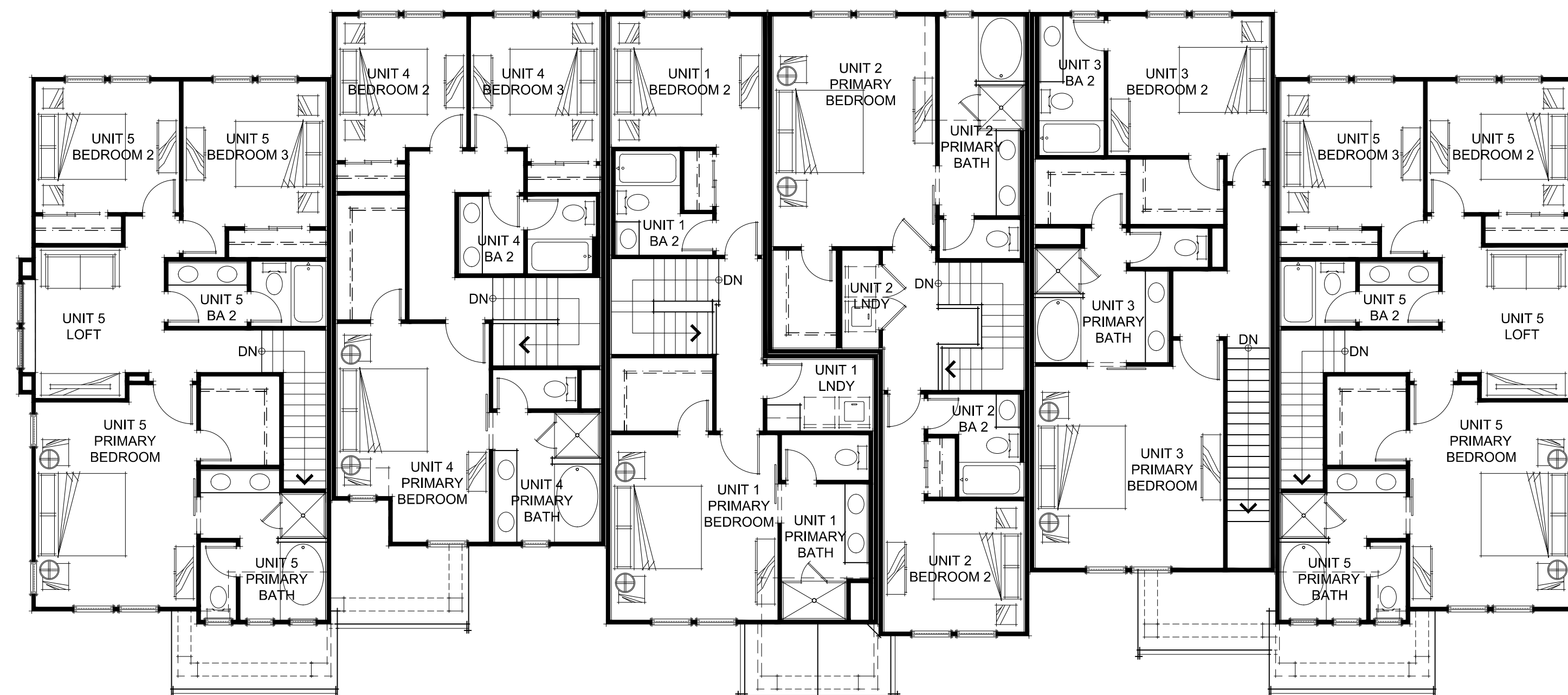
UNIT 1

UNIT 2

UNIT 3

UNIT 5R

ROOF PLAN



UNIT 5

UNIT 4R

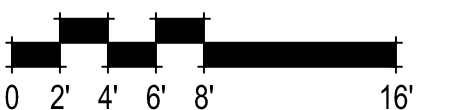
UNIT 1

UNIT 2

UNIT 3

UNIT 5R

THIRD FLOOR PLAN



BLDG TYPE 6A THIRD FLOOR & ROOF PLANS

A09.1



UNIT 5

UNIT 4R

UNIT 1

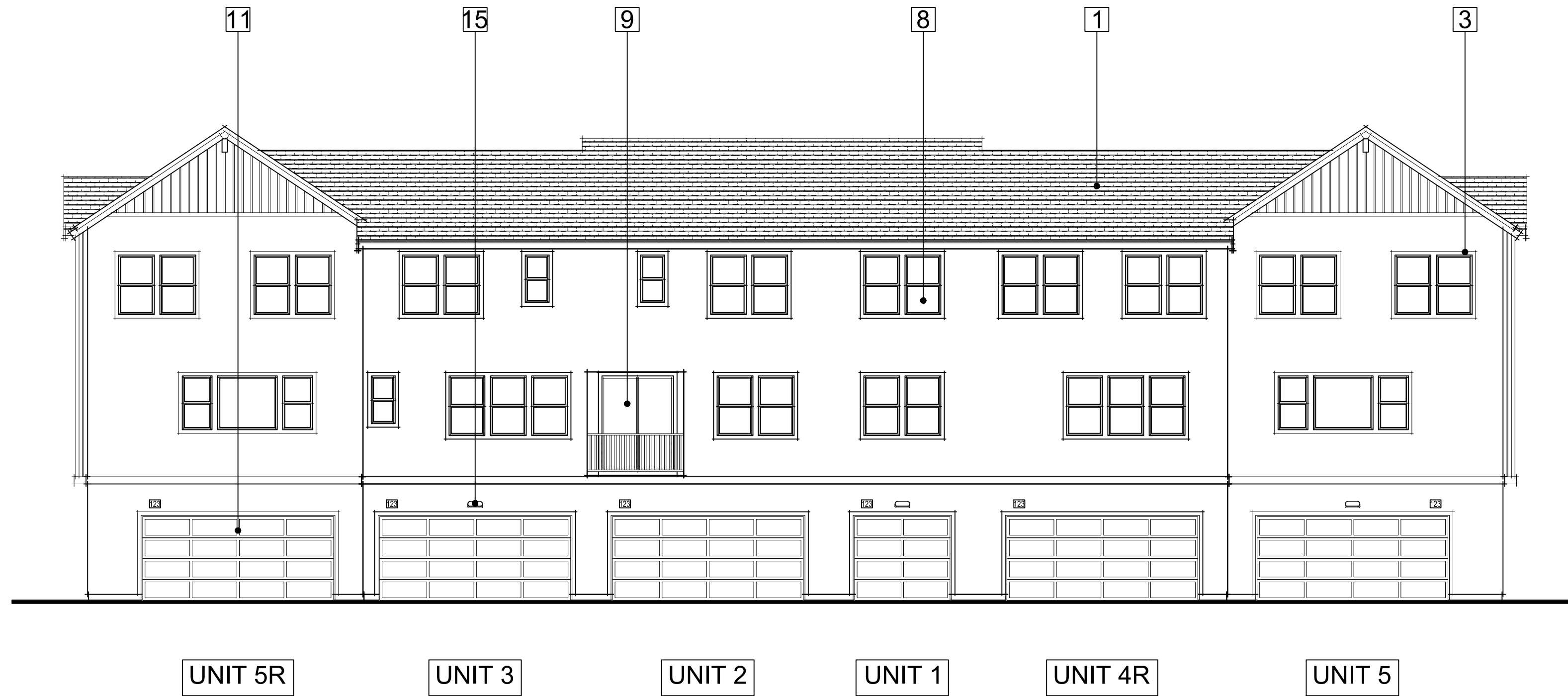
UNIT 2

UNIT 3

UNIT 5R

EXTERIOR MATERIALS

- 1 COMPOSITION SHINGLE ROOFING
- 2 EXTERIOR PLASTER WITH 20/30 LIGHT SAND FINISH
- 3 EXTERIOR PLASTER FINISH OVER 2x FOAM TRIM
- 4 BOARD AND BATTEN SIDING
- 5 2x WOOD TRIM
- 6 STONE VENEER
- 7 WOOD RAILING
- 8 INSULATED VINYL WINDOWS
- 9 VINYL SLIDING GLASS DOOR
- 10 FIBERGLASS FRONT DOOR
- 11 SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
- 12 METAL FASCIA GUTTER
- 13 DECORATIVE WOOD OUTRIGGER
- 14 BACKLIT ADDRESS
- 15 WALL PACK LIGHT SEE PHOTOMETRIC FOR LOCATION
- 16 WALL SCONCE LIGHT SEE PHOTOMETRIC FOR LOCATION



REAR ELEVATION



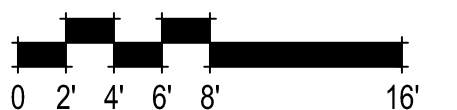
RIGHT ELEVATION

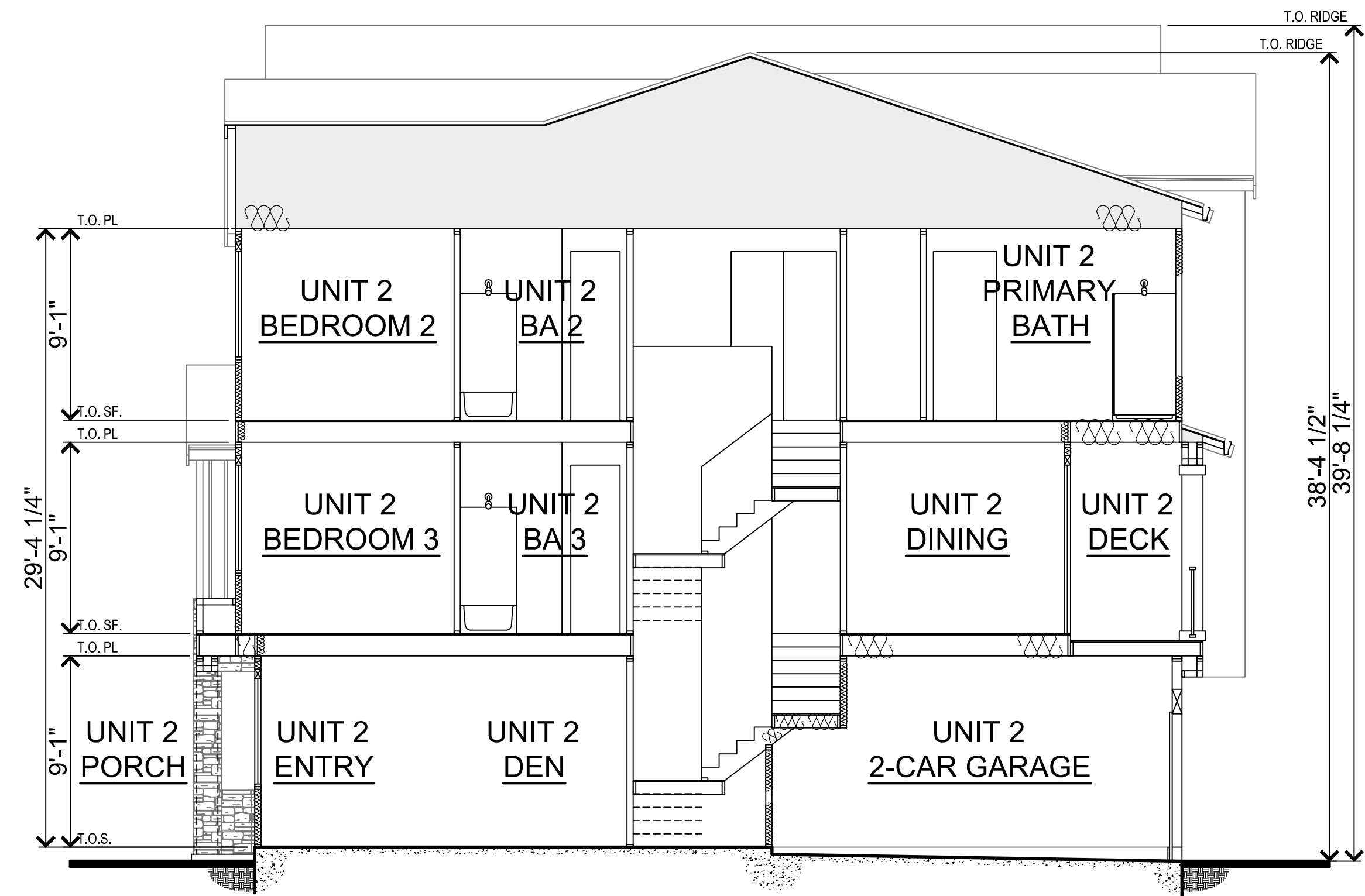


LEFT ELEVATION

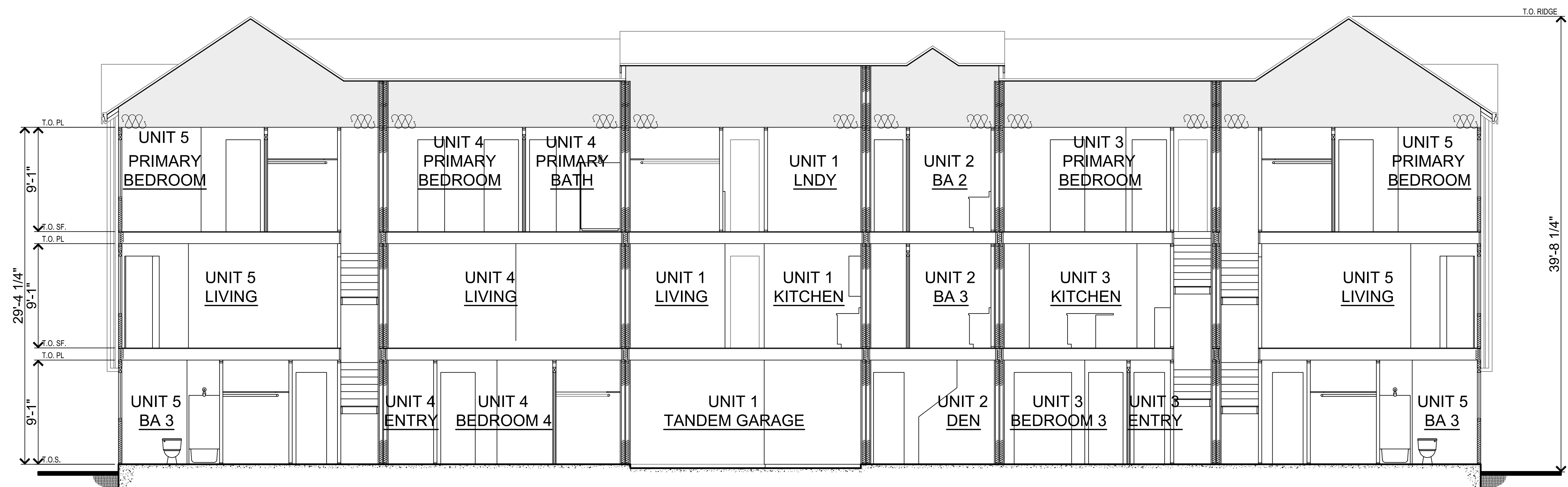


FRONT ELEVATION





BLDG TYPE 6A - SECTION

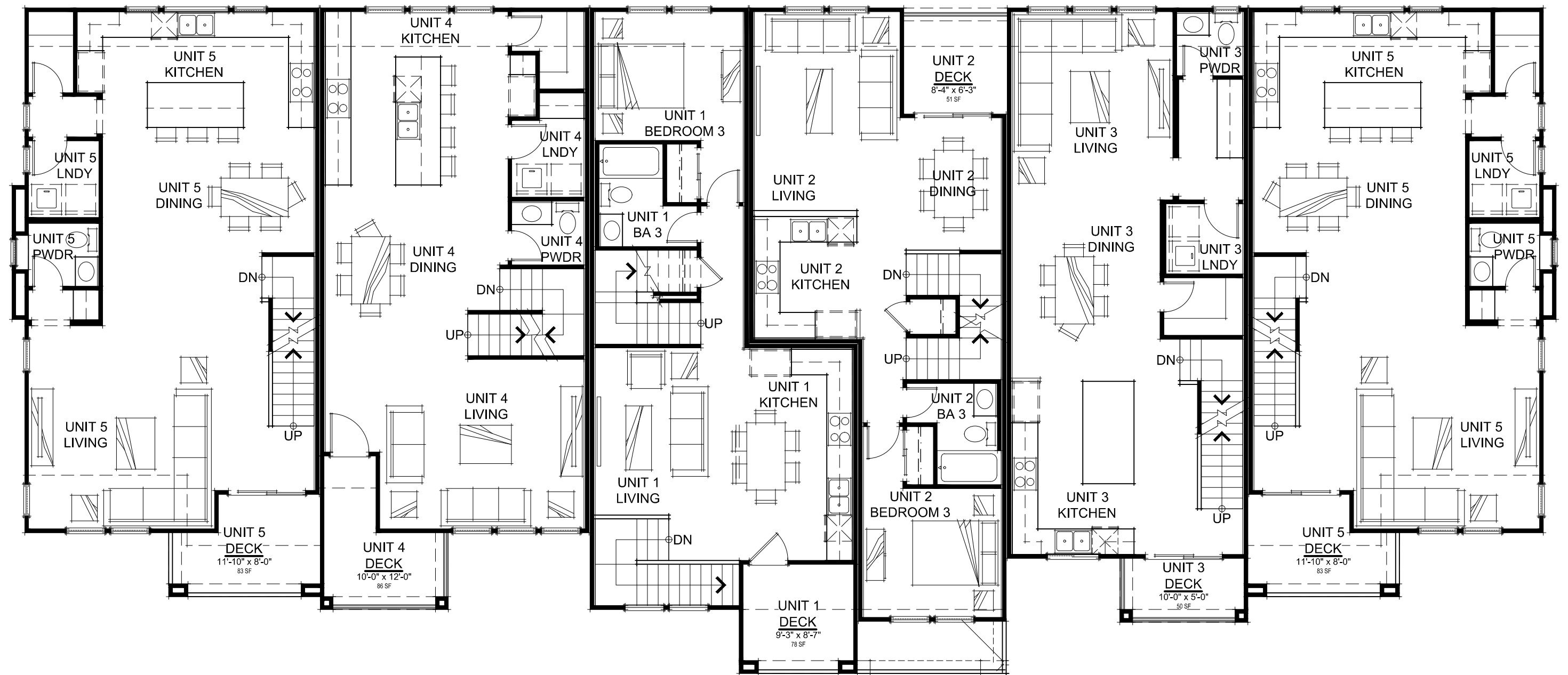


BLDG TYPE 6A - SECTION

BLDG TYPE 6A BUILDING SECTIONS

A09.4





UNIT 5

UNIT 4R

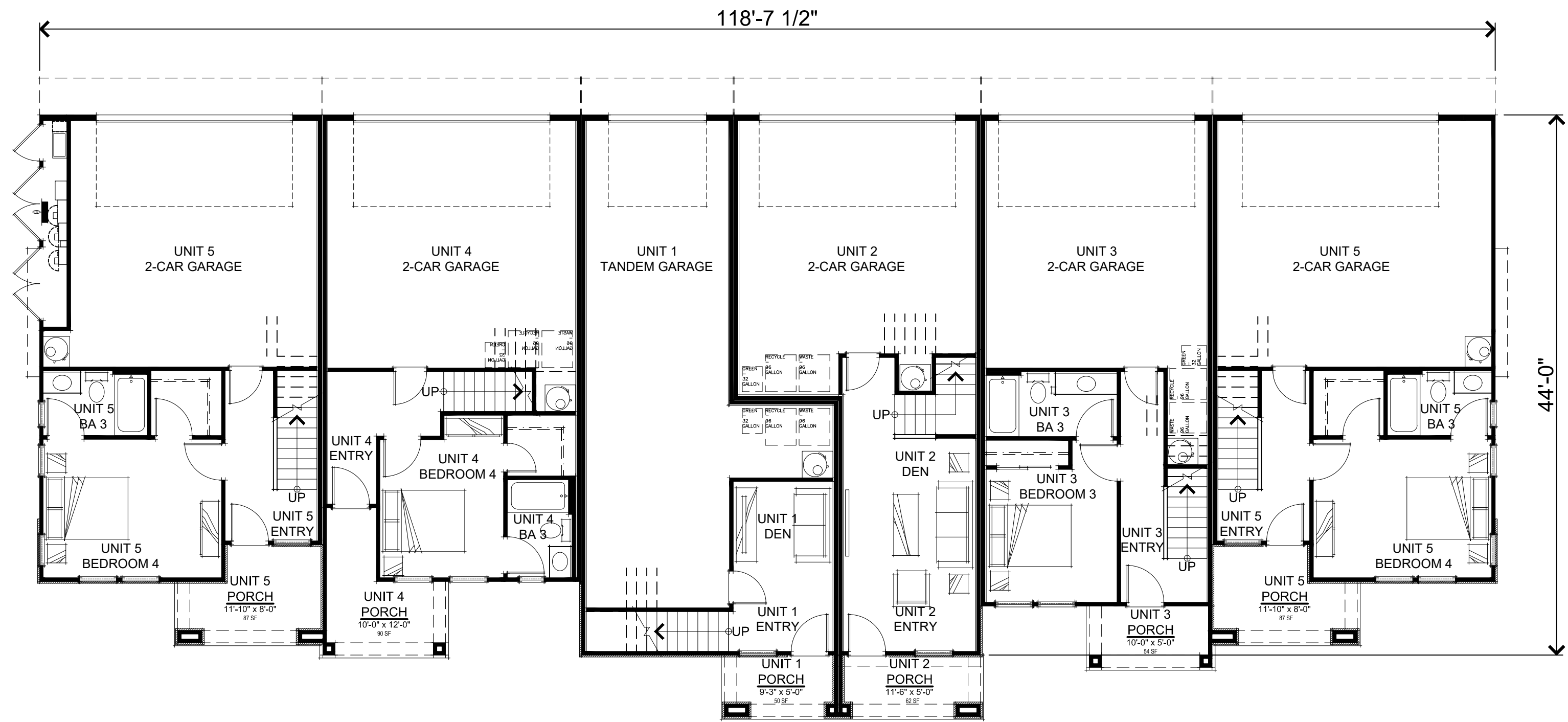
UNIT 1

UNIT 2

UNIT 3

UNIT 5R

SECOND FLOOR PLAN



UNIT 5

UNIT 4R

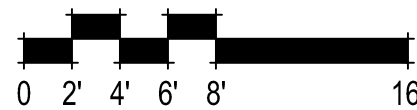
UNIT 1

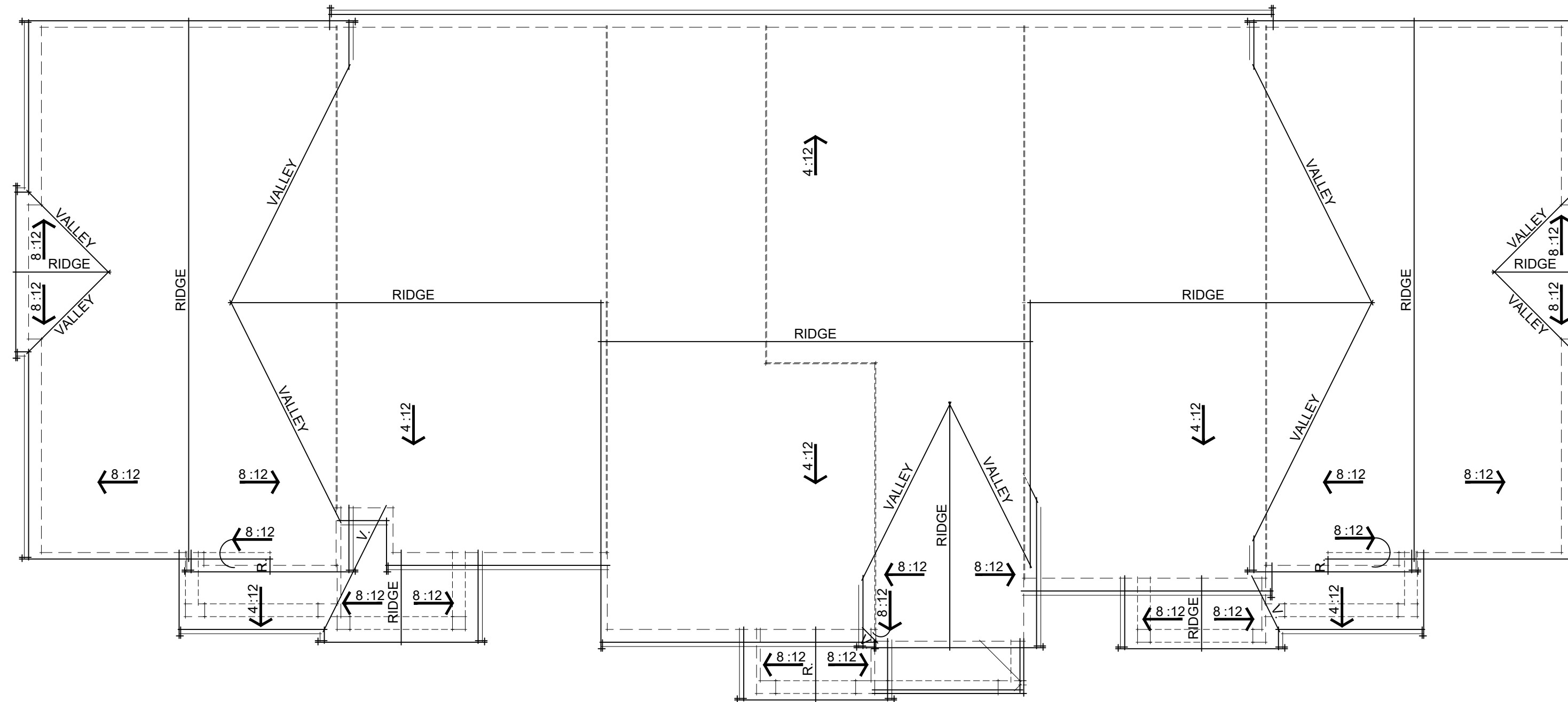
UNIT 2

UNIT 3

UNIT 5R

FIRST FLOOR PLAN





UNIT 5

UNIT 4R

UNIT 1

UNIT 2

UNIT 3

UNIT 5R

ROOF PLAN



UNIT 5

UNIT 4R

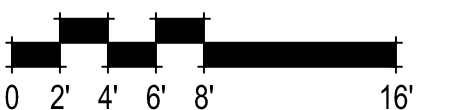
UNIT 1

UNIT 2

UNIT 3

UNIT 5R

THIRD FLOOR PLAN



BLDG TYPE 6A ALT THIRD FLOOR & ROOF PLANS

A10.1



UNIT 5

UNIT 4R

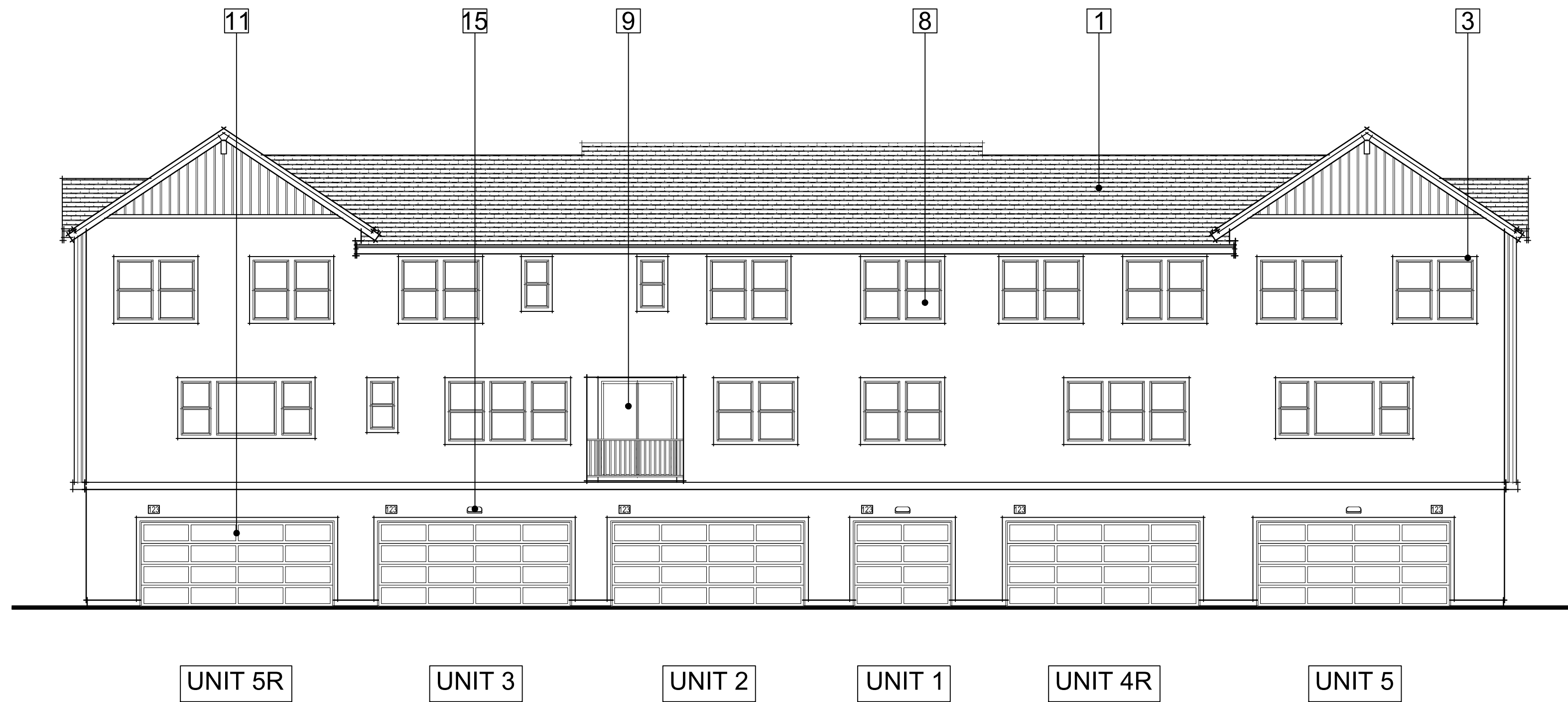
UNIT 1

UNIT 2

UNIT 3

UNIT 5R

- EXTERIOR MATERIALS**
- 1 COMPOSITION SHINGLE ROOFING
 - 2 EXTERIOR PLASTER WITH 20/30 LIGHT SAND FINISH
 - 3 EXTERIOR PLASTER FINISH OVER 2x FOAM TRIM
 - 4 BOARD AND BATTEN SIDING
 - 5 2x WOOD TRIM
 - 6 STONE VENEER
 - 7 WOOD RAILING
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REAR ELEVATION



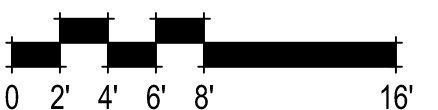
RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



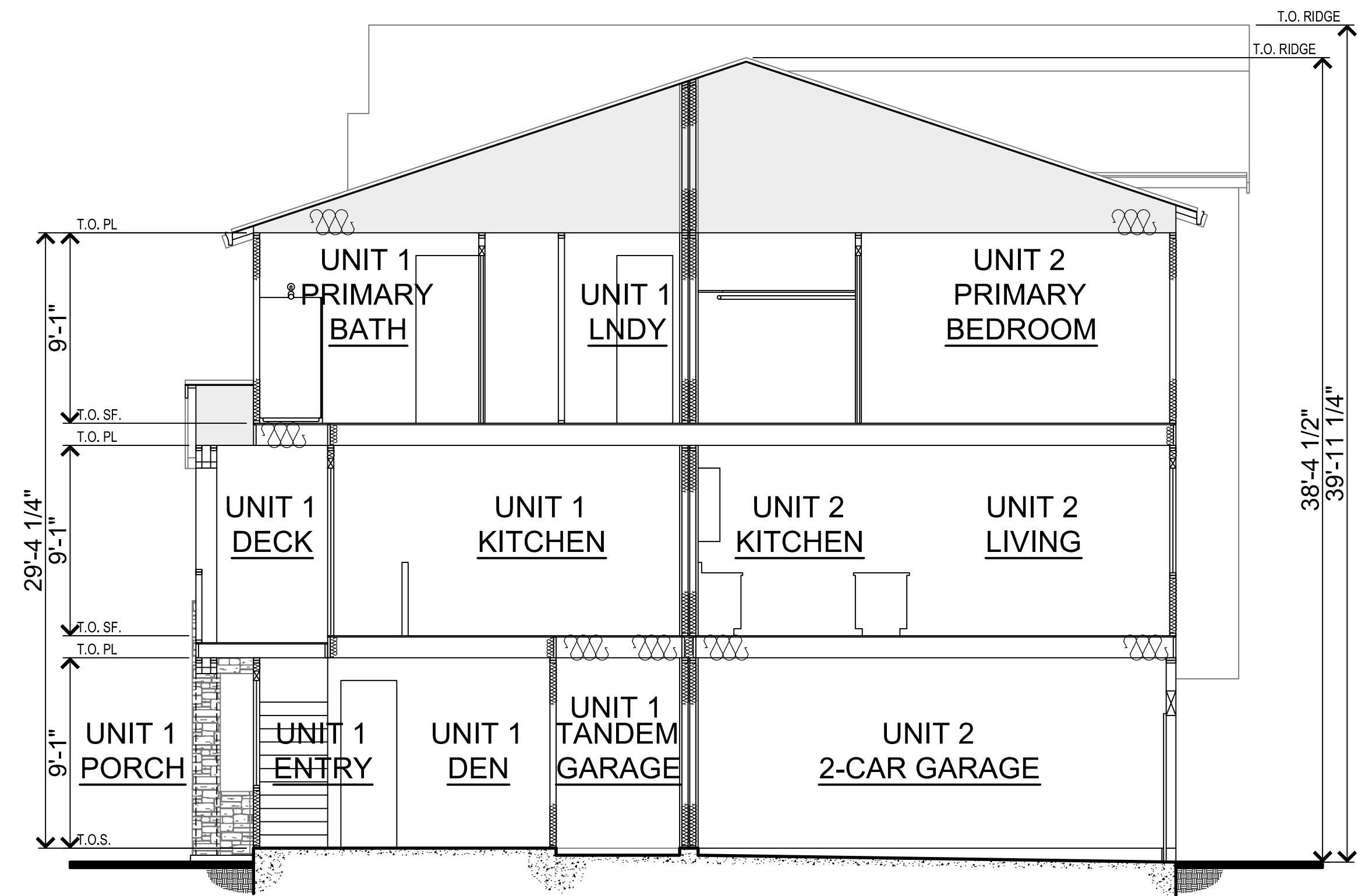
BLDG TYPE 6A ALT EXTERIOR ELEVATIONS
A10.3

399,264 68 Willow
Menlo Park, CA
July 22, 2024

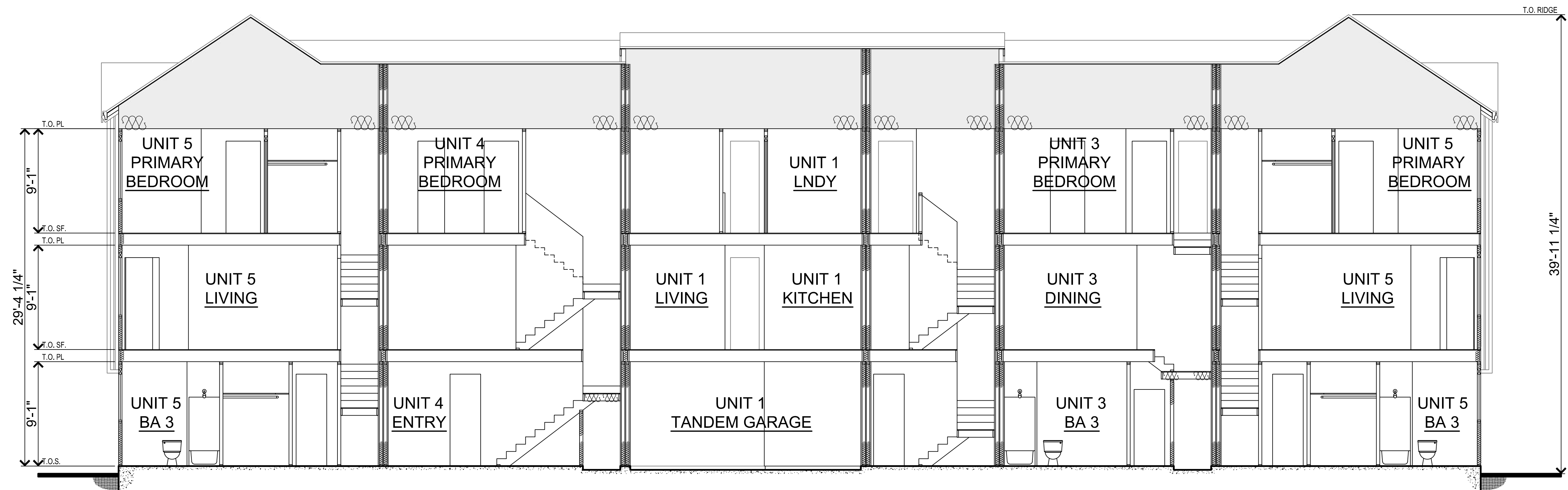
68 Willow Land Owner, LLC

SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com





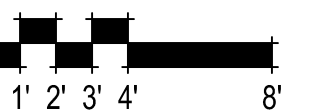
BLDG TYPE 6A ALT - SECTION



BLDG TYPE 6A ALT - SECTION

BLDG TYPE 6A ALT BUILDING SECTIONS

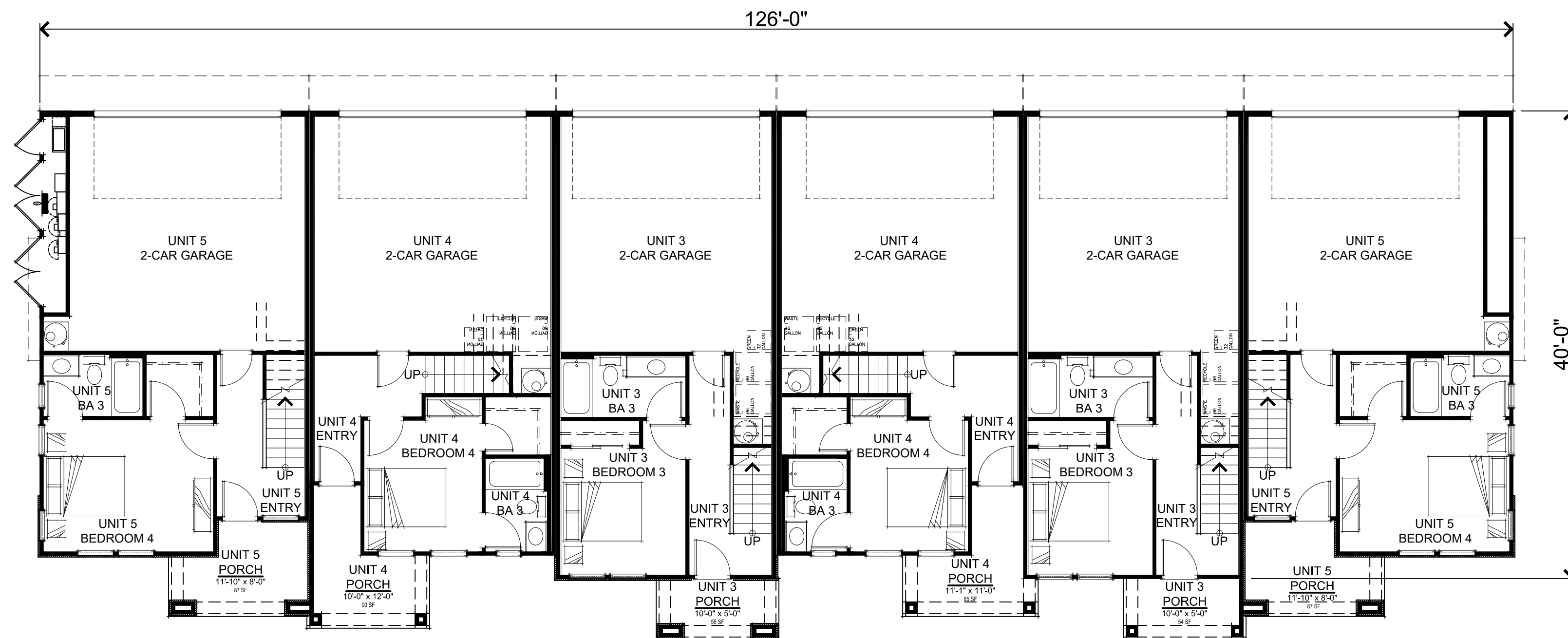
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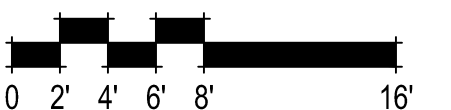
UNIT 5 UNIT 4R UNIT 3 UNIT 4 UNIT 3 UNIT 5R

SECOND FLOOR PLAN



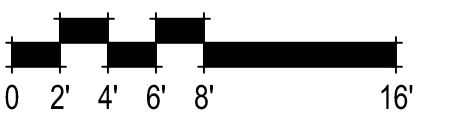
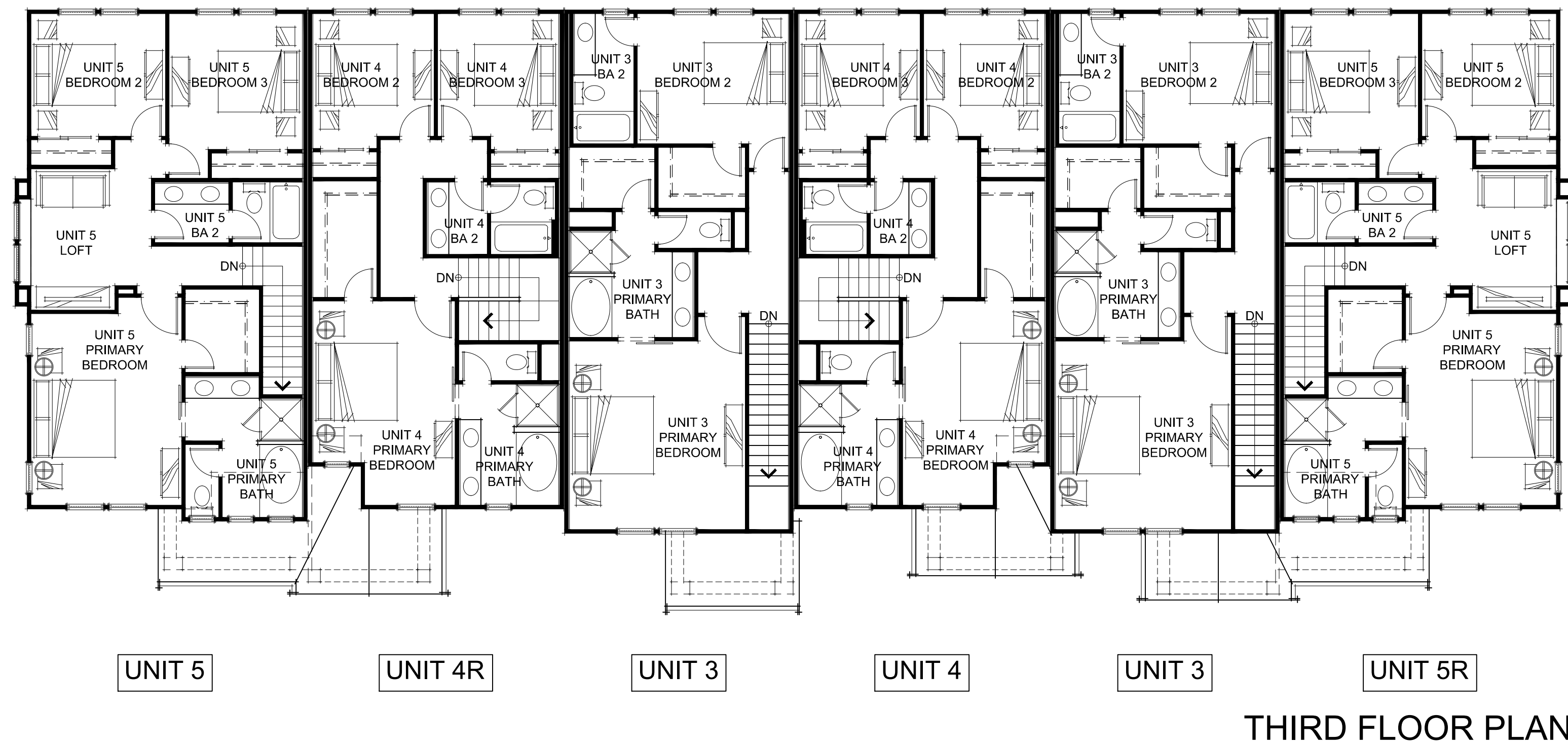
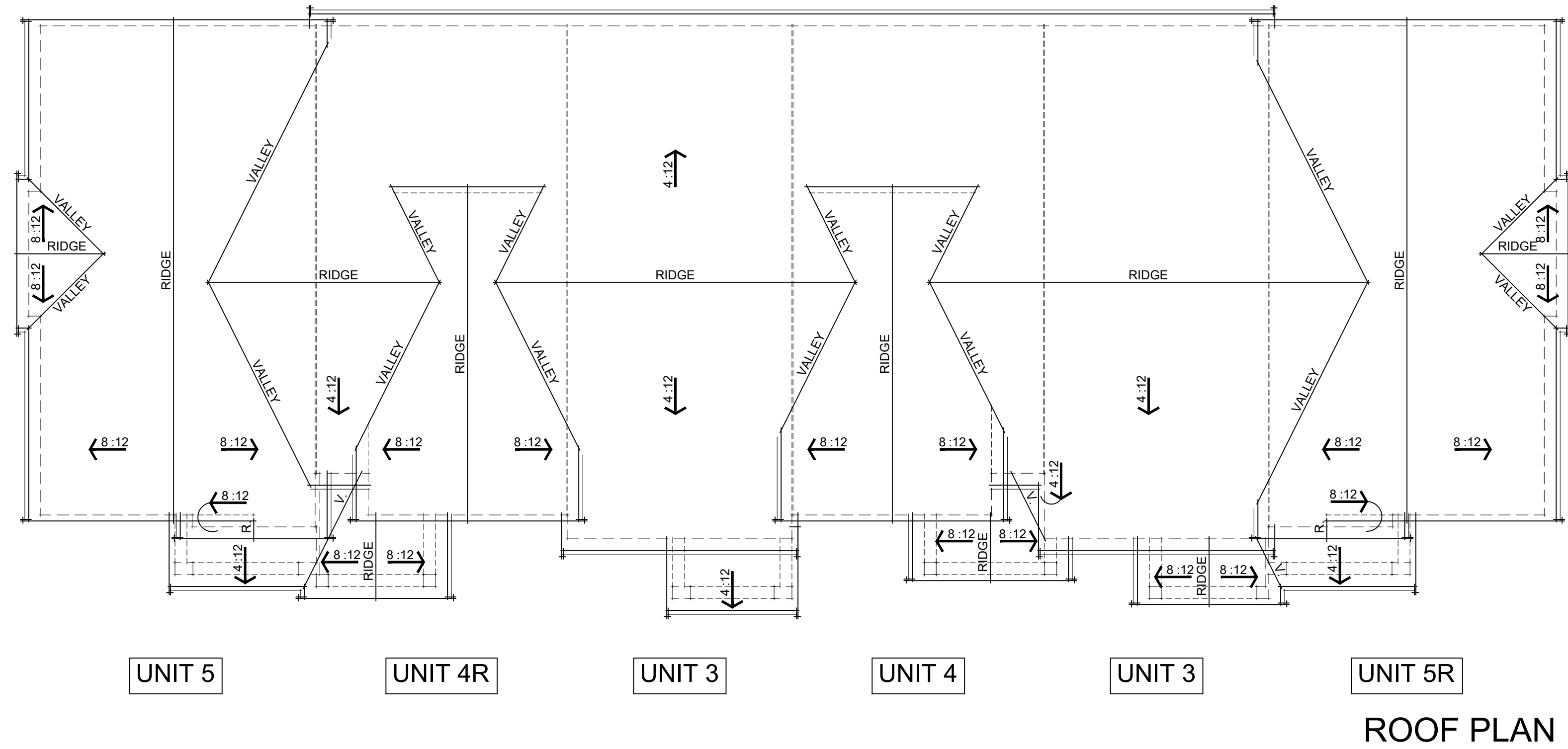
UNIT 5 UNIT 4R UNIT 3 UNIT 4 UNIT 3 UNIT 5R

FIRST FLOOR PLAN



BLDG TYPE 6B FIRST & SECOND FLOOR PLANS

A11





UNIT 5

UNIT 4R

UNIT 3

UNIT 4

UNIT 3

UNIT 5R

EXTERIOR MATERIALS

- 1 COMPOSITION SHINGLE ROOFING
- 2 EXTERIOR PLASTER WITH 20/30 LIGHT SAND FINISH
- 3 EXTERIOR PLASTER FINISH OVER 2x FOAM TRIM
- 4 BOARD AND BATTEN SIDING
- 5 2x WOOD TRIM
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- 16 WALL SCONCE LIGHT SEE PHOTOMETRIC FOR LOCATION



UNIT 5R

UNIT 3

UNIT 4

UNIT 3

UNIT 4R

UNIT 5

REAR ELEVATION



UNIT 5R

RIGHT ELEVATION



UNIT 5

LEFT ELEVATION



UNIT 5

UNIT 4R

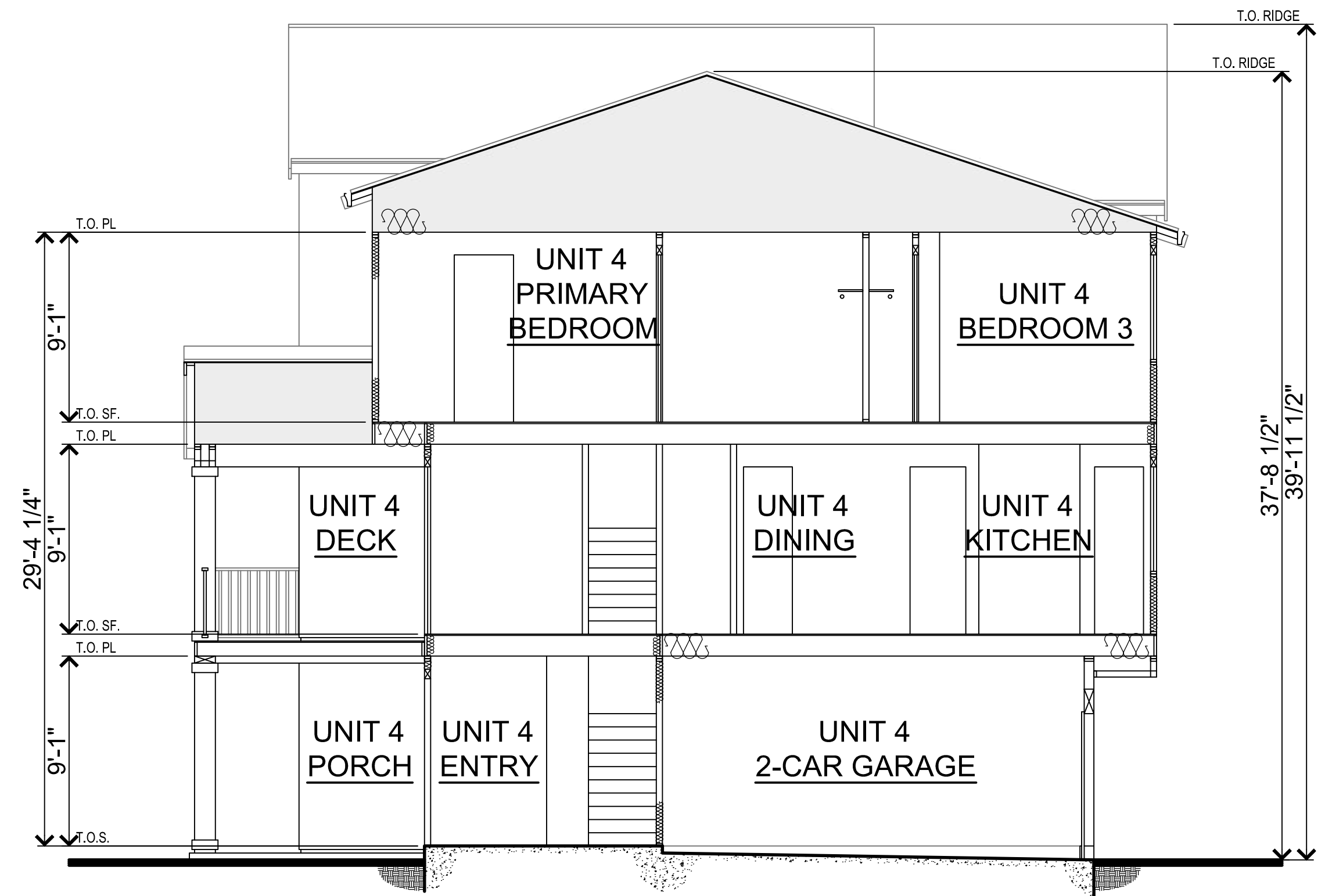
UNIT 3

UNIT 4

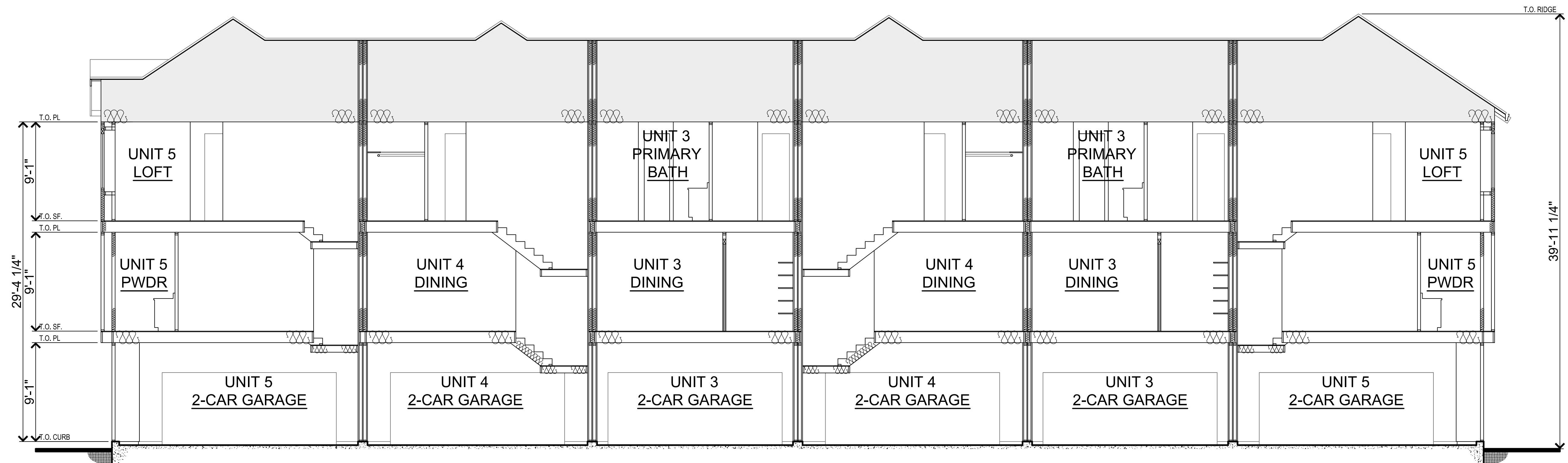
UNIT 3

UNIT 5R

FRONT ELEVATION

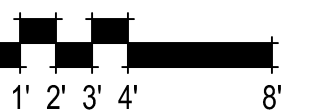


BLDG TYPE 6B - SECTION



BLDG TYPE 6B - SECTION

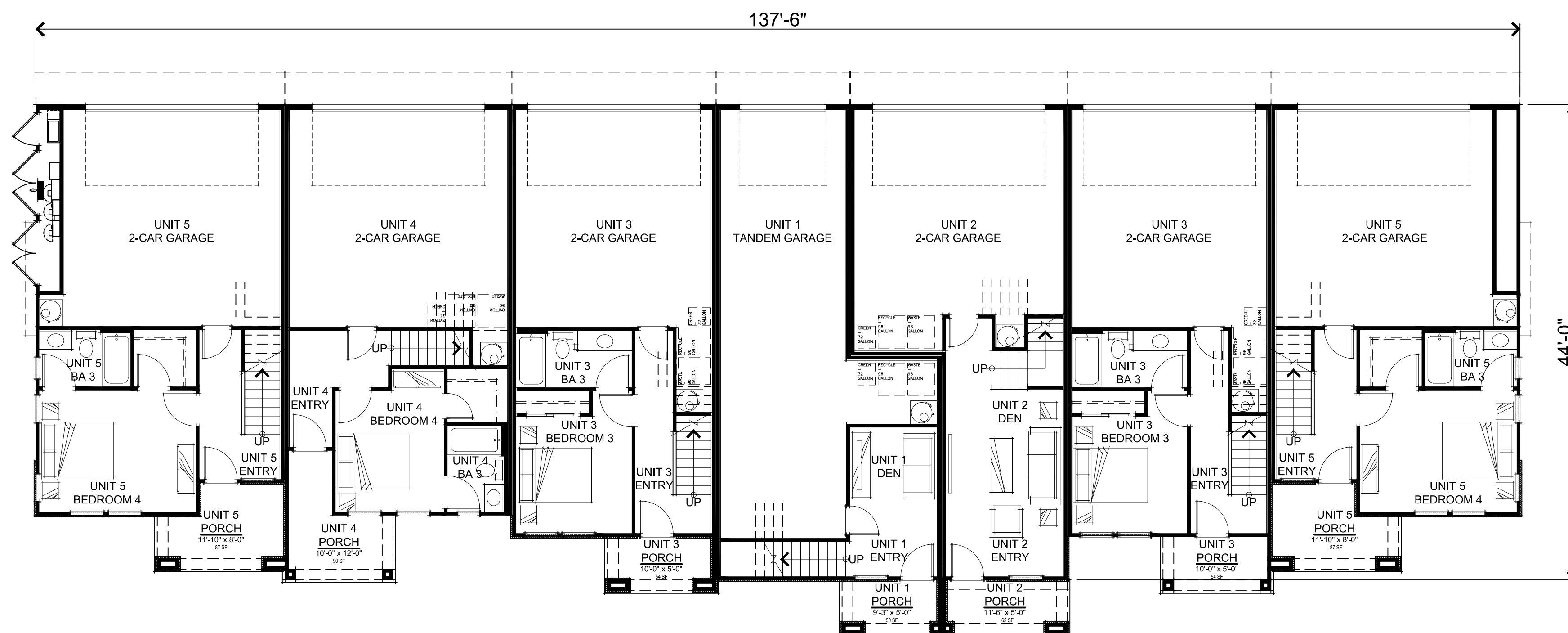
BLDG TYPE 6B BUILDING SECTIONS
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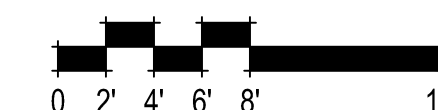
UNIT 5 UNIT 4R UNIT 3 UNIT 1 UNIT 2 UNIT 3 UNIT 5R

SECOND FLOOR PLAN



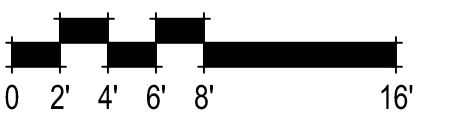
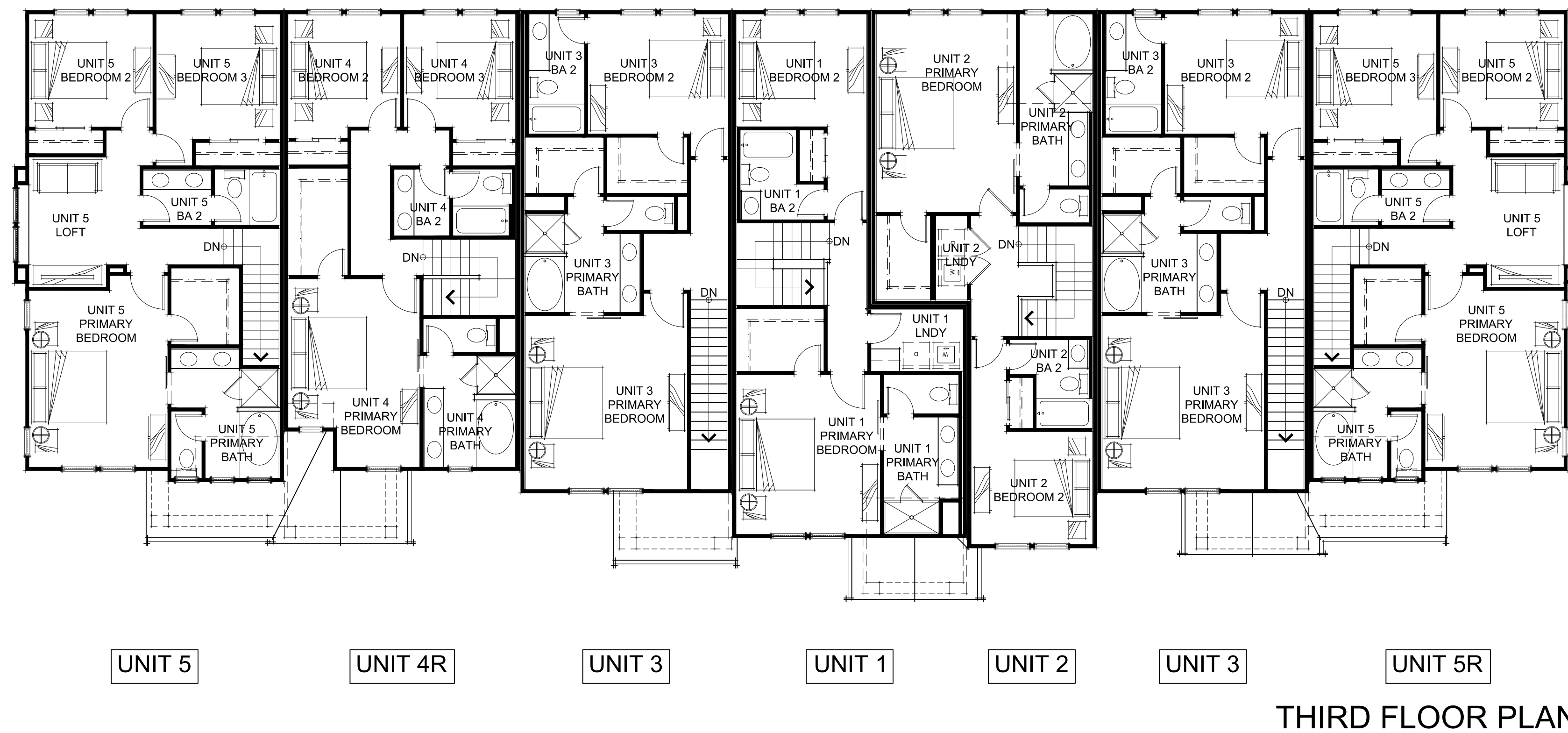
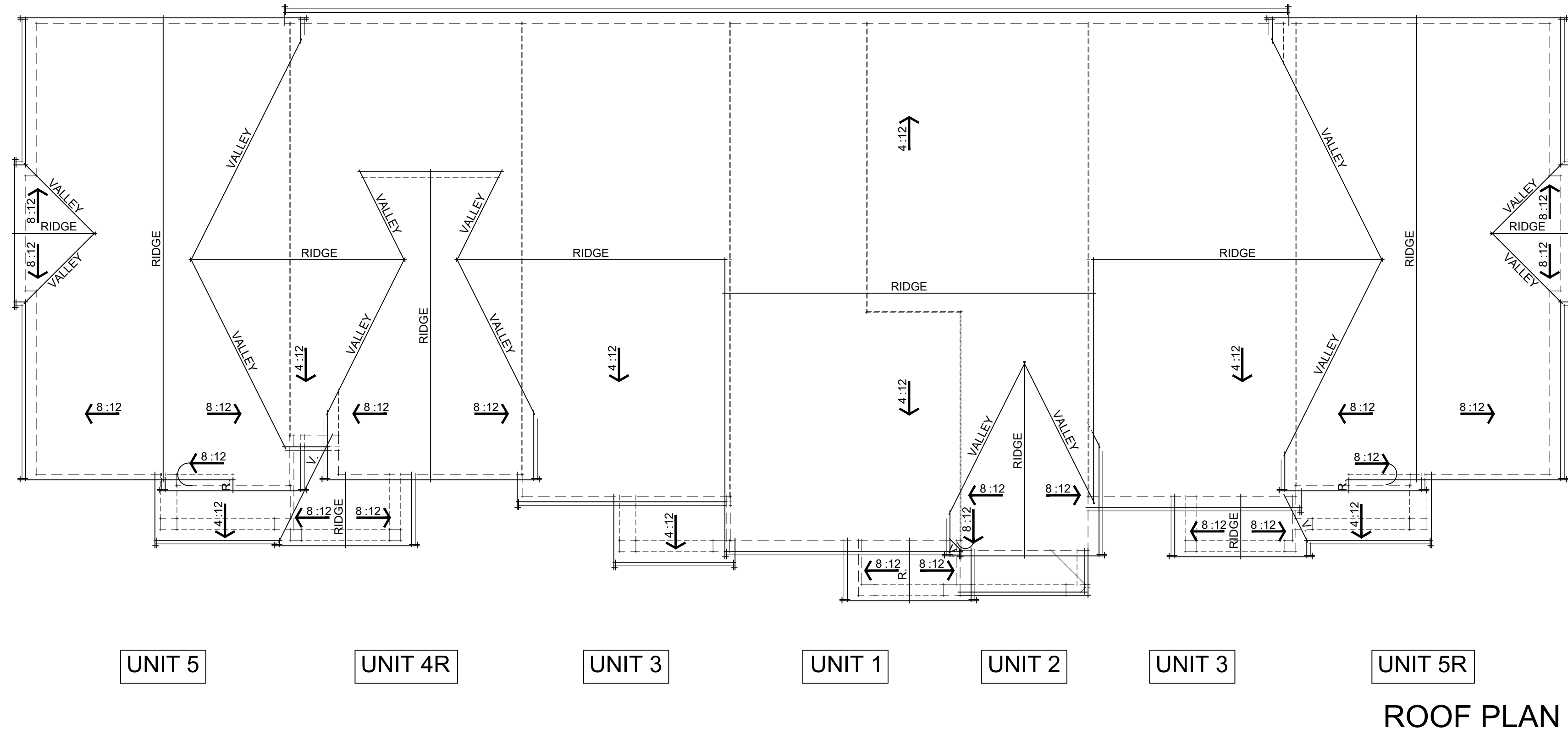
UNIT 5 UNIT 4R UNIT 3 UNIT 1 UNIT 2 UNIT 3 UNIT 5R

FIRST FLOOR PLAN



BLDG TYPE 7A FIRST & SECOND FLOOR PLANS

A12





UNIT 5

UNIT 4R

UNIT 3

UNIT 1

UNIT 2

UNIT 3

UNIT 5R

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BLDG TYPE 7A FRONT ELEVATION
A12.2

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UNIT 5R

UNIT 3

UNIT 2

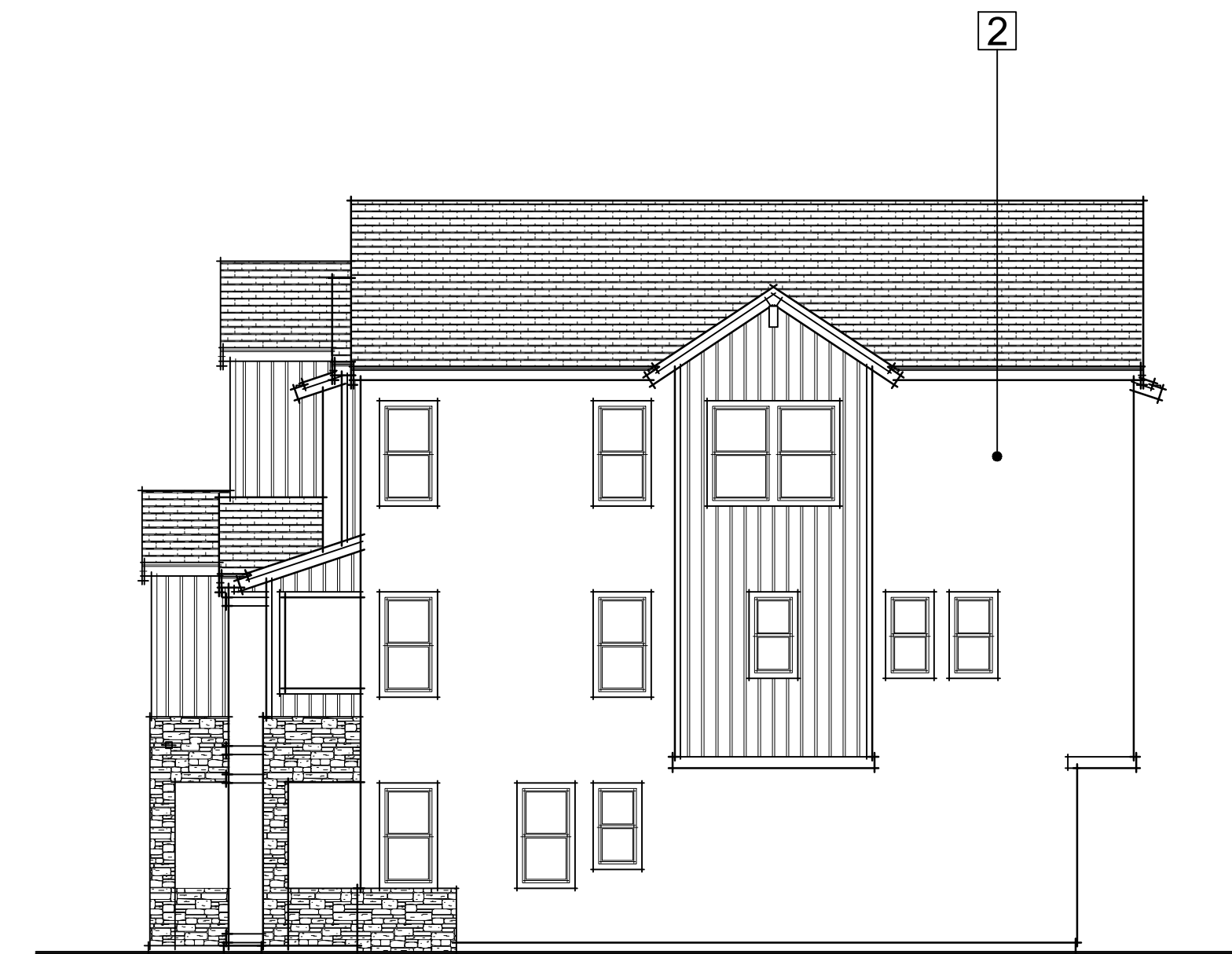
UNIT 1

UNIT 3

UNIT 4R

UNIT 5

REAR ELEVATION



UNIT 5R

RIGHT ELEVATION

- EXTERIOR MATERIALS
- 1 COMPOSITION SHINGLE ROOFING
 - 2 EXTERIOR PLASTER WITH 20/30 LIGHT SAND FINISH
 - 3 EXTERIOR PLASTER FINISH OVER 2x FOAM TRIM
 - 4 BOARD AND BATTEN SIDING
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 - 16 WALL SCONCE LIGHT SEE PHOTOMETRIC FOR LOCATION



UNIT 5

LEFT ELEVATION



UNIT 5

UNIT 4R

UNIT 3

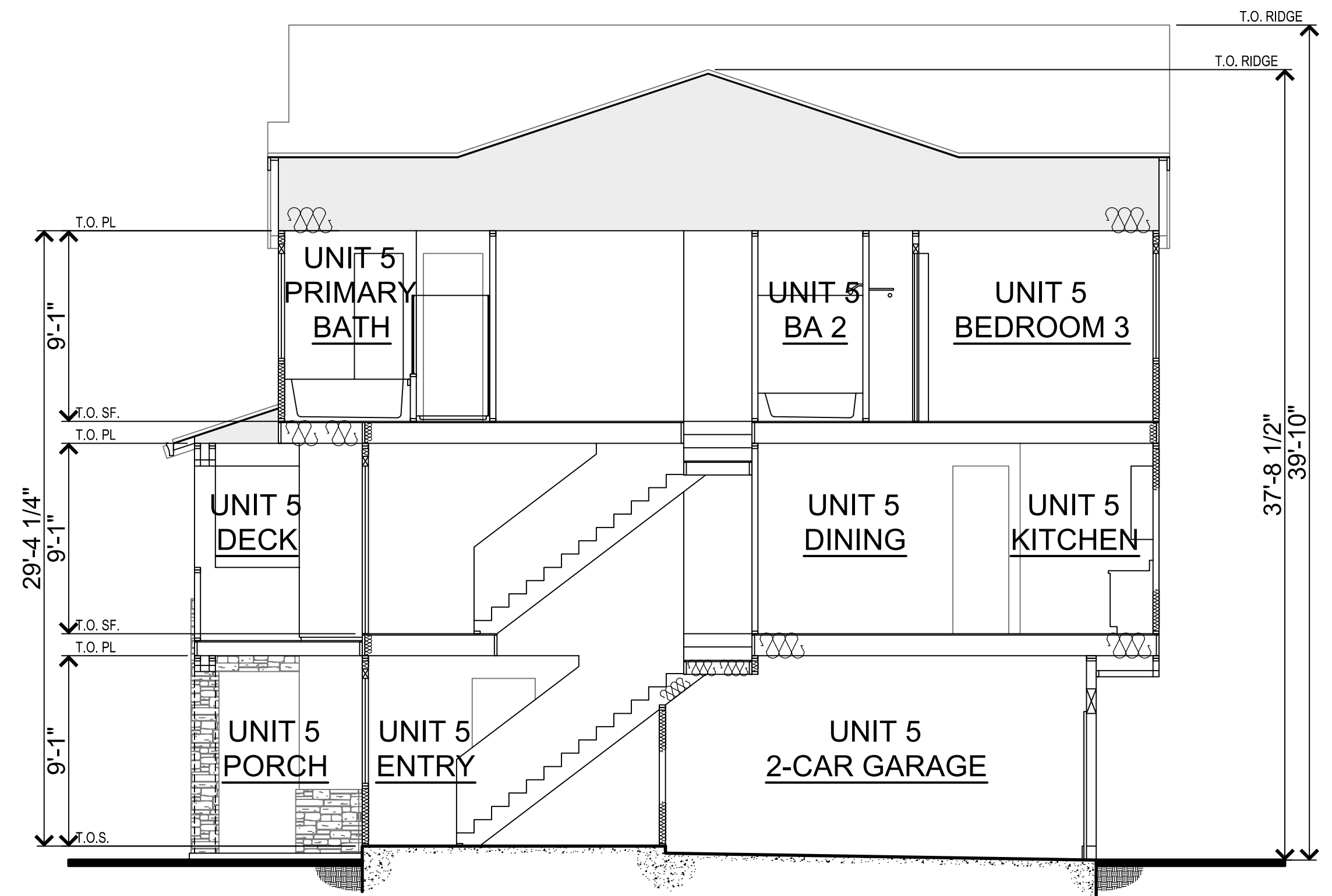
UNIT 1

UNIT 2

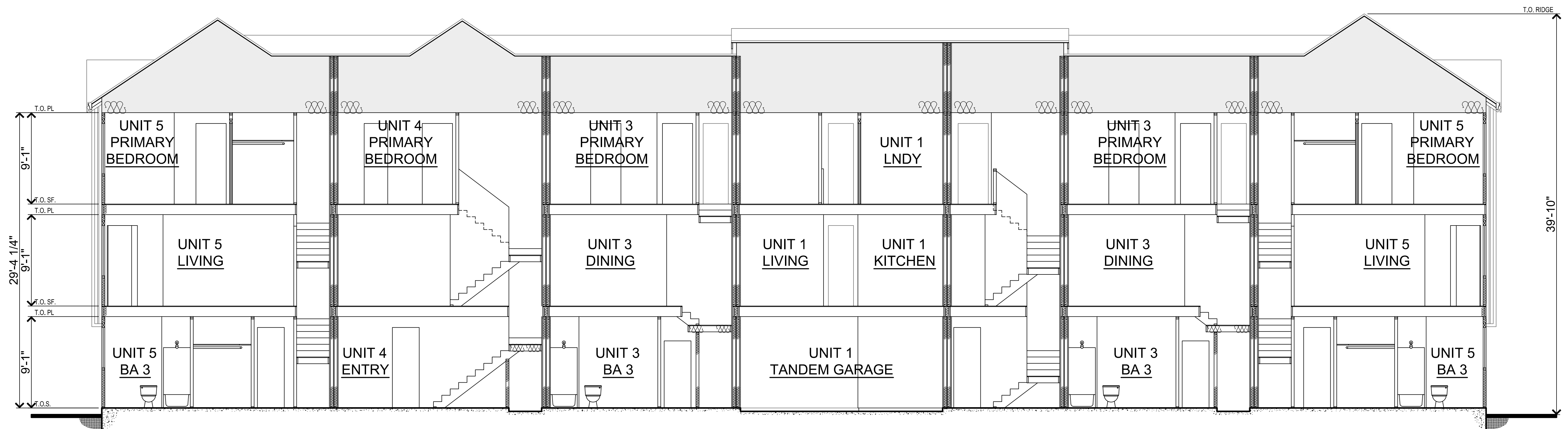
UNIT 3

UNIT 5R

FRONT ELEVATION

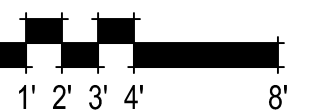


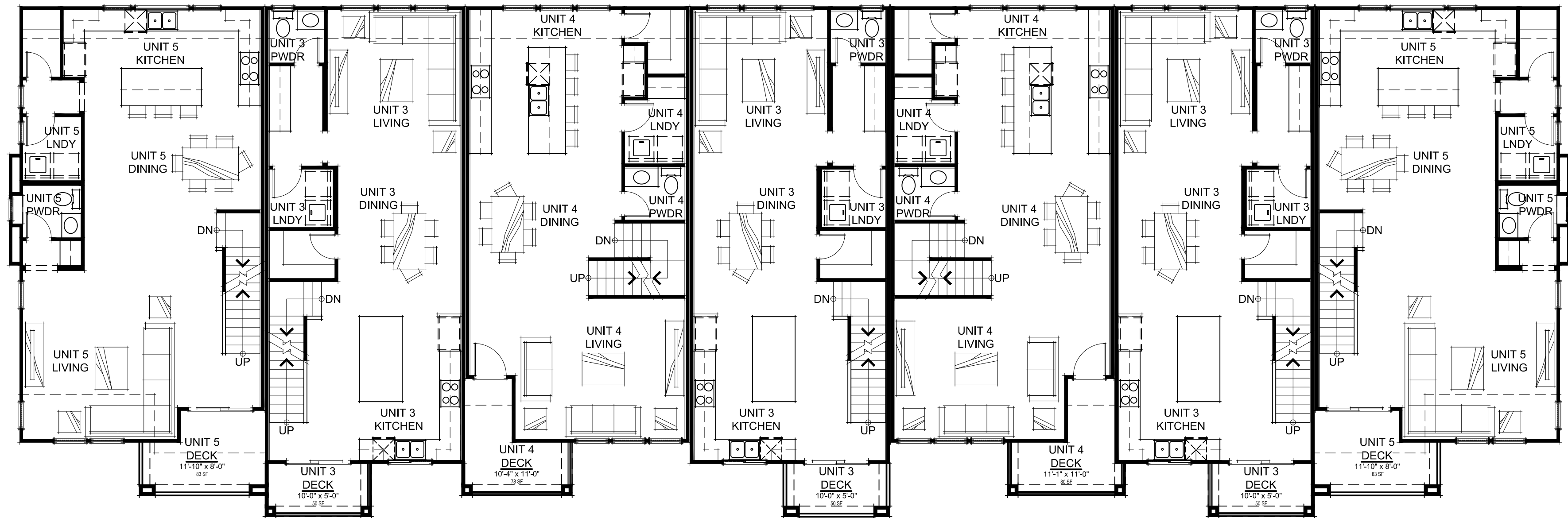
BLDG TYPE 7A - SECTION



BLDG TYPE 7A - SECTION

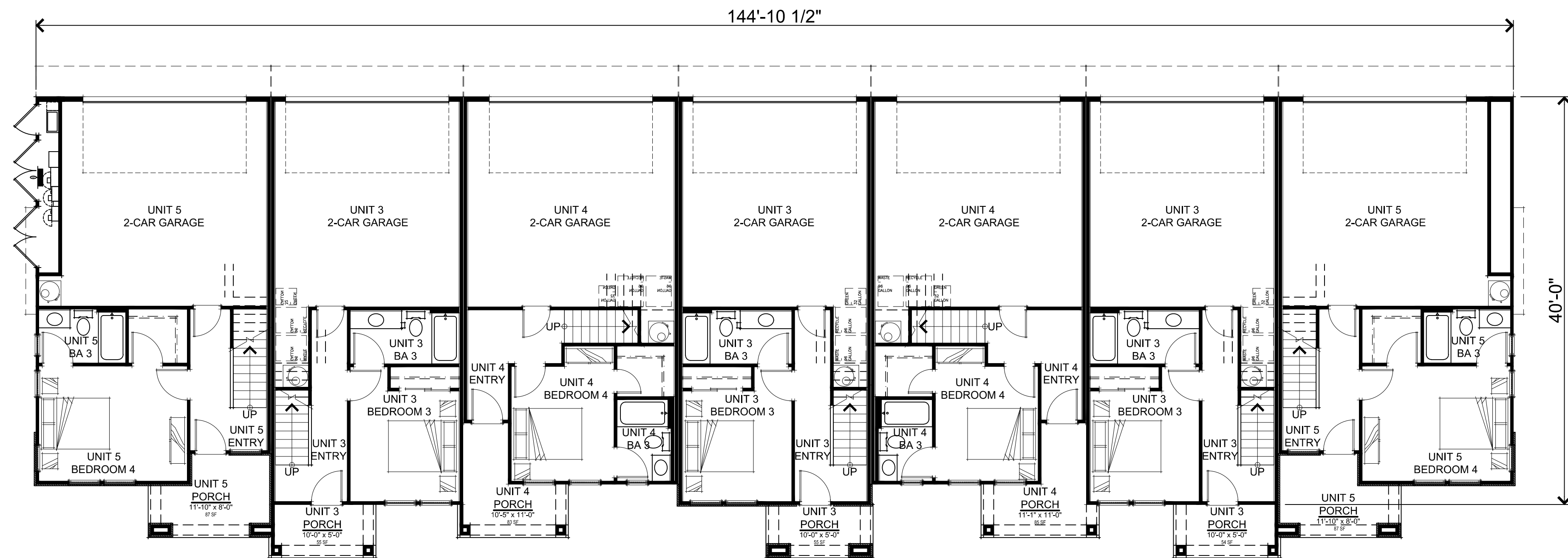
BLDG TYPE 7A BUILDING SECTIONS
A12.4





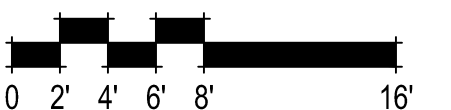
UNIT 5 UNIT 3R UNIT 4R UNIT 3 UNIT 4 UNIT 3 UNIT 5R

SECOND FLOOR PLAN



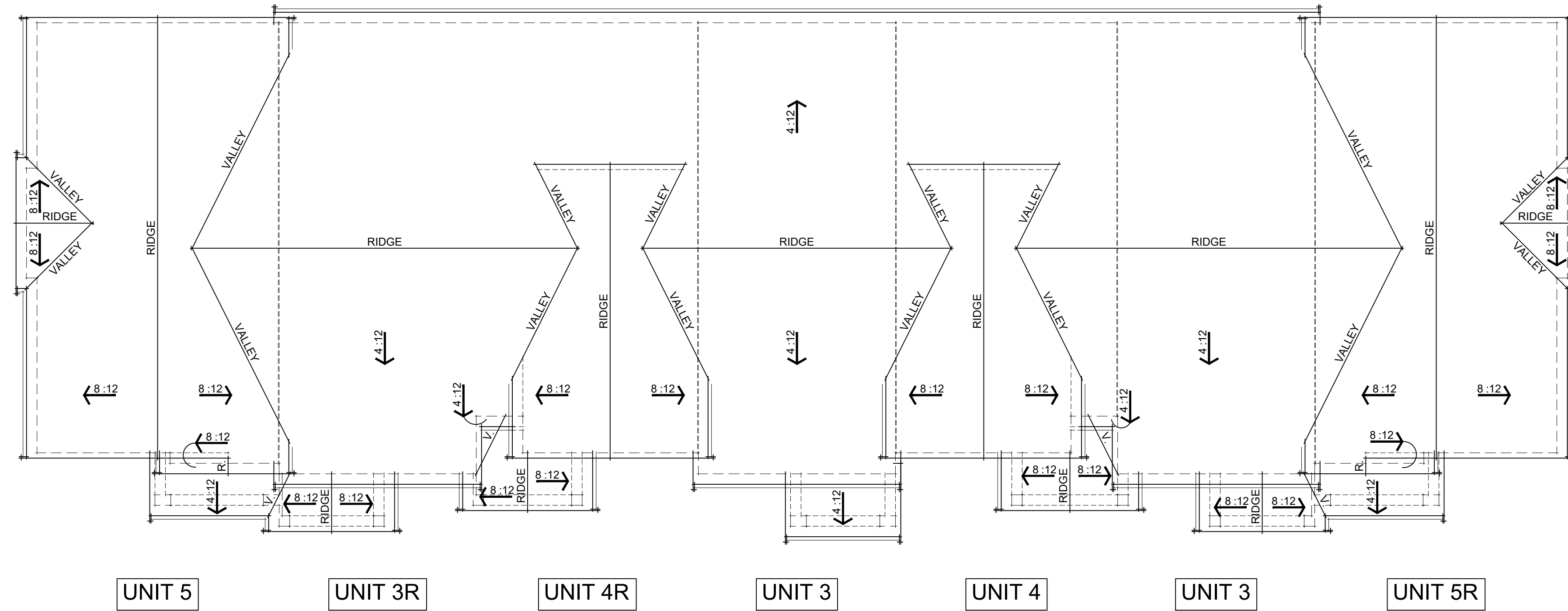
UNIT 5 UNIT 3R UNIT 4R UNIT 3 UNIT 4 UNIT 3 UNIT 5R

FIRST FLOOR PLAN

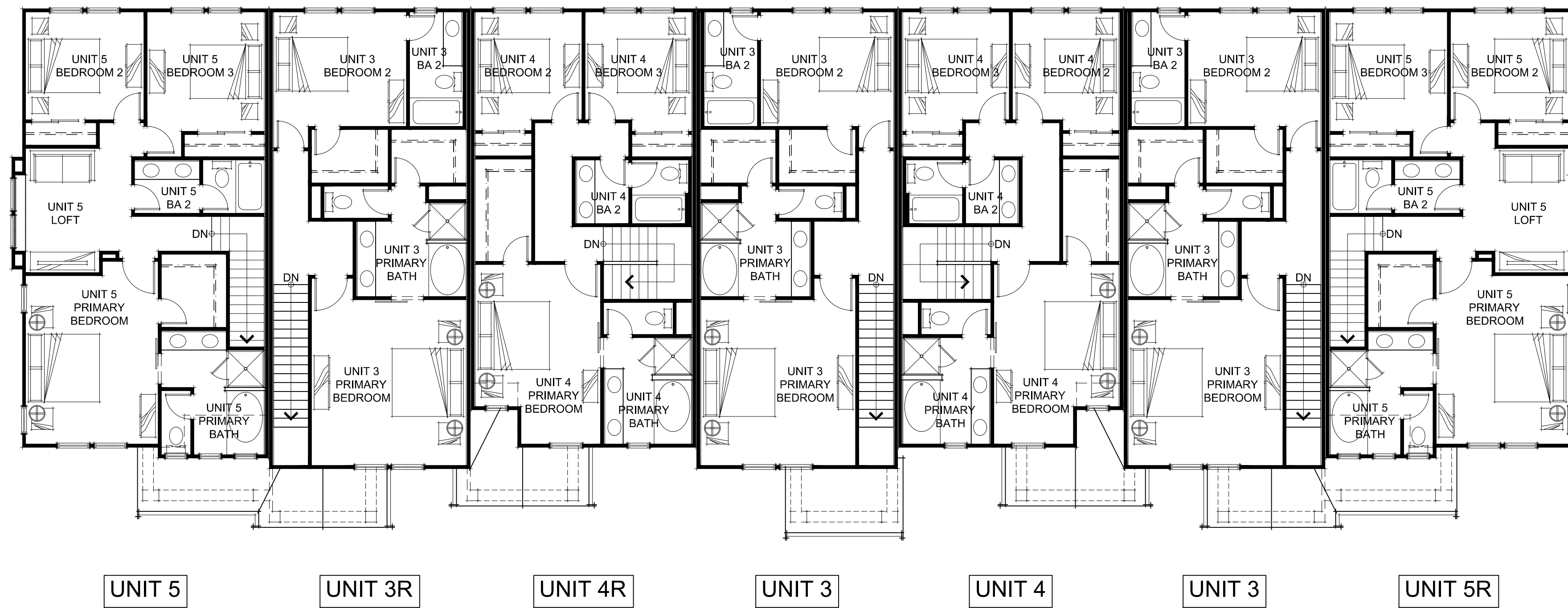


BLDG TYPE 7B FIRST & SECOND FLOOR PLANS

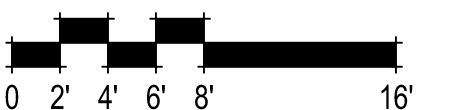
A13



ROOF PLAN



THIRD FLOOR PLAN



BLDG TYPE 7B THIRD FLOOR & ROOF PLANS
A13.1



UNIT 5

UNIT 3R

UNIT 4R

UNIT 3

UNIT 4

UNIT 3

UNIT 5R

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July 22, 2024

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BLDG TYPE 7B FRONT ELEVATION
A13.2

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UNIT 5R

UNIT 3

UNIT 4

UNIT 3

UNIT 4R

UNIT 3R

UNIT 5

REAR ELEVATION



UNIT 5R

RIGHT ELEVATION

- EXTERIOR MATERIALS**
- 1 COMPOSITION SHINGLE ROOFING
 - 2 EXTERIOR PLASTER WITH 20/30 LIGHT SAND FINISH
 - 3 EXTERIOR PLASTER FINISH OVER 2x FOAM TRIM
 - 4 BOARD AND BATTEN SIDING
 - 5 2x WOOD TRIM
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 - 16 WALL SCONCE LIGHT SEE PHOTOMETRIC FOR LOCATION



UNIT 5

LEFT ELEVATION



UNIT 5

UNIT 3R

UNIT 4R

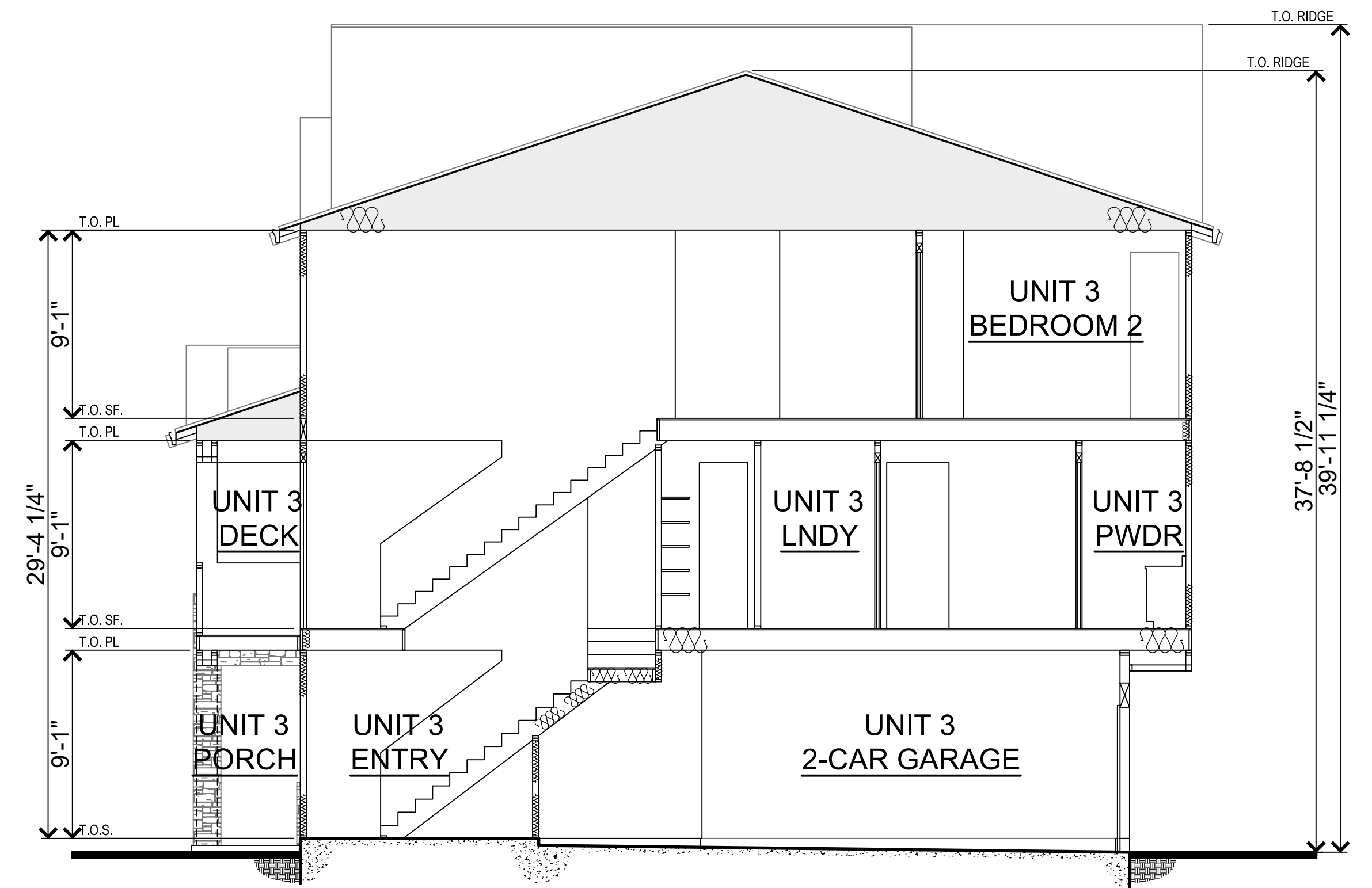
UNIT 3

UNIT 4

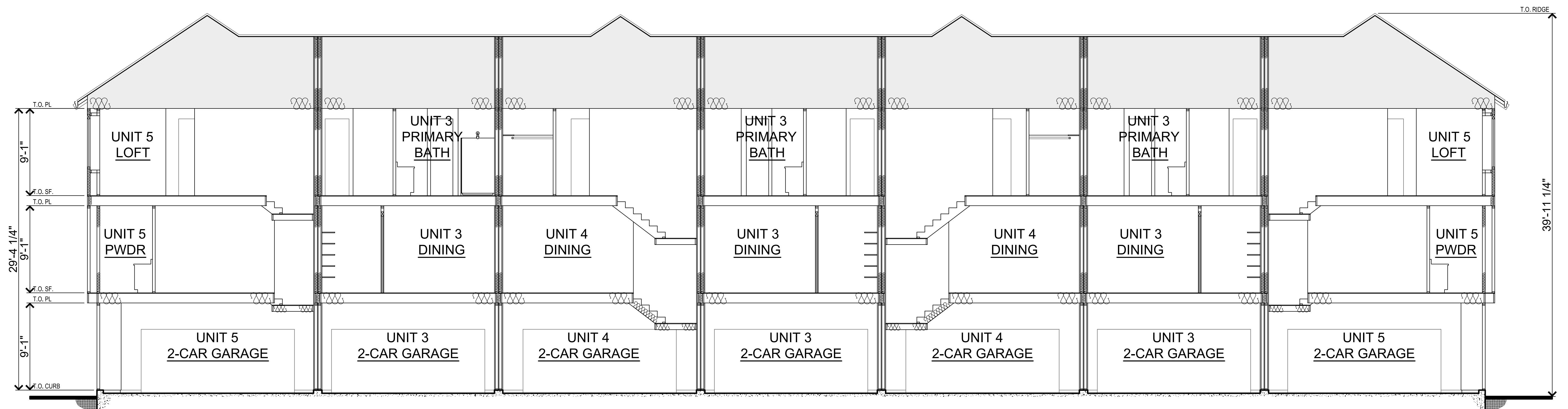
UNIT 3

UNIT 5R

FRONT ELEVATION



BLDG TYPE 7B - SECTION



BLDG TYPE 7B - SECTION

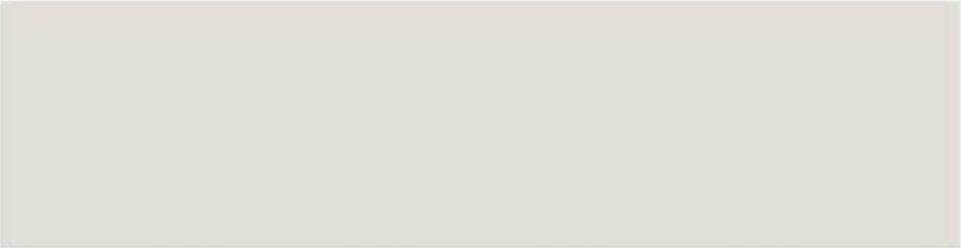


BLDG TYPE 7B BUILDING SECTIONS
A13.4

COLOR SCHEME 1



Roofing
GAF Timberline
Weatered Wood



Stucco
SW 7035 Aesthetic
White
(259-C4)



Siding
SW 7757 High Reflective
White (255-C1)



Fascia
SW 7019 Gauntlet Gray
(244-C6)



Entry Door
SW 2848 Roycroft
Pweter



Eldorado Stone
Ledgecut 33 - Whitecap

COLOR SCHEME 2



Roofing
GAF Timberline
Weatered Wood



Stucco
SW 7035 Aesthetic
White
(259-C4)



Siding
SW 9130 Evergreen Fog
(215-C4)



Fascia
SW 7019 Gauntlet Gray
(244-C6)



Entry Door
SW 7048 Urbane Bronze
(245-C7)



Eldorado Stone
Ledgecut 33 - Birch

COLOR SCHEME 3



Roofing
GAF Timberline
Weatered Wood



Stucco
SW 7035 Aesthetic
White
(259-C4)



Siding
SW 7019 Gauntlet Gray
(244-C6)



Fascia
SW 7019 Gauntlet Gray
(244-C6)



Entry Door
SW 7591 Red Barn
(275-C7)



Eldorado Stone
Ledgecut 33 - Birch

COLOR SCHEME 4



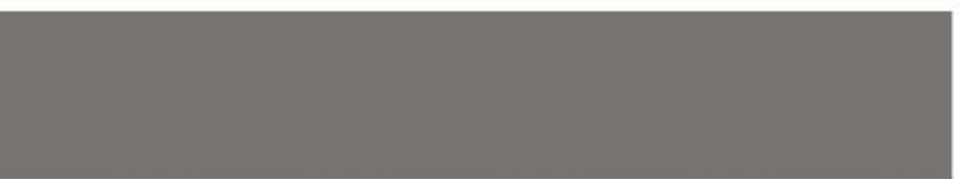
Roofing
GAF Timberline
Weatered Wood



Stucco
SW 7035 Aesthetic
White
(259-C4)



Siding
SW 9162 African Gray
(235-C4)



Fascia
SW 7019 Gauntlet Gray
(244-C6)



Entry Door
SW 7069 Iron Ore
(251-C7)



Eldorado Stone
Ledgecut 33 - Beach Pebble

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.

GENERAL NOTES

1.

ASSESSOR'S PARCEL NO.:

062-423-020
2.

ADDRESS:

68 WILLOW DRIVE
3.

SITE AREA:

TOTAL: 2.499 AC±
4.

CONTOUR INTERVAL:

1 FOOT (EXISTING)
5.

EXISTING PARCEL:

1
6.

PROPOSED PARCEL:

1
7.

DWELLING UNITS:

TOWNHOMES: 50 UNITS
8.

SITE DENSITY:

TOTAL: 20.0 DU/AC (GROSS SITE AREA)
9.

EXISTING LAND USE:

CO – COMMERCIAL OFFICE
10.

PROPOSED LAND USE:

R-MU – RESIDENTIAL MIXED USE
11.

ZONING:

C-1 ADMINISTRATIVE AND PROFESSIONAL DISTRICT
12.

BUILDING COVERAGE:

0.898 AC / 2.499 AC = 35%
13.

PROPOSED SETBACKS:

FRONT PORCH: 5' MIN
FRONT BUILDING: 10' MIN
SIDE: 7' MIN
REAR: 55.2' MIN
14.

EXISTING STRUCTURES:

ALL EXISTING BUILDINGS AND PAVEMENT WITHIN THE PROJECT BOUNDARY ARE TO BE REMOVED.
15.

EXISTING UTILITIES:

EXISTING UTILITIES WITHIN THE PROJECT BOUNDARY TO REMOVED AS NOTED.
16.

TREES:

STREET TREES WILL BE INSTALLED PER THE CITY OF MENLO PARK STANDARDS. SEE LANDSCAPE PLANS. ALL EXISTING TREES ON SITE ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON SHEET TM-2.
17.

PRIVATE UTILITIES:

PROPOSED ONSITE STORM DRAIN, SEWER, AND WATER FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
18.

LANDSCAPING:

ALL LANDSCAPING WITHIN PROJECT BOUNDARY WILL BE PRIVATELY OWNED AND MAINTAINED.
19.

FLOOD ZONE:

ZONE X – AREA WITH REDUCED FLOOD RISK DUE TO LEVEE. PER FEMA MAP PANEL 06081C308E CREATED OCTOBER 16, 2012.
20.

WELLS ONSITE:

NONE
21.

UTILITIES:

CALWATER
WEST BAY SANITATION DISTRICT
CITY OF MENLO PARK
GAS
ELECTRIC
22.

GRADING:

PROPOSED GRADING AS SHOWN IS PRELIMINARY, FINISHED GRADING IS SUBJECT TO FINAL DESIGN.
23.

EROSION CONTROL:

EROSION CONTROL WILL BE PREPARED FOR CITY STANDARDS AND ABAG RECOMMENDATIONS.
24.

BENCHMARK:

CITY OF MENLO PARK BENCHMARK NO. 4 BRASS DISC SET IN TOP OF CURB AT REAR OF THE SOUTHEASTERLY CATCH BASIN AT THE INTERSECTION OF GILBERT AND LAUREL AVENUE. STAMPED "CITY BENCHMARK 4". ELEVATION: 34.76' (NAVD 88).
25.

BASIS OF BEARINGS:

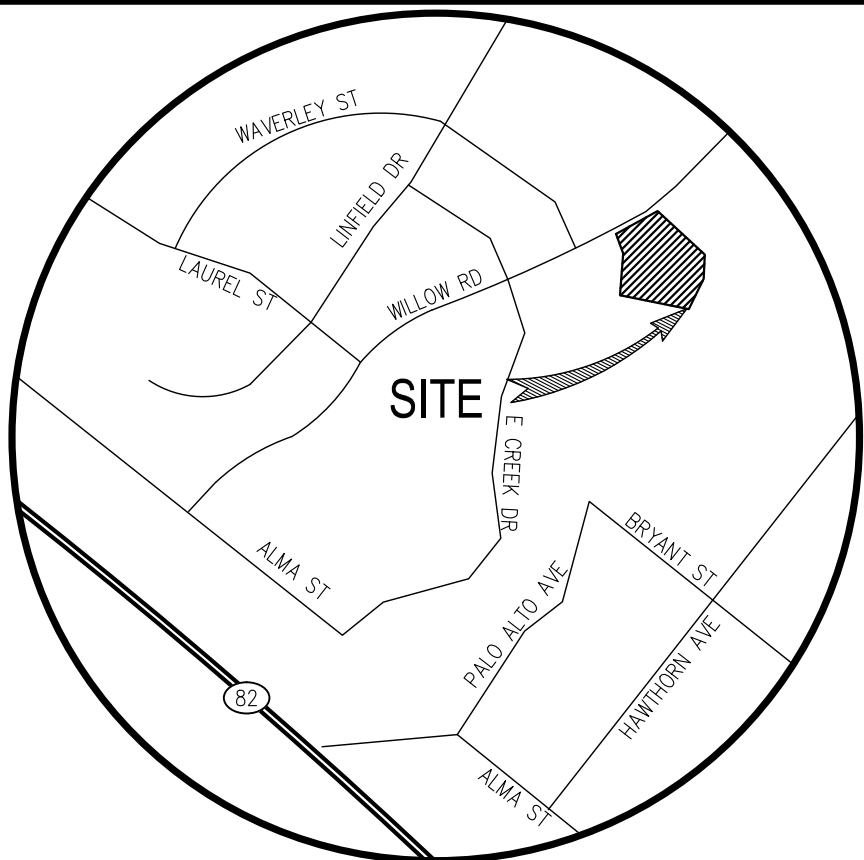
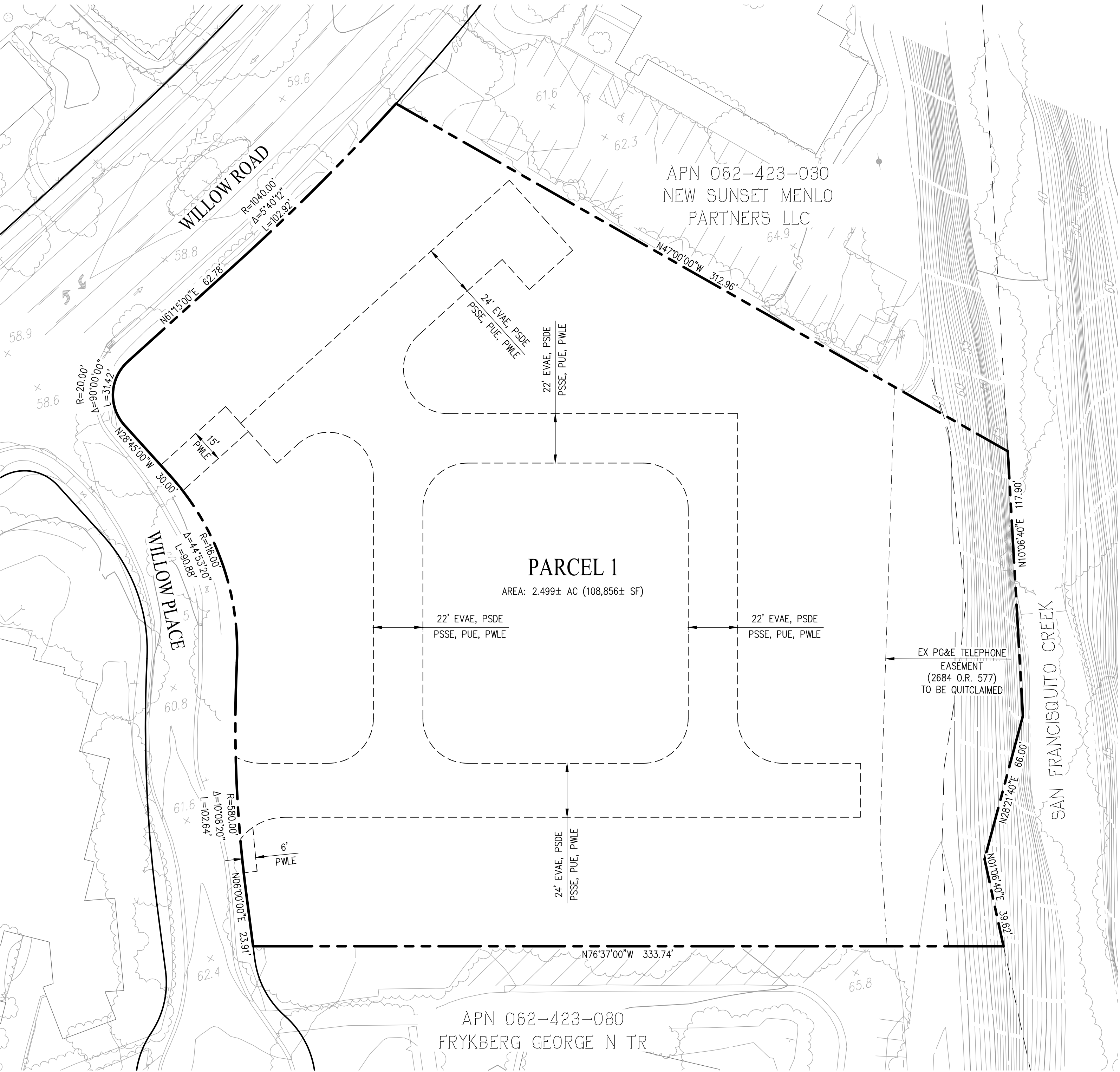
THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS ON THE CENTERLINE OF WILLOW ROAD, THE BEARING BEING N61°15'00"E PER THAT RECORD OF SURVEY FILED IN 5 LLS 154.
26.

CONDOMINIUM MAP:

A CONDOMINIUM PLAN WILL BE RECORDED FOR PARCEL 1. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4285 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 50 RESIDENTIAL CONDOMINIUM UNITS FOR PARCEL 1.
27.

EASEMENTS:

PARCEL 1 IS TO INCLUDE THE FOLLOWING PUBLIC AND PRIVATE EASEMENTS TO SERVE ONSITE PRIVATE AND PUBLIC FACILITIES AND PROVIDE GRANT ACCESS AS NOTED: EVAE, PSDE, PUE, PWLE, & PSSE. EASEMENTS MAY CHANGE SUBJECT TO FINAL DESIGN.



CONTACTS

- OWNER/DEVELOPER:

WILLOW PLACE INVESTMENTS
A CALIFORNIA LIMITED LIABILITY COMPANY
2442 DIAMOND STREET
SAN FRANCISCO, CA 94131
CHASE RAPP
- CIVIL ENGINEER:

CARLSON, BARBEE, & GIBSON
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925)-866-0322
RYAN HANSEN, P.E.
- ARCHITECTURE:

SDG ARCHITECTS
3361 WALNUT BOULEVARD SUITE 120
BRENTWOOD, CA 94513
(925) 634-7000
JEFFREY POTTS
- LANDSCAPE:

ENVIRONMENTAL FORESIGHT
2065 N. BROADWAY, SUITE 203
WALNUT CREEK, CA 94596
(925) 945-0300
KEVIN PROCTOR

LEGEND

- SUBDIVISION BOUNDARY

RIGHT OF WAY

TOP OF BANK

EASEMENT LINE
- APN

EVAE

EX

PR

PUE

PSDE

PSSE

PUE

PWLE

R/W

SDE
- ASSESSORS PARCEL NUMBER

EMERGENCY VEHICLE ACCESS EASEMENT

EXISTING

PROPOSED

PUBLIC UTILITY EASEMENT

PRIVATE STORM DRAIN EASEMENT

PRIVATE SANITARY SEWER EASEMENT

PUBLIC UTILITY EASEMENT

PRIVATE WATER LINE EASEMENT

RIGHT-OF-WAY

PUBLIC STORM DRAIN EASEMENT

SHEET INDEX

- TM-1

VESTING TENTATIVE MAP
- TM-2

EXISTING CONDITIONS
- TM-3

PRELIMINARY SITE PLAN
- TM-4

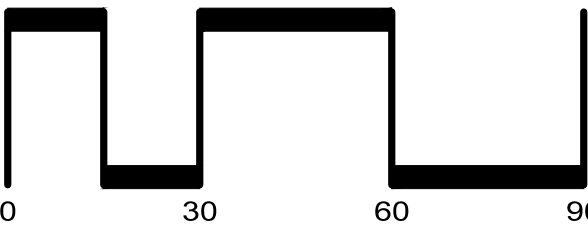
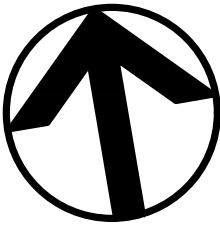
PRELIMINARY GRADING & UTILITY PLAN
- TM-5

PRELIMINARY STORMWATER PLAN
- TM-6

PRELIMINARY FIRE ACCESS PLAN

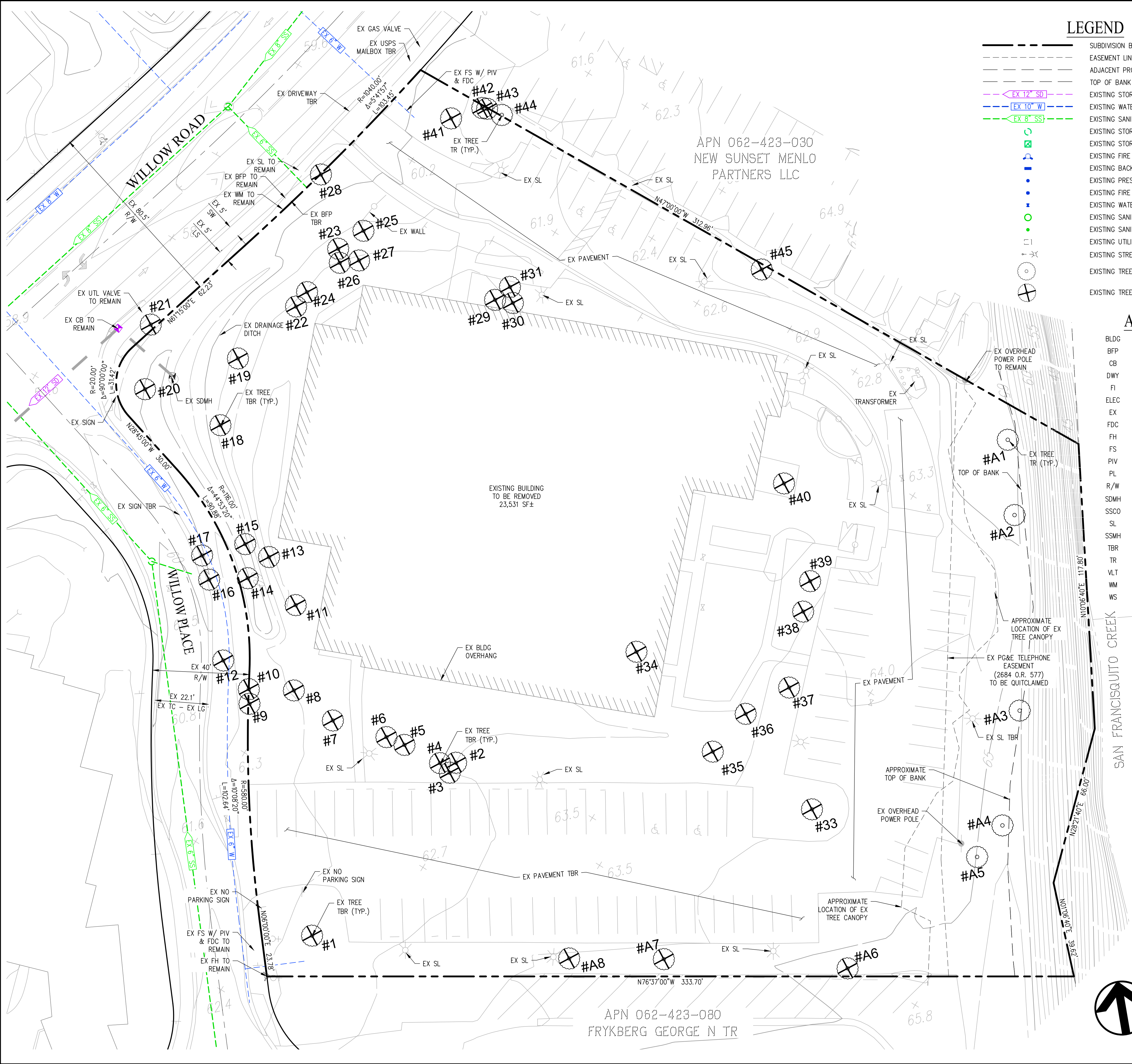
VESTING TENTATIVE MAP
FOR CONDOMINIUM PURPOSES
68 WILLOW DRIVE

CITY OF MENLO PARK SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 30' DATE: JULY 19, 2024



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TM-1



LEGEND

- SUBDIVISION BOUNDARY
- EASEMENT LINE
- ADJACENT PROPERTY LINE
- TOP OF BANK
- EXISTING STORM DRAIN MAIN
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN FIELD INLET
- EXISTING FIRE HYDRANT
- EXISTING BACK FLOW
- EXISTING PRESSURE INDICATOR VALVE
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING UTILITY BOX/VAULT
- EXISTING STREET LIGHT
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

ABBREVIATIONS

- BLDG BUILDING
- BFP BACK FLOW PREVENTER
- CB CATCH BASIN
- DWY DRIVEWAY
- FI FIELD DRAIN INLET
- ELEC ELECTRICAL
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FS FIRE SERVICE
- PIV POST INDICATOR VALVE
- PL PROPERTY LINE
- R/W RIGHT OF WAY
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEAN OUT
- SL STREET LIGHT
- SSMH SANITARY SEWER MANHOLE
- TBR TO BE REMOVED
- TR TO REMAIN
- VLT VAULT
- WM WATER METER
- WS WATER SERVICE

TREE TABLE

TREE NO.	SPECIES	DIAMETER (IN)	PROTECTED	PROPOSED ACTION
1	DEODAR CEDAR	39	YES	REMOVE
2	WHITE BIRCH	10	NO	REMOVE
3	WHITE BIRCH	11	NO	REMOVE
4	WHITE BIRCH	9	NO	REMOVE
5	WHITE BIRCH	7	NO	REMOVE
6	WHITE BIRCH	11	NO	REMOVE
7	COASTAL LIVE OAK	35	YES	REMOVE
8	HAWTHORN	12	NO	REMOVE
9	MAGNOLIA	6	NO	REMOVE
10	MAGNOLIA	5	NO	REMOVE
11	JAPANESE MAPLE	30	NO	REMOVE
12	CAROB	16	YES	REMOVE
13	PLUM	12	NO	REMOVE
14	PLUM	8	NO	REMOVE
15	PLUM	9	NO	REMOVE
16	AMERICAN SWEET GUM	17	YES	REMOVE
17	CAROB	33	YES	REMOVE
18	AMERICAN SWEET GUM	23	YES	REMOVE
19	AMERICAN SWEET GUM	21	YES	REMOVE
20	CHERRY	10	NO	REMOVE
21	RED MAPLE	9	NO	REMOVE
22	PLUM	9	NO	REMOVE
23	PLUM	8	NO	REMOVE
24	PLUM	8	NO	REMOVE
25	CHERRY	15	YES	REMOVE
26	PLUM	8	NO	REMOVE
27	PLUM	9	NO	REMOVE
28	VALLEY OAK	15	YES	REMOVE
29	WHITE BIRCH	17	YES	REMOVE
30	WHITE BIRCH	10	NO	REMOVE
31	WHITE BIRCH	7	NO	REMOVE
32	COAST LIVE OAK	36	YES	REMOVE
33	COAST LIVE OAK	24	YES	REMOVE
34	COAST LIVE OAK	30	YES	REMOVE
35	COAST LIVE OAK	39	YES	REMOVE
36	COAST LIVE OAK	41	YES	REMOVE
37	COAST LIVE OAK	15	YES	REMOVE
38	COAST REDWOOD	48	YES	REMOVE
39	COAST REDWOOD	48	YES	REMOVE
40	CHINESE PISTACHE	11	NO	REMOVE
41	INCENSE CEDAR	14	YES	REMOVE
42	COAST LIVE OAK	12	YES	REMOVE
43	COAST LIVE OAK	19	YES	REMOVE
44	COAST LIVE OAK	22	YES	TO REMAIN
45	COAST REDWOOD	24	YES	REMOVE
A1	COAST LIVE OAK	24	YES	TO REMAIN
A2	COAST LIVE OAK	25	YES	TO REMAIN
A3	COAST LIVE OAK	29	YES	TO REMAIN
A4	COAST LIVE OAK	27	YES	TO REMAIN
A5	COAST LIVE OAK	21	YES	TO REMAIN
A6	COAST LIVE OAK	21	YES	REMOVE
A7	COAST LIVE OAK	14	YES	REMOVE
A8	COAST LIVE OAK	14	YES	REMOVE

NOTE:

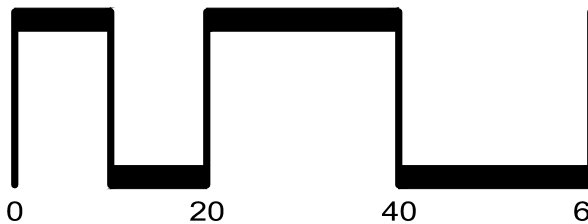
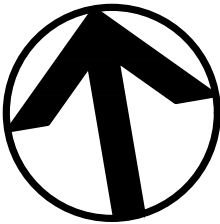
- ALL EXISTING ONSITE UTILITIES, AND IMPROVEMENTS NOT LIMITED TO BUILDINGS, RETAINING WALLS, PAVEMENT, TREES, ETC. ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
- LOCATION OF ALL EXISTING UTILITIES ARE APPROXIMATE BASED ON FIELD AND RECORD INFORMATION. FINAL UTILITY LOCATIONS AND DEPTHS ARE SUBJECT TO USA MARKINGS VERIFICATION AND POTHOLE INVESTIGATIONS.
- ALL TREES NOTED ON THE PLANS PER ARBORIST URBAN TREE MANAGEMENT "TREE SURVEY REPORT" DATED APRIL 16, 2024.
- EXISTING SANITARY SEWER LATERAL TO BE CUT & CAPPED AT PROPERTY LINE & ABANDONED PER DISTRICT STANDARDS.

EXISTING CONDITIONS

68 WILLOW DRIVE

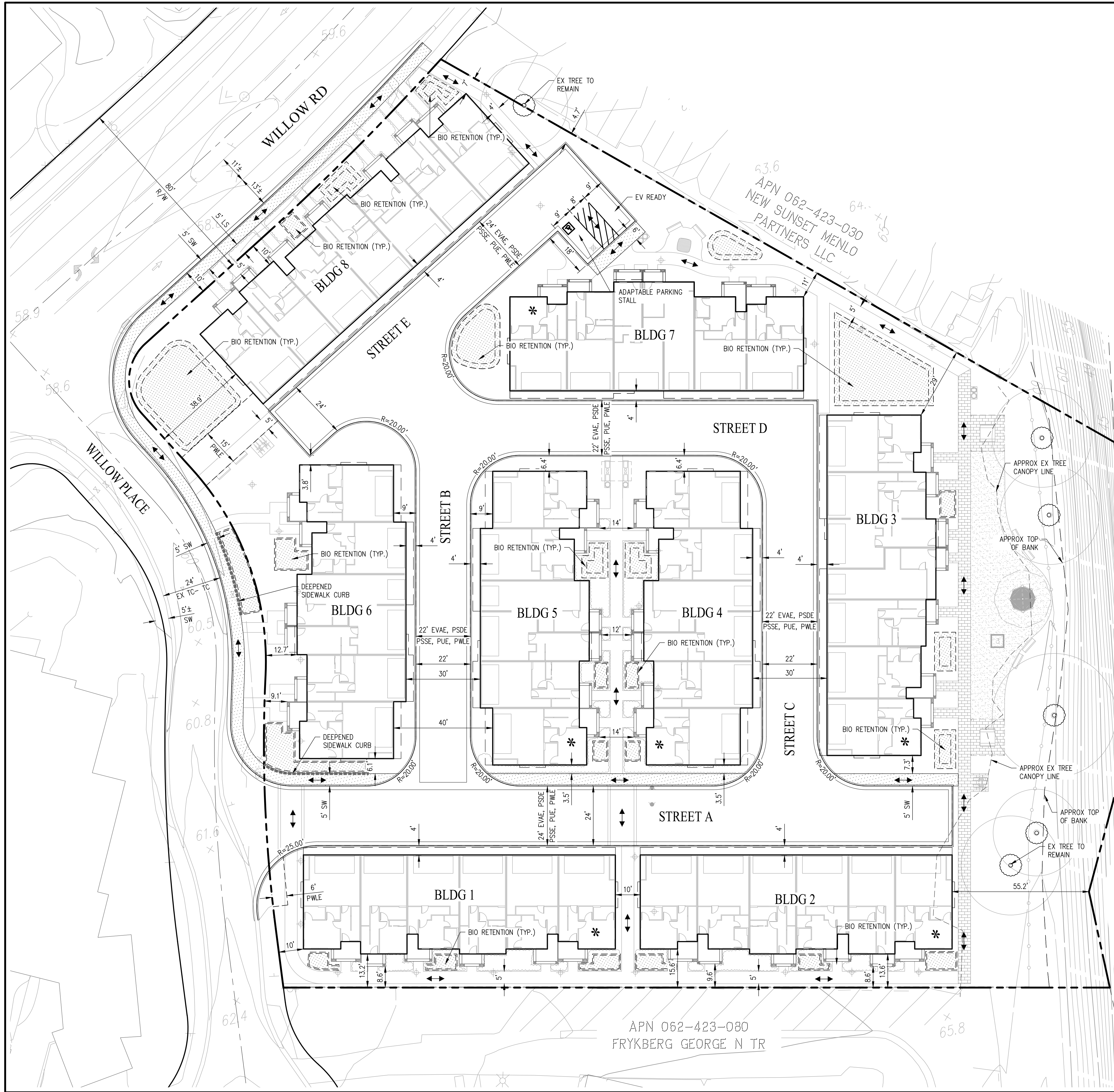
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LEGEND:

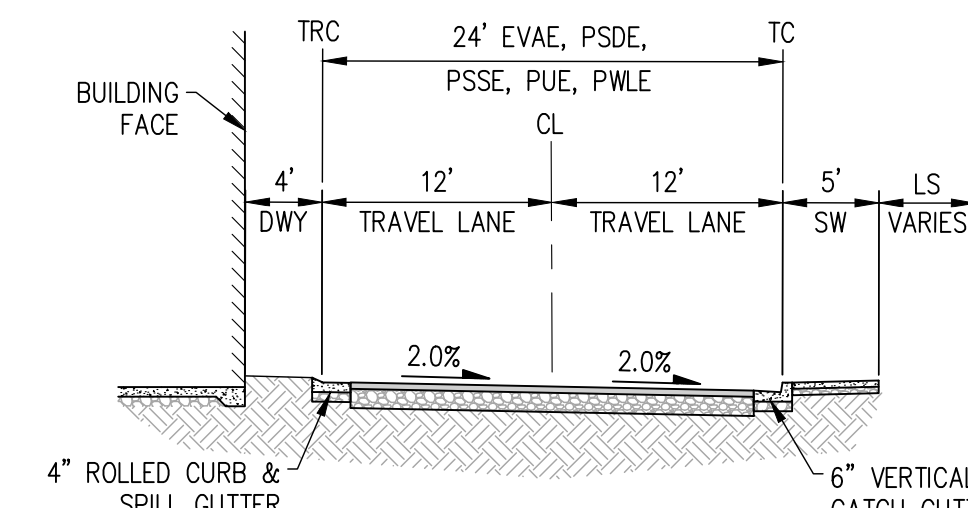
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	MONUMENT LINE
	CENTERLINE
	RIGHT OF WAY LINE
	PROPOSED EASEMENT LINE
	PROPOSED DEEPENED SIDEWALK CURB
	PEDESTRIAN PATH OF TRAVEL
	ADAPTABLE PARKING STALL
	ADAPTABLE UNIT
	BIO-RETENTION AREA
	EX TREE TO REMAIN

ABBREVIATIONS:

APPROX	APPROXIMATE
CL	CENTERLINE
EX	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
LS	LANDSCAPE
PL	PROPERTY LINE
PSDE	PRIVATE STORM DRAIN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PSSE	PRIVATE SANITARY SEWER EASEMENT
PWLE	PRIVATE WATER LINE EASEMENT
SW	SIDEWALK
TYP.	TYPICAL
TRC	TOP OF ROLLED CURB
TC	TOP OF CURB
TVS	VALLEY GUTTER

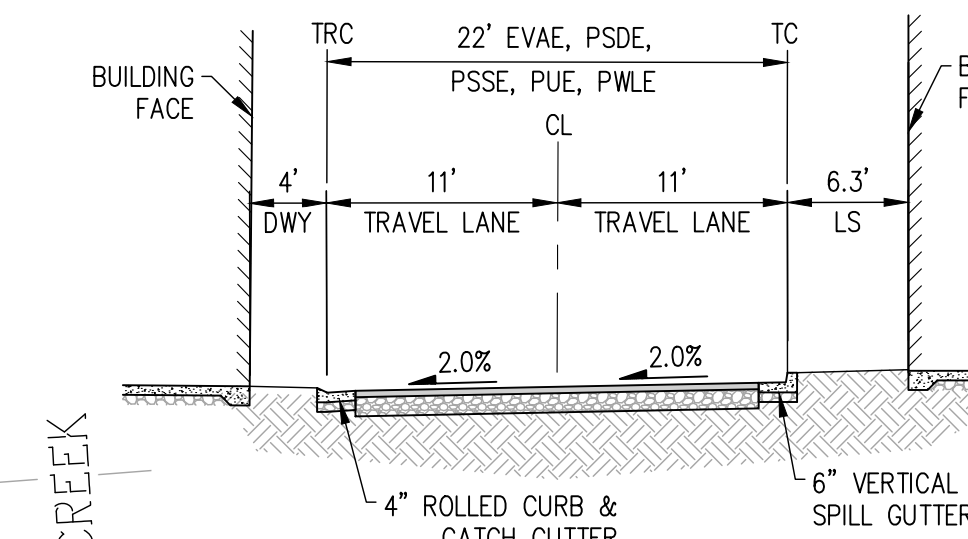
NOTE:

- SEE LANDSCAPE PLANS BY OTHERS FOR ALL LANDSCAPE & IRRIGATION DETAILS.
- SEE LANDSCAPE PLANS FOR ALL WALKWAY SURFACE TYPE DETAILS.
- ALL PEDESTRIAN STREET CROSSINGS WILL BE PROVIDED WITH AN ACCESSIBLE CURB RAMP & TRUNCATED DOMES AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DRAWINGS.



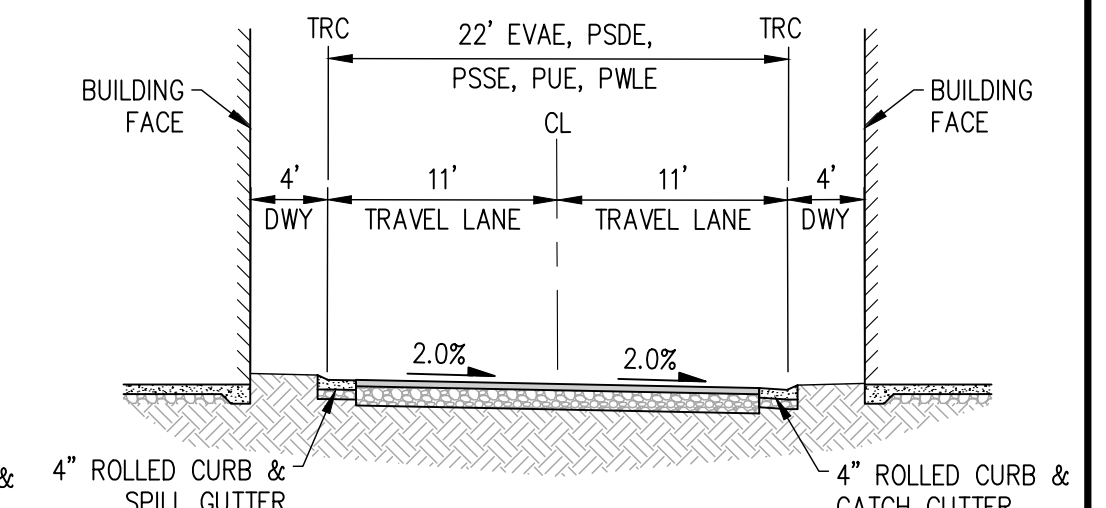
TYPICAL STREET A (PRIVATE)

NOT TO SCALE



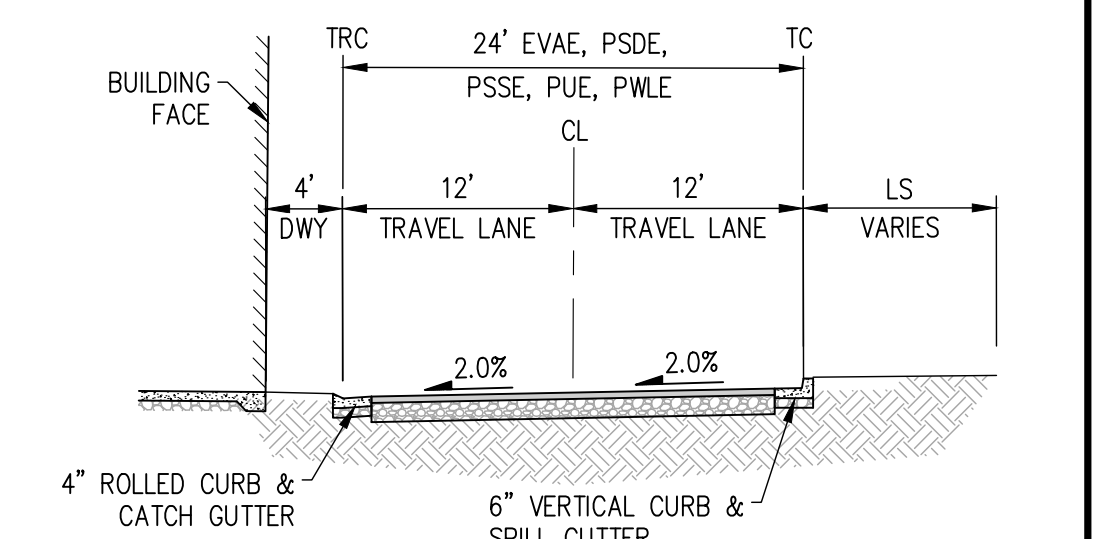
TYPICAL STREET D (PRIVATE)

NOT TO SCALE



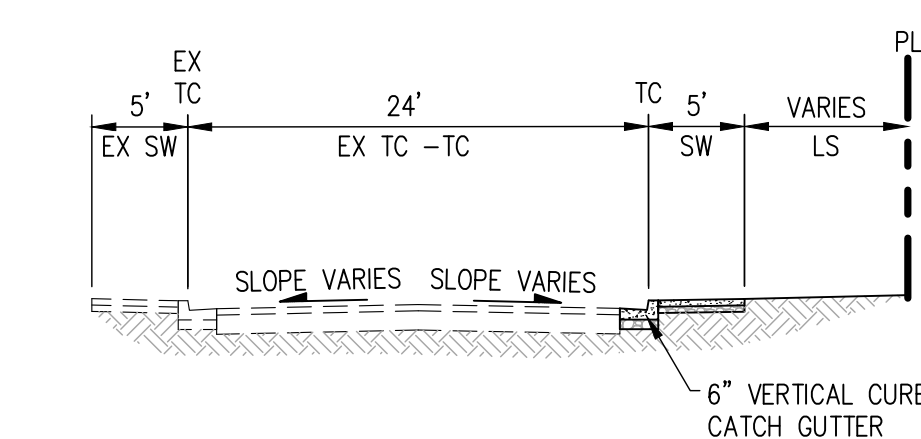
TYPICAL STREET B & C (PRIVATE)

NOT TO SCALE



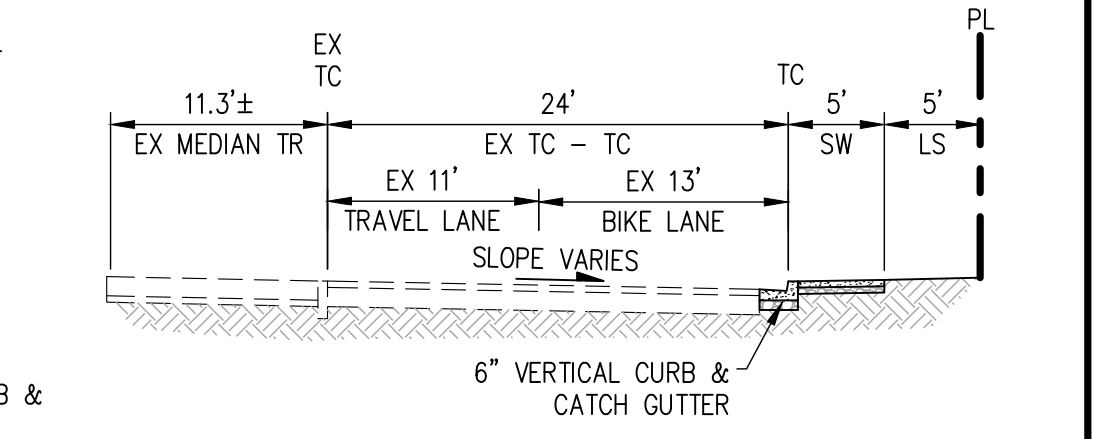
TYPICAL STREET E (PRIVATE)

NOT TO SCALE



TYPICAL WILLOW PLACE (PUBLIC)

NOT TO SCALE



TYPICAL WILLOW ROAD (PUBLIC)

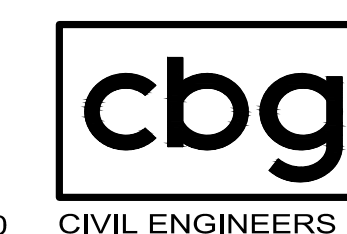
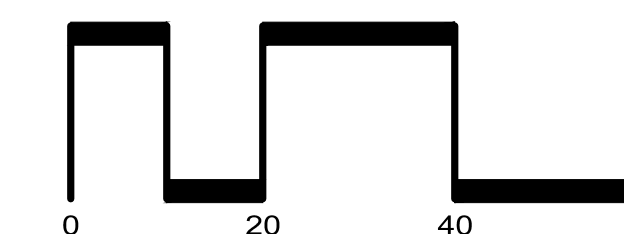
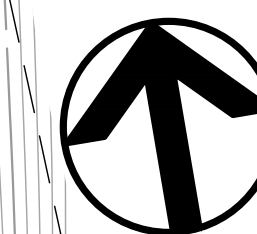
NOT TO SCALE

PRELIMINARY SITE PLAN

68 WILLOW DRIVE

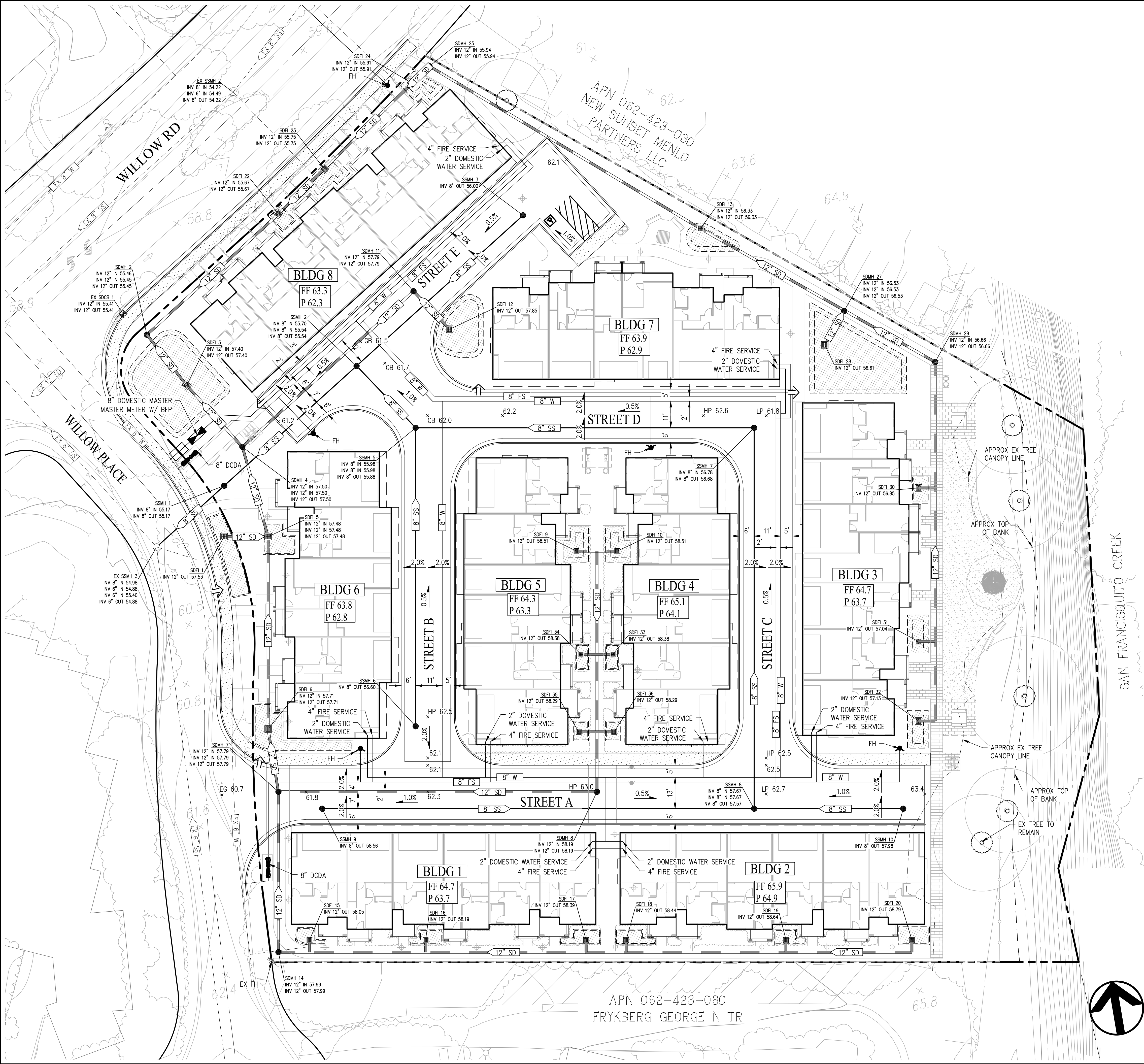
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LEGEND:		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT OF WAY
---	8" W	WATER MAIN
---	8" SS	SANITARY SEWER PIPE
---	12" SD	STORM DRAIN PIPE
□	⊠	STORM DRAIN INLET
○	●	MANHOLE
⋈	⋈	FIRE HYDRANT
⋈	⋈	STREET LIGHT
□	□	UTILITY BOX/VAULT
	⊠	8" DOMESTIC MASTER METER W/ BFP
	⊠	8" DCDA - DOUBLE CHECK DETECTOR ASSEMBLY
	⊠	BIO-RETENTION AREA
	←	CURB CUT/SLOT DRAIN

ABBREVIATIONS

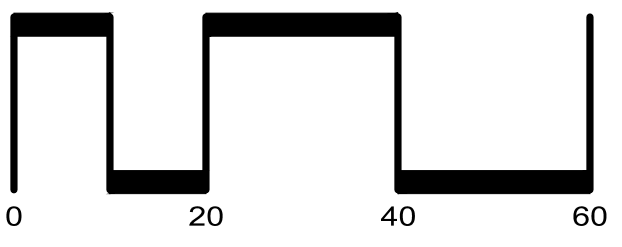
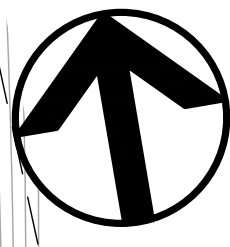
BLDG	BUILDING
BR	BIORETENTION
BFP	BACKFLOW PREVENTOR
CB	CATCH BASIN
DI	DRAIN INLET
EX	EXISTING
FC	FACE OF CURB
FF	FINISHED FLOOR
FH	FIRE HYDRANT
GB	GRADE BREAK
HP	HIGH POINT
LP	LOW POINT
LS	LANDSCAPE
PR	PROPOSED
RD	RIGHT OF WAY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE

UTILITY NOTES:

- UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING UTILITY LOCATIONS ARE APPROXIMATE BASED ON RECORD INFORMATION AND FIELD SURVEY DATA. UTILITY POINT OF CONNECTIONS SHALL BE VERIFIED WITH USA MARKINGS AND POTHOLE INFORMATION.
- PRELIMINARY DOMESTIC AND FIRE SERVICE SIZES ARE SUBJECT TO FINAL PLUMBING ENGINEERS DESIGN.
- ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING ENGINEERS DESIGN.

PRELIMINARY
GRADING & UTILITY PLAN
68 WILLOW DRIVE

CITY OF MENLO PARK SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: JULY 19, 2024





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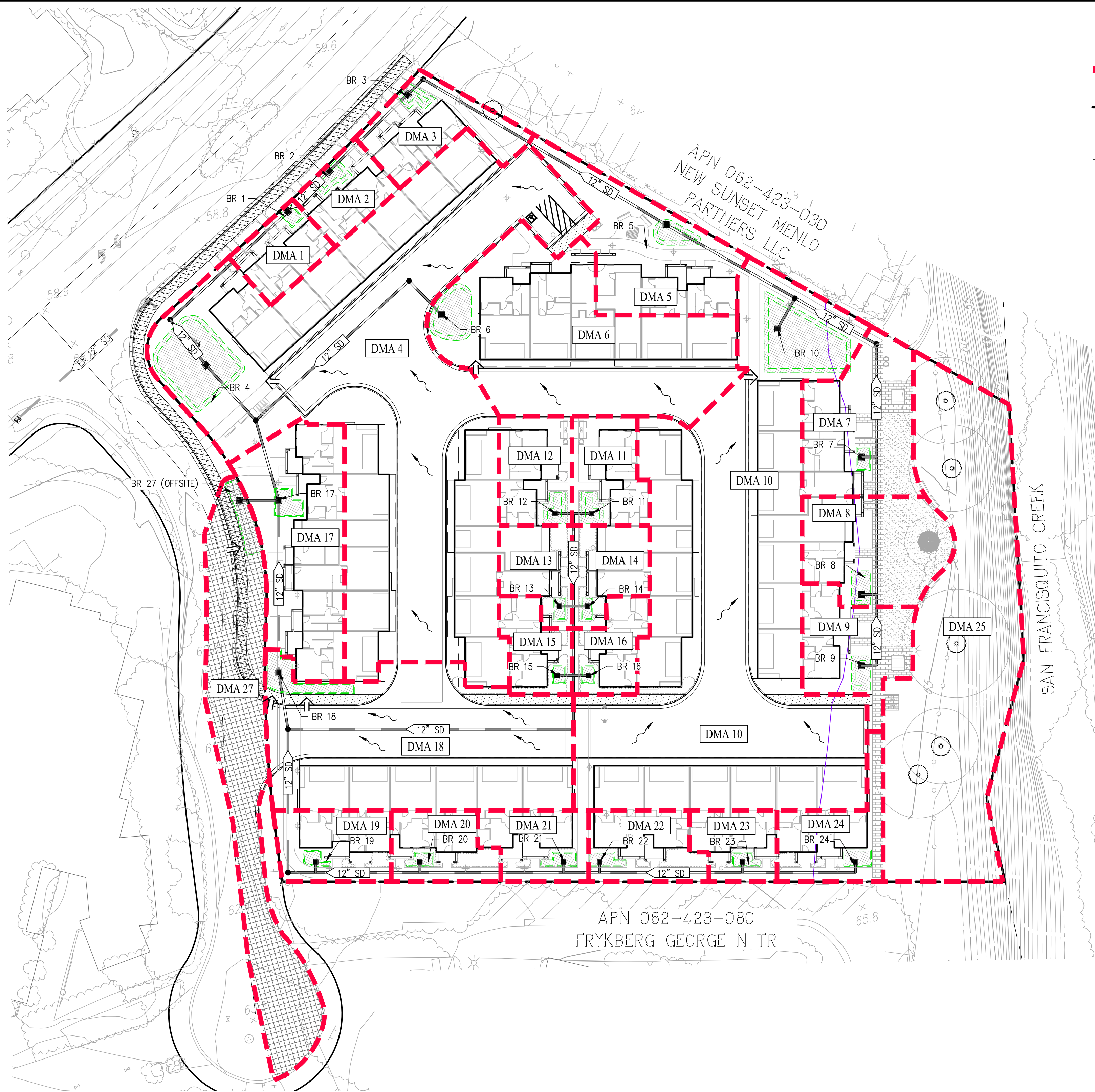
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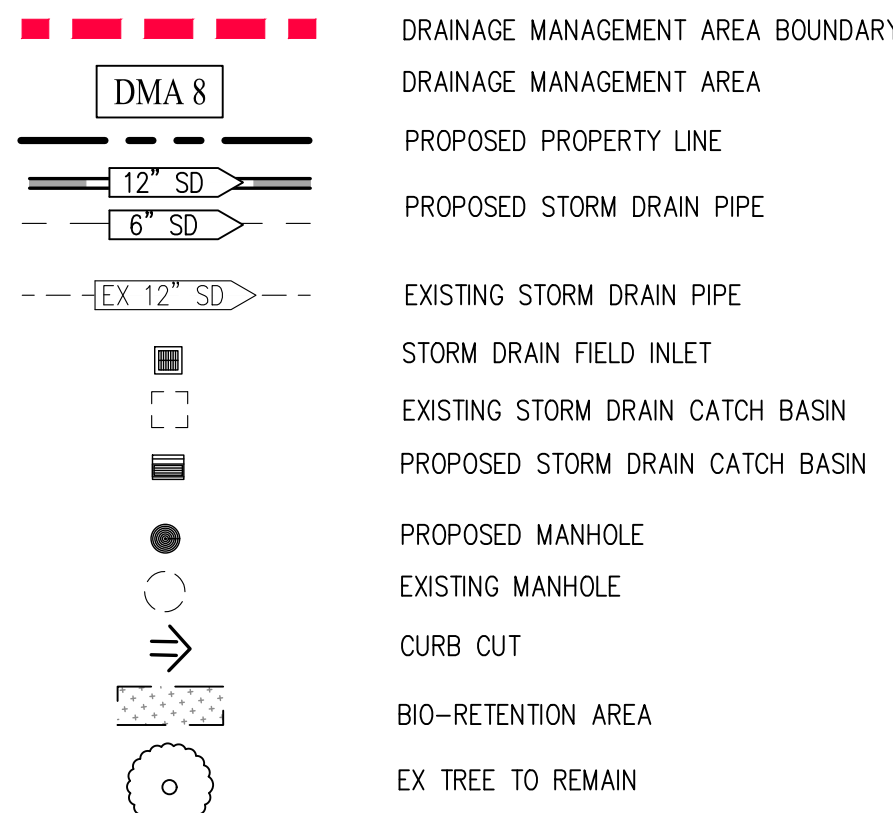
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TM-4



LEGEND



ABBREVIATIONS

DMA	DRAINAGE MANAGEMENT AREA
EX	EXISTING
POC	POINT OF CONNECTION
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
TCM	TREATMENT CONTROL MEASURE

SITE CONDITIONS

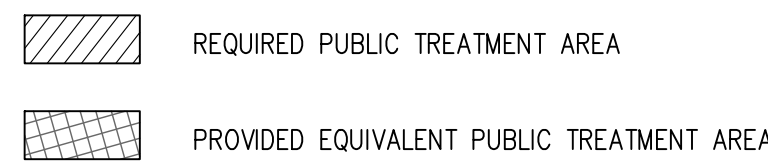
EXISTING SITE IMPERVIOUS AREA	95,840 SF±
PROPOSED SITE IMPERVIOUS AREA	79,856 SF±

TREATMENT CONTROL MEASURE CALCULATION SUMMARY TABLE

DMA #	TREATMENT TYPE	TCM #	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPRVIOUS AREA (A) (SF)	SIZING METHOD	REQUIRED BIORETENTION (SF)	PROVIDED BIORETENTION (SF)
1	BIO-RETENTION	1	1179	894	285	923	FLOW & VOLUME	28	28
2	BIO-RETENTION	2	1216	937	279	965	FLOW & VOLUME	29	29
3	BIO-RETENTION	3	2034	1310	724	1382	FLOW & VOLUME	41	41
4	BIO-RETENTION	4	22250	18981	3269	19308	FLOW & VOLUME	579	579
5	BIO-RETENTION	5	3666	1991	1675	2159	FLOW & VOLUME	65	65
6	BIO-RETENTION	6	8105	7055	1050	7160	FLOW & VOLUME	215	215
7	BIO-RETENTION	7	3354	2101	1253	2226	FLOW & VOLUME	67	67
8	BIO-RETENTION	8	3055	1450	1605	1611	FLOW & VOLUME	48	48
9	BIO-RETENTION	9	2286	1540	746	1615	FLOW & VOLUME	48	48
10	BIO-RETENTION	10	19624	17707	1917	17899	FLOW & VOLUME	537	537
11	BIO-RETENTION	11	1645	1062	583	1120	FLOW & VOLUME	34	34
12	BIO-RETENTION	12	1706	1177	529	1230	FLOW & VOLUME	37	37
13	BIO-RETENTION	13	1310	1012	298	1042	FLOW & VOLUME	31	31
14	BIO-RETENTION	14	1403	1146	257	1172	FLOW & VOLUME	35	35
15	BIO-RETENTION	15	1188	953	235	977	FLOW & VOLUME	29	29
16	BIO-RETENTION	16	1241	991	250	1016	FLOW & VOLUME	30	30
17	BIO-RETENTION	17	4522	3442	1080	3550	FLOW & VOLUME	107	107
18	BIO-RETENTION	18	8700	8232	468	8279	FLOW & VOLUME	248	248
19	BIO-RETENTION	19	1709	1405	304	1435	FLOW & VOLUME	43	43
20	BIO-RETENTION	20	1466	1171	295	1201	FLOW & VOLUME	36	36
21	BIO-RETENTION	21	1507	1307	200	1327	FLOW & VOLUME	40	40
22	BIO-RETENTION	22	1640	1273	367	1310	FLOW & VOLUME	39	39
23	BIO-RETENTION	23	1194	1085	109	1096	FLOW & VOLUME	33	33
24	BIO-RETENTION	24	1872	1634	238	1658	FLOW & VOLUME	50	50
26	SELF-TREATING	26	10984	0	10984	1098	N/A	N/A	N/A
27	BIO-RETENTION	24	5954	5099	855	5185	FLOW & VOLUME	156	38
TOTAL			108856	79856	29000				

EQUIVALENT PUBLIC TREATMENT AREA SUMMARY

CRITERIA	AREA (SF)
REQUIRED EQUIVALENT PUBLIC TREATMENT AREA (NEW AND/OR REPLACED IMPERVIOUS SURFACE)	2363
PROVIDED EQUIVALENT PUBLIC TREATMENT AREA	5099



NOTES

- DEVELOPER SHALL INSTALL ANY APPROPRIATE STORMWATER POLLUTION PREVENTION MESSAGE SUCH AS "NO DUMPING- FLOWS TO THE BAY" ON ANY STORM DRAINS LOCATED ON PRIVATE PROPERTY.

PRELIMINARY STORMWATER MANAGEMENT PLAN

68 WILLOW DRIVE

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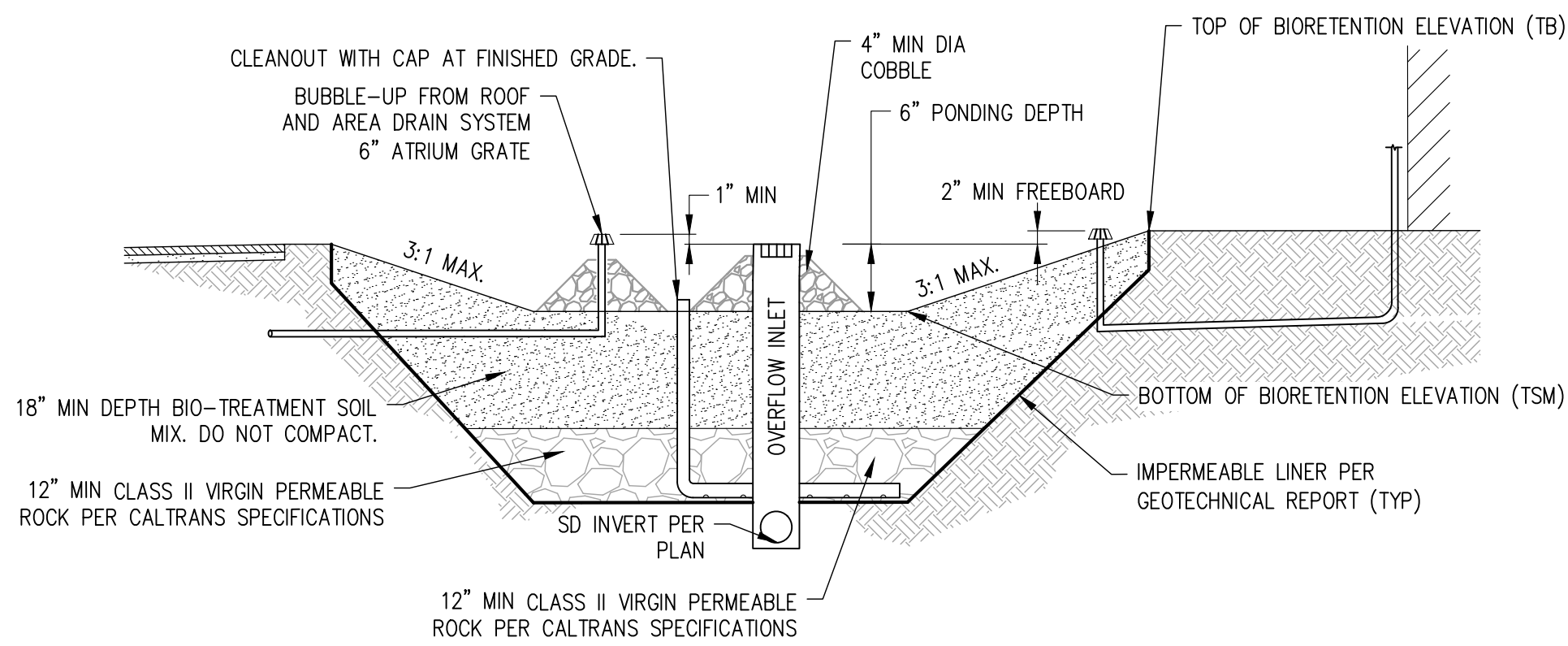
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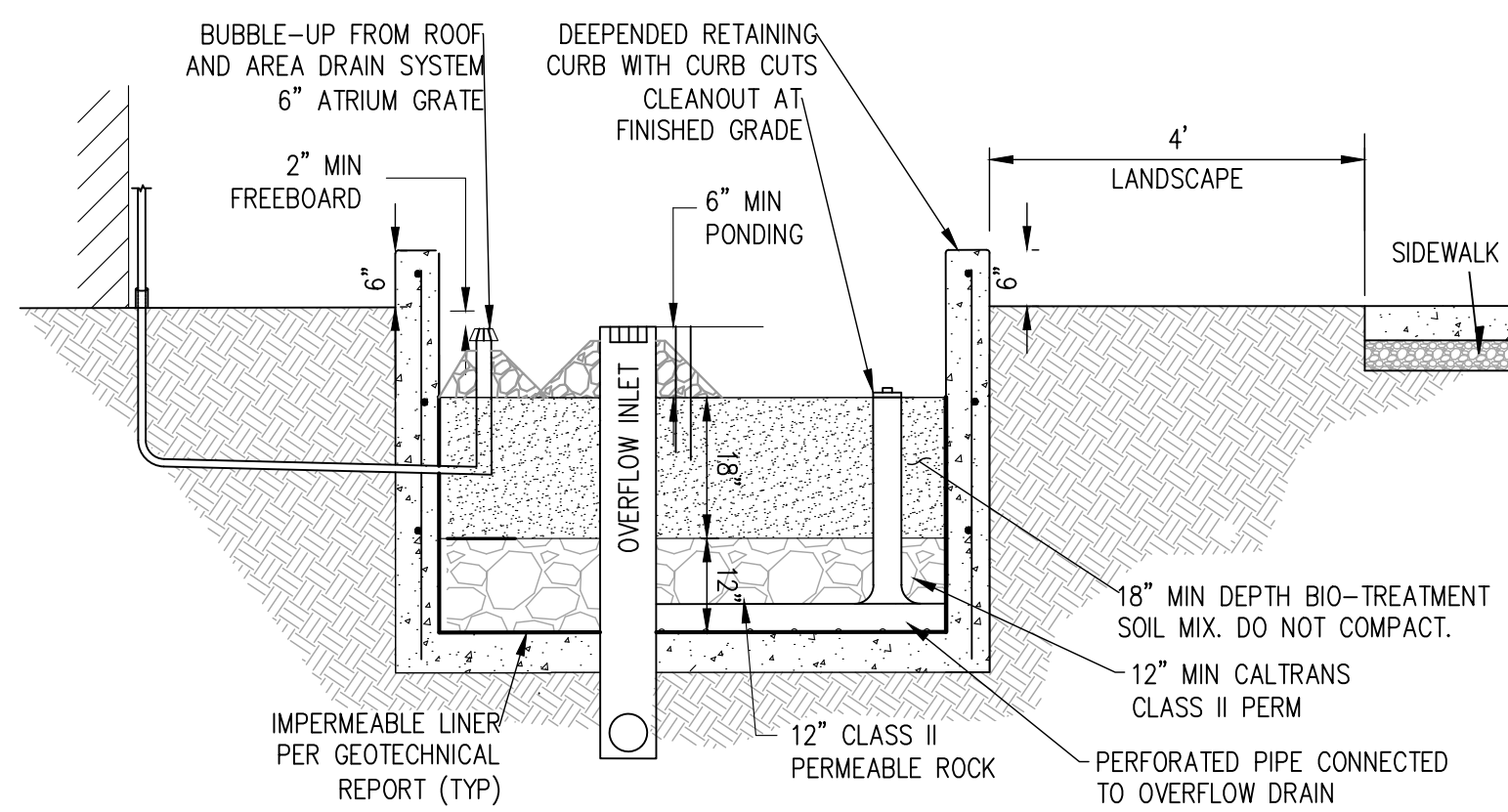
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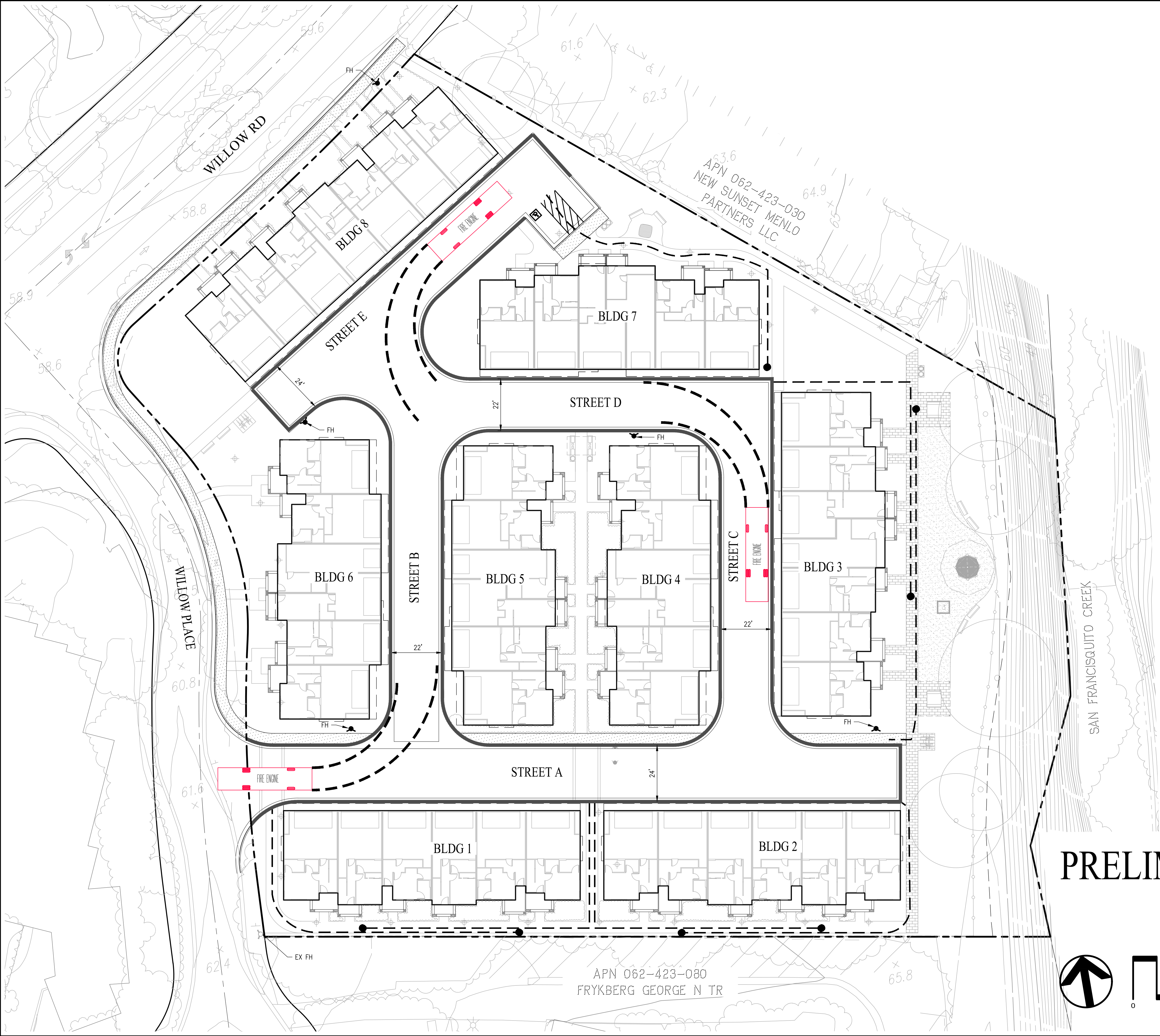
BIORETENTION DETAIL 1

NOT TO SCALE



TYPICAL BIO-RETENTION DETAIL 2

(WHERE ADJACENT TO STRUCTURES)
NOT TO SCALE

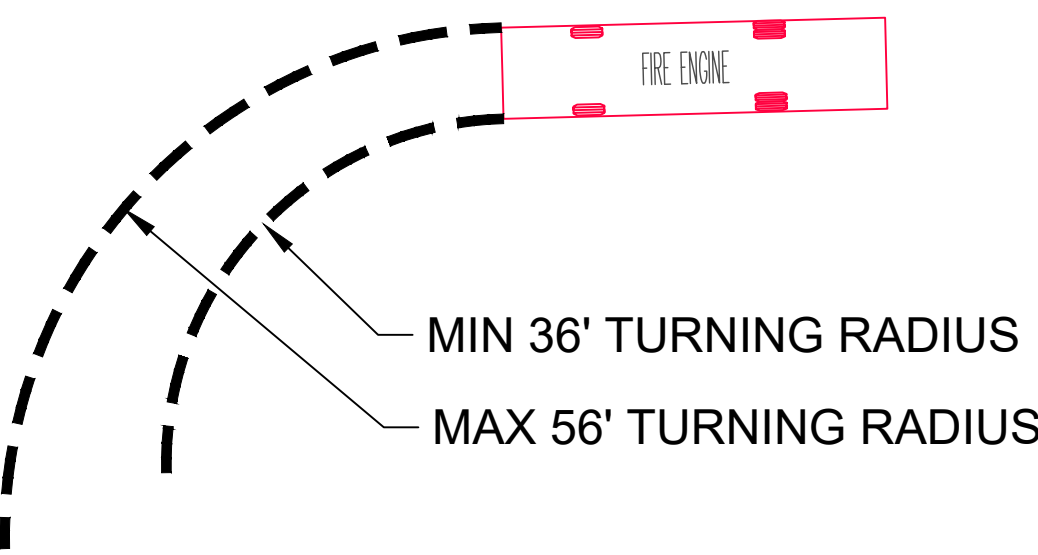


LEGEND:

	SUBDIVISION BOUNDARY
	ADJACENT PROPERTY LINE
	PROPOSED RIGHT OF WAY
	FIRE DEPARTMENT HOSE REACH (150')
	RED CURB "FIRE LANE NO PARKING"
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	BUILDING
	CONCRETE
	DRIVEWAY
	EXISTING
	OVERHANG
	PROPERTY LINE
	SIDEWALK
	34' MIN RADIUS APPARATUS FIRE TRUCK

NOTE

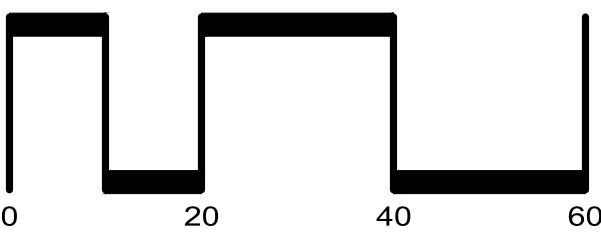
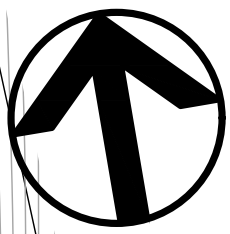
1. RED CURB FIRE LANE MARKINGS WILL BE PROVIDED ON ALL FIRE ACCESS DRIVE AISLES AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DRAWINGS.
2. ALL FIRE ACCESS DRIVE AISLES SHALL BE DESIGNED TO SUPPORT THE LOADING CAPACITY OF A 75,000 POUND FIRE TRUCK.
3. AERIAL ACCESS ROADS NOT REQUIRED. BUILDING EAVES ARE UNDER 30' LIMIT, SEE ARCHITECTURAL PLANS.



FIRE TRUCK TURNING TEMPLATE
NOT TO SCALE

PRELIMINARY FIRE ACCESS PLAN
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HERITAGE TREE REMOVAL & MITIGATION REPLACEMENT TABLE				
HERITAGE TREE # PER ARBORIST REPORT	DIAMETER OF HERITAGE TREE	HERITAGE TREE TO BE REMOVED (X)	SIZE/SPECIES OF REPLACEMENT TREE	TREE REPLACEMENT IN LIEU FEE
#1	39"	X	36" BOX QUE AGR	
#7	35"	X	36" BOX QUE AGR	
#12	16"	X		\$200
#16	17"	X	15 GAL ARB MAR	
#17	33"	X	36" BOX QUE AGR	
#18	23"	X	24" BOX LAG TUS	
#19	21"	X	24" BOX LAG TUS	
#25	15"	X	15 GAL ARB MAR	
#28	15"	X	15 GAL ARB MAR	
#29	17"	X	15 GAL ARB MAR	
#32	36"	X	36" BOX QUE AGR	
#33	24"	X	24" BOX LAG TUS	
#34	30"	X	36" BOX QUE AGR	
#35	39"	X	36" BOX QUE AGR	
#36	41"	X		\$5,000
#37	15"	X	15 GAL ARB MAR	
#38	48"	X		\$5,000
#39	48"	X		\$5,000
#41	MULTI 14"/14"	X		\$400
#42	12"	X		\$200
#43	19"	X		\$200
#44	22"		24" BOX LAG TUS	
#45	24"	X	24" BOX LAG TUS	
#A1	24"		NA	
#A2	25"		NA	
#A3	29"		NA	
#A4	27"		NA	
#A5	21"		NA	
#A6	21"	X		\$400
#A7	14"	X	15 GAL ARB MAR	
#A8	MULTI 14"/14"	X		\$400
		TOTAL # OF PROTECTED TREES REMOVED = 25 QTY		TOTAL IN-LIEU FEES = \$16,800

NOTES:
1. SEE CITY OF MENLO PARK 'HERITAGE TREE REPLACEMENT REQUIREMENTS' FOR TREE REMOVAL MITIGATION REQUIREMENTS.
2. TREE NUMBERS & SIZES CORRESPOND TO THE APPLICANT ARBORIST REPORT PREPARED BY URBAN TREE MANAGEMENT DATED APRIL 2024. REFER TO THE ARBORIST REPORT FOR TREE PROTECTION MEASURES.
3. SEE SHEET L-2 FOR PRELIMINARY TREE SPECIES KEY & LOCATION OF PROPOSED TREES.
4. ON SHEET L-2 PROTECTED HERITAGE TREES ARE IDENTIFIED W/ THE ARBORIST TREE # IN PARENTHESES, EX: (25).

EXISTING TREE INVENTORY



TREE SURVEY DATA

Ratings for health and structure are given separately for each tree according to the table below. "G" a tree may be rated "Good" under the health column for excellent, vigorous appearance and growth, while the same tree may be rated "Fair, Poor" in the structure column if structural mitigation is needed.

KEY

Health

Structure

Good

excellent, vigorous

exceptional

Fair - Good

no significant health concerns

very stable

Fair

declining; measures should be taken to improve health and appearance

active maintenance needed

Fair - Poor

in decline; significant health issues

mitigation needed, it may or may not preserve this tree

Poor

dead or near dead

hazard

NOTE: SEE SHEET L-2 FOR EXISTING TREE REMOVALS PER IMPROVEMENTS

(PER ARBORIST SUITABILITY EVALUATION)

TAG NO.	COMMON NAME	DIAMETER AT STD. HEIGHT	H/W	HEALTH	STRUCTURE	PROTECTED (X)	TREE DISPOSITION	NOTES
1	DECADAR CEDAR	39	70/40	G	G	X	A	MASSIVE, GOOD CONDITION
2	WHITE BIRCH	39	45/20	G	G		A	ONE OF 5 IN A CLUSTER, GOOD CONDITION
3	WHITE BIRCH	31	45/20	G	G		A	ONE OF 5 IN A CLUSTER, GOOD CONDITION
4	WHITE BIRCH	9	45/20	G	G		A	ONE OF 5 IN A CLUSTER, GOOD CONDITION
5	WHITE BIRCH	MULTI 7/6/4	50/20	F	F		D	ONE OF 5 IN A CLUSTER, DECAY IN LOWER TRUNK
6	WHITE BIRCH	11	50/20	F	F		D	ONE OF 5 IN A CLUSTER, DECAY IN LOWER TRUNK
7	COAST LIVE OAK	35	50/50	G	G	X	A	MASSIVE, GOOD CONDITION
8	HAWTHORN	11	35/20	F	G		B	SHADED BY ADJACENT OAK #15, DEAD WOOD
9	MAGNOLIA	MULTI 6/5/3	30/15	F	G		B	PHOTOTROPIC, POOR TAPER
10	MAGNOLIA	MULTI 5/4/1	30/15	F	G		B	PHOTOTROPIC, POOR TAPER
11	JAPANESE MAPLE	MULTI 4/7/7	25/25	G	G		A	EXCELLENT SPECIMEN, NO OBSERVED FLAWS
12	CAROB	16	20/25	F	F	X	C	POSSIBLE STREET TREE, EXTENSIVE DECAY
13	PLUM	12	25/20	G	G		B	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS
14	PLUM	8	20/15	G	G		B	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS
15	PLUM	9	20/15	G	G		B	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS
16	AMERICAN SWEET GUM	17	50/35	F	G	X	A	POSSIBLE STREET TREE, FAIR SPECIMEN
17	CAROB	33	45/35	P	P	X	D	POSSIBLE STREET TREE, EXTENSIVE DECAY
18	AMERICAN SWEET GUM	23	50/30	G	G	X	A	GOOD SPECIMEN
19	AMERICAN SWEET GUM	21	50/30	F	G	X	A	GERMINING ROOTS EVIDENT
20	CHERRY	39	15/10	F	G		A	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS
21	RED MAPLE	9	30/20	G	G		A	POSSIBLE STREET TREE, GOOD SPECIMEN
22	PLUM	9	20/15	F	G		D	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS, FIREBLIGHT EVIDENT
23	PLUM	8	20/15	F	G		D	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS, FIREBLIGHT EVIDENT
24	PLUM	8	20/10	F	G		D	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS, FIREBLIGHT EVIDENT
25	CHERRY	15	20/20	F	G	X	B	LARGE TRUNK, DECENT CONDITION
26	PLUM	8	25/15	F	G		B	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS
27	PLUM	9	25/15	F	G		B	CLUSTERED WITH SMALLER UNSURVEYED SPECIMENS
28	VALLEY OAK	15	35/40	G	G	X	A	POSSIBLE STREET TREE, GOOD SPECIMEN
29	WHITE BIRCH	17	50/25	G	G	X	A	VERY LARGE, GOOD SPECIMEN
30	WHITE BIRCH	39	45/20	G	G		A	GOOD SPECIMEN
31	WHITE BIRCH	7	45/20	G	G		A	GOOD SPECIMEN
32	COAST LIVE OAK	36	35/35	F	F	X	D	EXTENSIVE DECAY, TERMITES, MULTIPLE BRACES. HAZARDOUS-NEEDS TO BE REMOVED
33	COAST LIVE OAK	24	50/50	F	G	X	A	IN PARKING LOT PLANTER, GOOD CONDITION
34	COAST LIVE OAK	39	40/35	F	G	X	A	TRUNK BLEEDING, POSSIBLE SOIL INFESTION
35	COAST LIVE OAK	39	60/50	G	F	X	A	INSIDE COURTYARD, LEANS TOWARD FENCE AND PARKING AREA
36	COAST LIVE OAK	41	60/35	G	F	X	A	INSIDE COURTYARD, LEANS TOWARD FENCE AND PARKING AREA, DECAY POCKETS EVIDENT
37	COAST LIVE OAK	15	40/35	G	F	X	A	INSIDE COURTYARD, LEANS TOWARD FENCE AND PARKING AREA
38	COAST REDWOOD	46	130/40	G	G	X	A	INSIDE COURTYARD, MASSIVE, GOOD CONDITION
39	COAST REDWOOD	46	130/45	G	G	X	A	INSIDE COURTYARD, MASSIVE, GOOD CONDITION
40	CHINESE PISTACHE	11	30/20	G	G		A	PATIO TREE INSIDE COURTYARD, GOOD CONDITION
41	INCENSE CEDAR	MULTI 14/14	70/50	G	G	X	A	ON PROPERTY LINE: GOOD CONDITION
42	COAST LIVE OAK	12	40/20	G	F	X	A	ON PROPERTY LINE: LEANS TOWARD DRIVEWAY
43	COAST LIVE OAK	39	40/20	G	F	X	A	ON PROPERTY LINE: LEANS TOWARD DRIVEWAY
44	COAST LIVE OAK	22	50/35	G	G	X	A	ON PROPERTY LINE: GOOD CONDITION
45	COAST REDWOOD	24	60/20	G	G	X	A	ON PROPERTY LINE: GOOD CONDITION
A1	COAST LIVE OAK	24	50/40	F	F	X	A	NEIGHBORING TREE: RIPARIAN AREA TO THE EAST ALONG SAN FRANCISCO CREEK, IVY, CROWDED
A2	COAST LIVE OAK	25	50/40	F	F	X	A	NEIGHBORING TREE: RIPARIAN AREA TO THE EAST ALONG SAN FRANCISCO CREEK, IVY, CROWDED
A3	COAST LIVE OAK	29	60/50	F	G	X	A	NEIGHBORING TREE: RIPARIAN AREA TO THE EAST ALONG SAN FRANCISCO CREEK, IVY, CROWDED
A4	COAST LIVE OAK	27	50/35	F	G	X	A	NEIGHBORING TREE: RIPARIAN AREA TO THE EAST ALONG SAN FRANCISCO CREEK, IVY, CROWDED
A5	COAST LIVE OAK	21	50/40	F	G	X	A	NEIGHBORING TREE: RIPARIAN AREA TO THE EAST ALONG SAN FRANCISCO CREEK, IVY, CROWDED
A6	COAST LIVE OAK	21	50/40	F	G	X	A	NEIGHBORING TREE: PARKING LOT TREE TO THE SOUTH, CROWDED WITH COMPETING SPECIES
A7	COAST LIVE OAK	14	30/20	F	F	X	A	NEIGHBORING TREE: PARKING LOT TREE TO THE SOUTH, CROWDED WITH COMPETING SPECIES
A8	COAST LIVE OAK	MULTI 14/14	50/50	F	G	X	A	NEIGHBORING TREE: PARKING LOT TREE TO THE SOUTH, CROWDED WITH COMPETING SPECIES
A = Retain, condition warrants long-term preservation (PER ARBORIST SUITABILITY EVALUATION) B = Preservable, tree is a benefit and may be worthy of extensive effort or design accommodation. C = May be preservable, but is not worthy of extensive effort or design accommodation. D = Recommended removal due to existing condition and/or structure TOTAL TREES Total Protected Trees								36 9 1 53 31

PRELIMINARY PLANT MATERIAL PALETTE

	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS*
TREES - SEE TREE SPECIES ON SHEET L-2					
SHRUBS, GROUNDCOVERS & GRASSES PALETTE					
ANI BUS	Anigozanthos s. 'Bush Gold'	Yellow Kangaroo Paw	1 GAL	30" O.C.	L
ARB OKT	Arbutus v. 'Oktoberfest'	Strawberry Tree (Shrub)	5 GAL	60" O.C.	L
BOU BLO	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 GAL	30" O.C.	L
CAL LIT	Callistemon v. 'Little John'	Dwarf Bottle Brush	5 GAL	42" O.C.	L
CAR ELI	Carpenteria californica 'Elizabeth'	Compact Bush Anemone	5 GAL	48" O.C.	L
CAR TUM	Carex tumicola	Foothill Sedge	1 GAL	24" O.C.	L
CEA YAN	Ceanothus g. h. 'Yankee Point'	Wild Lilac	5 GAL	60" O.C.	L
CIS LAD	Cistus ladanifer	Crimson Spot Rockrose	5 GAL	48" O.C.	L
DIE BIG	Diets bicolor	Fortnight Lily	1 GAL	36" O.C.	L
FES ELI	Festuca glauca 'Elijah Blue'	Common Blue Fescue	6" POTS	18" O.C.	L
LAN MON	Lantana montevidensis	Trailing Lantana	1 GAL	42" O.C.	L
LAV MAR	Lavatera maritima	Tree Mallow	5 GAL	72" O.C.	L
LAV MUN	Lavandula a. 'Munstead'	Munstead Lavender	1 GAL	18" O.C.	L
LOR BUR	Loropetalum chinense	White Fringe Flower	5 GAL	72" O.C.	L
MYO PAR	Myoporum parvifolium	Myoporum	1 GAL	60" O.C.	L
NAN GUL	Nandina d. 'Sulf Stream'	Dwarf Heavenly Bamboo	1 GAL	18" O.C.	L
NAN MOO	Nandina d. 'Moon Bay'	Dwarf Heavenly Bamboo	1 GAL	30" O.C.	L
PHO FLA	Phormium s. 'Platt's Black'	New Zealand Flax	1 GAL	36" O.C.	L
PHO TON	Phormium s. 'Tony Tiger' Shade Alt.; Liriope m. 'Silverly Sunproof'	Dwarf New Zealand Flax Shade Alt.: Variegated Lily Turt'	1 GAL	24" O.C.	L
PIT VAR	Pittosporum tobira 'Variegata'	Variegated Tobira	5 GAL	60" O.C.	L
FRU COL	Prunus c. 'Compacta' Column	Columnar Cherry Laurel	5 GAL	48" O.C.	L
ROS HUN	Rosmarinus o. 'Huntington Carpet'	Trailing Rosemary	1 GAL	48" O.C.	L
ROS TUS	Rosmarinus o. 'Tuscan Blue' Shade Alt.; Nandina domestica	Upright Rosemary Shade Alt.: Heavenly Bamboo	5 GAL	36" O.C.	L
SAL GLO	Salvia g 'Heatwave Glon'	Heatwave Glon Sage	1 GAL	36" O.C.	L
SAL WIN	Salvia clevelandii 'Winnifred Gilman'	Cleveland Sage	5 GAL	42" O.C.	L
VINES / ESPALIERS					
GEL SEM	Gelsemium sempervirens	Carolina Jessamine	5 GAL	SEE PLANS	L
STORM WATER TREATMENT PLANTS					
CHO TEC	Chondropetalum tectorum**	Cape Rush	1 GAL	42" O.C.	L
MUH RIG	Muhlenbergia rigens**	Deer Grass	1 GAL	48" O.C.	L

NOTES:
1. * - THE "WUCOLS IV" RATING SYSTEM IS INDUSTRY STANDARD FOR IRRIGATION WATER NEEDS OF LANDSCAPE PLANTING IN CALIFORNIA. THE MAJORITY PLANTS SELECTED ARE RATED VERY LOW TO MEDIUM WATER REQUIREMENTS FOR THE REGION AND SHALL BE PLANTED IN SPECIFIC HYDROZONES. PLANT WATER USE RATINGS ARE: VL = VERY LOW, L = LOW, M = MEDIUM, H = HIGH
2. PLANT MATERIAL FOR STORMWATER TREATMENT PLANTERS PER SAN MATEO COUNTY'S 'C.3 STORM WATER TECHNICAL GUIDANCE" APPENDIX A.

PLANTING NOTES

1. **SOIL AMENDMENTS:** THE CONTRACTOR SHALL ASSUME SURFACE AMENDMENTS FOR TURF, GROUNDCOVER AND SHRUB AREAS AS PER THE PRELIMINARY SOILS REPORT INCLUDED IN THESE PLANS FOR BIDDING. ACTUAL SOIL AMENDMENTS SHALL BE DETERMINED BY THE ON-SITE SOIL TEST RECOMMENDATIONS.

A. SOIL TESTS: PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONDUCT HORTICULTURAL SOIL TESTS AFTER ROUGH GRADING HAS BEEN COMPLETED. TAKE AT LEAST 5 TO 10 SUB-SAMPLES OF EQUAL SIZE AT RANDOM LOCATIONS FROM THE SITE AT 6" TO 18" DEPTHS. THOROUGHLY MIX THESE SUB-SAMPLES AND SUBMIT TO A REPUTABLE SOILS LABORATORY FOR HORTICULTURAL TESTING. IN ADDITION, A GUARANTEED ANALYSIS OF A NUTRIENT RICH COMPOST AMENDMENT (SPECIFIED BELOW) MUST BE SUBMITTED WITH THE SOIL SAMPLE TO PROVIDE A COMPLETE ANALYSIS FOR THE RECOMMENDED SOIL AMENDMENT MIX.

B. A NUTRIENT RICH COMPOST AMENDMENT SHALL BE USED AS THE NITROGEN STABILIZED ORGANIC AMENDMENT. INCORPORATE 2" OF COMPOST INTO THE TOP 6" TO 12" OF SOIL. THIS PRODUCT SHALL BE CERTIFIED THROUGH THE US COMPOSTING COUNCIL'S SEAL OF TESTING ASSURANCE PROGRAM (www.compostingcouncil.org). A GUARANTEED ANALYSIS ORGANIC COMPOST SUCH AS 'MONDERGROUN PREMIUM COMPOST' AVAILABLE AT GROVER LANDSCAPING (209) 545-4401 OR 'FOUR COURSE COMPOST' AVAILABLE AT JEPSON PRAIRIE ORGANICS (800) 208-2370 OR APPROVED EQUAL SHALL BE USED.

C. THE APPROVED FINAL SOIL AMENDMENT RECOMMENDATION SHALL BE EVENLY SPREAD AND THOROUGHLY BLENDED BY CROSS-RIPPING OR EQUALLY CULTIVATED BY MEANS OF ROTOTILLING TO A UNIFORM DEPTH OF 6"-12". IN AREAS WITH A SLOPE OF 3:1 OR GREATER OR WHERE PLANT MATERIAL IS SPACED 60" O.C. OR GREATER THE RECOMMENDED HORTICULTURAL BACKFILL MIX SHALL BE PER PLANT PIT ONLY-SEE PLANTING DETAILS. DO NOT AMEND SOIL WITHIN BIORETENTION AREAS. REFER TO CIVIL DRAWINGS FOR SOIL PREPARATION IN THESE AREAS. SOIL SHALL NOT BE WORKED WITH WHEN WET.

2. **MULCH:** ALL PLANTING AREAS, UNLESS OTHERWISE NOTED, SHALL RECEIVE A 3" LAYER OF MULCH AS FOLLOWS:

A. PROJECTS W/ NO SLOPES OR LESS THAN 3:1 SLOPES: RECOLOGY RECYCLED 'DECORATIVE' MULCH IN 'LIGHT BROWN' COLOR.

B. PROJECTS W/ SLOPES STEEPER THAN 3:1: MULCH SLOPES WITH RECOLOGY 'SHREDDED CEDAR' IN 'LIGHT BROWN' COLOR.

C. MULCH AFTER ALL TREES, SHRUBS AND GROUNDCOVERS HAVE BEEN PLANTED AND AFTER PRE EMERGENT HAS BEEN APPLIED. EXCLUDE MULCH IN TURF & HYDROSEED AREAS. NO MULCH SHALL BE PLACED WITHIN A 3" CLEAR BAND AROUND TRUNK OF ALL TREES. NO MULCH SHALL BE USED IN BIO-RETENTION BASINS-REFER TO CIVIL DNGS. FOR SOIL TYPE.

IRRIGATION/MWELO DESIGN NOTE

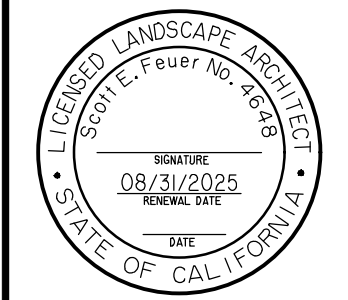
A FULLY-AUTOMATIC, HYDROZONED IRRIGATION SYSTEM DESIGN COMPLIANT WITH THE CITY OF MENLO PARK'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) REQUIREMENTS SHALL BE PROVIDED DURING THE BUILDING PERMIT APPROVAL PROCESS.

REVISIONS	BY



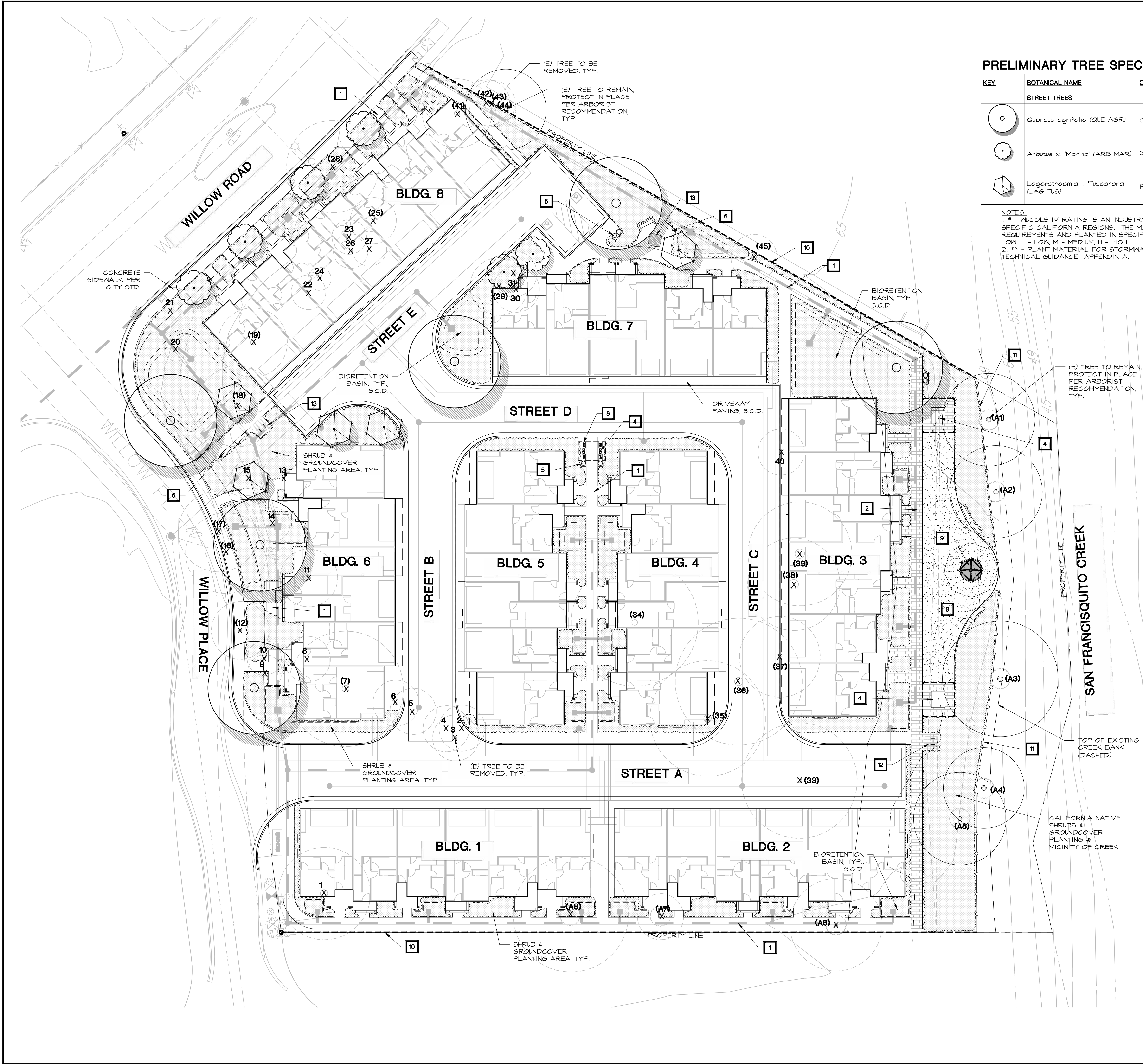
NOTES, LEGENDS & SCHEDULES
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 Menlo Park, California

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PRELIMINARY TREE SPECIES KEY								
KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING	QTY.	WUCOLS*	SIZE • PLANTING	MATURE SIZE
	STREET TREES							
	<i>Quercus agrifolia</i> (QUE AGR)	Coast Live Oak	36" BOX -STD.	SEE PLANS	6	VL	TBD	40' H x 40' W
	<i>Arbutus x. Marina</i> (ARB MAR)	Strawberry Tree	15 GAL -STD.	SEE PLANS	6	L	TBD	25' H x 10' W
	<i>Lagerstroemia l. 'Tuscarora'</i> (LAS TUS)	Pink Grape Myrtle	24" BOX -STD.	SEE PLANS	5	L	TBD	22' H x 15' W

NOTES:
1. * - WUCOLS IV RATING IS AN INDUSTRY STANDARD FOR IRRIGATION WATER NEEDS OF LANDSCAPE PLANTINGS IN SPECIFIC CALIFORNIA REGIONS. THE MAJORITY OF PLANTS FOR THIS REGION ARE VERY LOW (VL) TO Medium (M) WATER REQUIREMENTS AND PLANTED IN SPECIFIC HYDROZONES. ABBREVIATIONS FOR WUCOLS WATER NEEDS ARE: VL - VERY LOW, L - LOW, M - MEDIUM, H - HIGH.
2. ** - PLANT MATERIAL FOR STORMWATER TREATMENT PLANTERS PER SAN MATEO COUNTY'S "C.3 STORM WATER TECHNICAL GUIDANCE" APPENDIX A.

PRELIMINARY MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	DETAIL/SHEET
	CONCRETE PAVING INTEGRAL COLOR: NO COLOR	1 L-3
	PERMEABLE CONCRETE UNIT PAVERS	2 L-3
	SYNTHETIC TURF	
	WOOD & STEEL TRELLIS 4'-0" OVERALL HT., DOWN LIGHTING MOUNTED @ BEAMS	3 L-3
	TRASH & RECYCLING RECEPTACLES	8 L-3
	BENCH	11 L-3
	BOLLARD LIGHT	7 L-3
	CLUSTER MAILBOXES BOXES:	13 L-3
	PLAY STRUCTURE 5-12 YEAR OLD	9 L-3
	6 FT. HT. SOLID WOOD FENCE:	6 L-3
	6 FT. HT. MESH VIEW FENCE (@ CREEK):	5 L-3
	BIKE RACKS: (4) TOTAL (8 PARKING SPOTS)	10 L-3
	SEATING NOOK: CONTEMPORARY BOX SEAT, BENCHES & DECOMPOSED GRANITE PAVING	4 L-3

NOTES:
1. CONTRACTOR TO CONFIRM ALL COLORS & FINISHES W/ OWNER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE PAINT & STAIN FINISH SAMPLES FOR REVIEW & APPROVAL.
2. PAINT FINISHES TO HAVE 1 COAT OF PRIMER & 2 COATS OF PAINT TYP.

IRRIGATION/MWEO DESIGN NOTE

A FULLY-AUTOMATIC, HYDROZONED IRRIGATION SYSTEM DESIGN COMPLIANT WITH THE CITY OF MENLO PARK'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) REQUIREMENTS, SHALL BE PROVIDED DURING THE BUILDING PERMIT APPROVAL PROCESS.

PROTECTED HERITAGE TREES

PROTECTED HERITAGE TREES ARE IDENTIFIED ON THIS SHEET W/ THE ARBORIST TREE # IN PARENTHESES, EX: (25). SEE SHEET L-1 FOR MORE INFO. ON EXISTING TREES.

REVISIONS

BY

ENVIRONMENTAL
FORESIGHT, INC.
Landscape Architecture
2065 N. Broadway, Suite 203
Walnut Creek, CA 94596
T (925) 945-0300
www.environmentalforesight.com

PRELIMINARY LANDSCAPE PLAN

Willow Road Townhomes

68 Willow Road

Menlo Park, California

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16 TENANT DOORS & 2 PARCEL LOCKERS (M' ON PLANS)
MODEL: '16 DOOR FLORENCE CLUSTER MAILBOX CBU'
COLOR: 'BRONZE'
DIMENSIONS: 62"H X 30-1/2"W X 17-7/8" DEEP USPS APPROVED

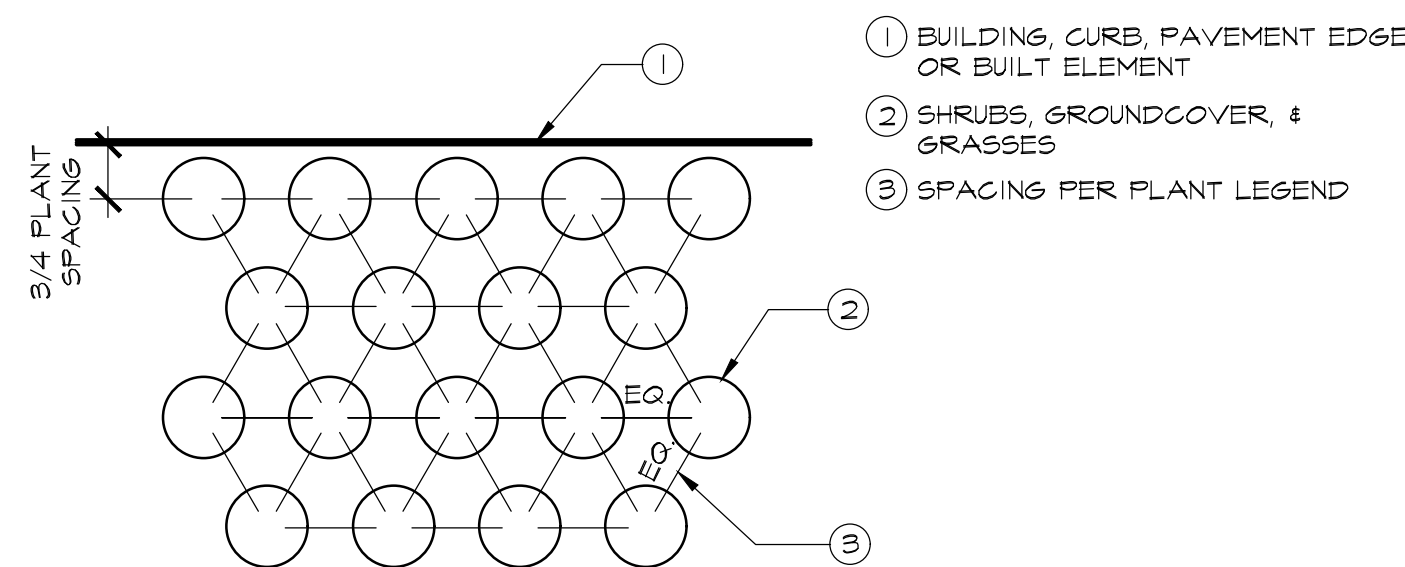


4 DOOR PARCEL LOCKER (P' ON PLANS)
MODEL: '8 DOOR UNIT CBU MAILBOX'
COLOR: 'BRONZE'
DIMENSIONS: 62"H X 30-1/2"W X 17-7/8" DEEP USPS APPROVED
MOUNTING EXPANSION ANCHOR BOLTS PER MANU.
MANU.: HILTI (AVAIL. WWW.HILTI.COM)
TYPE: Kwik Bolt II (GALV.)
SIZE: 1/2" DIA. X 5-1/2" LONG
EMBED.: MIN. 3-1/2"
INSTALL. W/ RUBBER PAD BELOW PLATE PER MANU.
MOUNT TO 5" THICK CONCRETE PAD

NOTES:
1. MOUNT/INSTALL TO CONCRETE PAD PER MANUFACTURER'S SPECIFICATIONS.
2. REFER TO LAYOUT PLANS FOR QUANTITY AND LOCATIONS.
3. CLUSTER MAILBOX UNITS AND PARCEL LOCKER UNITS AVAILABLE AT CUSTOM HOME ACCESSORIES (800) 265-0041 OR WWW.STORE.MAILBOXES.INFO

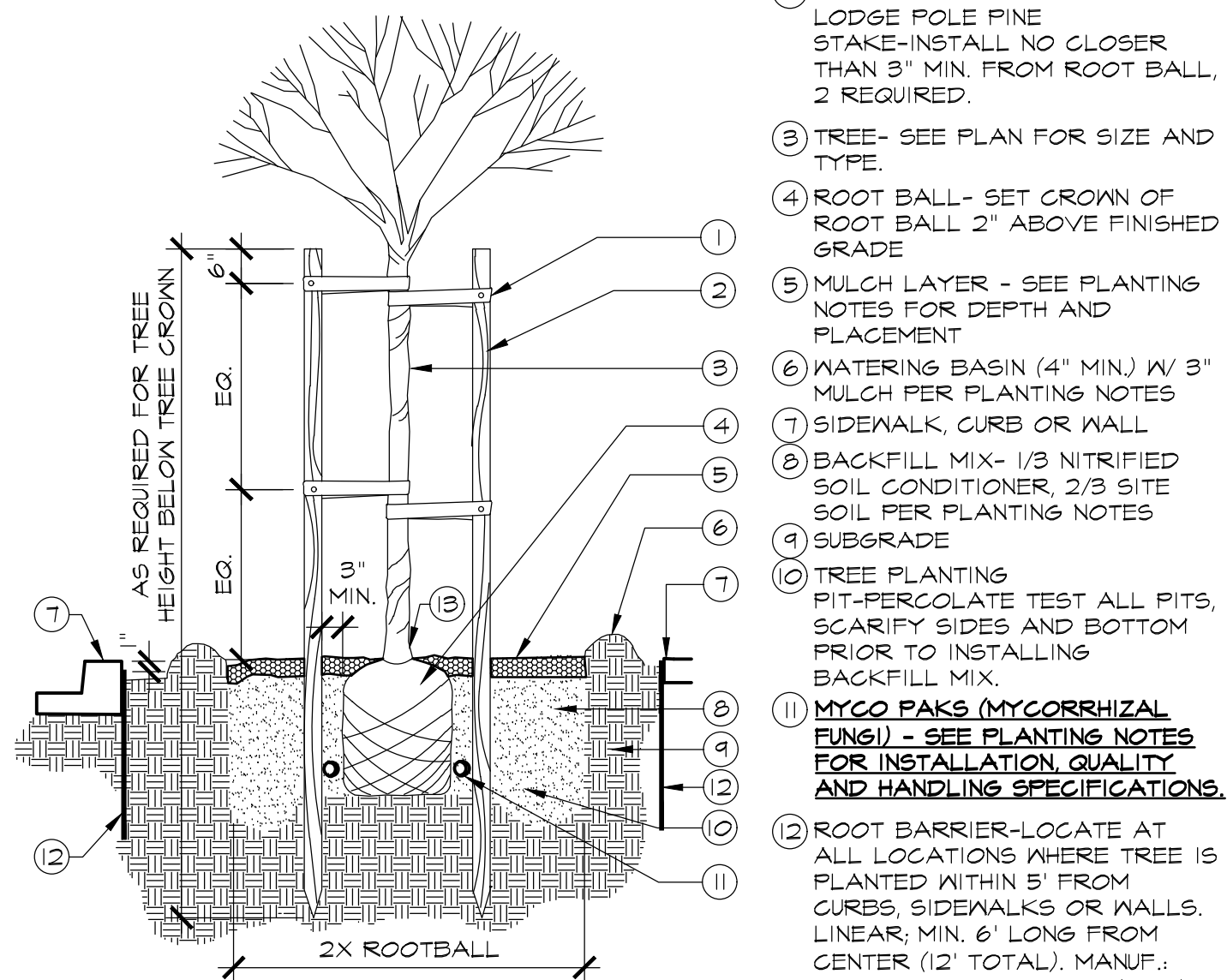
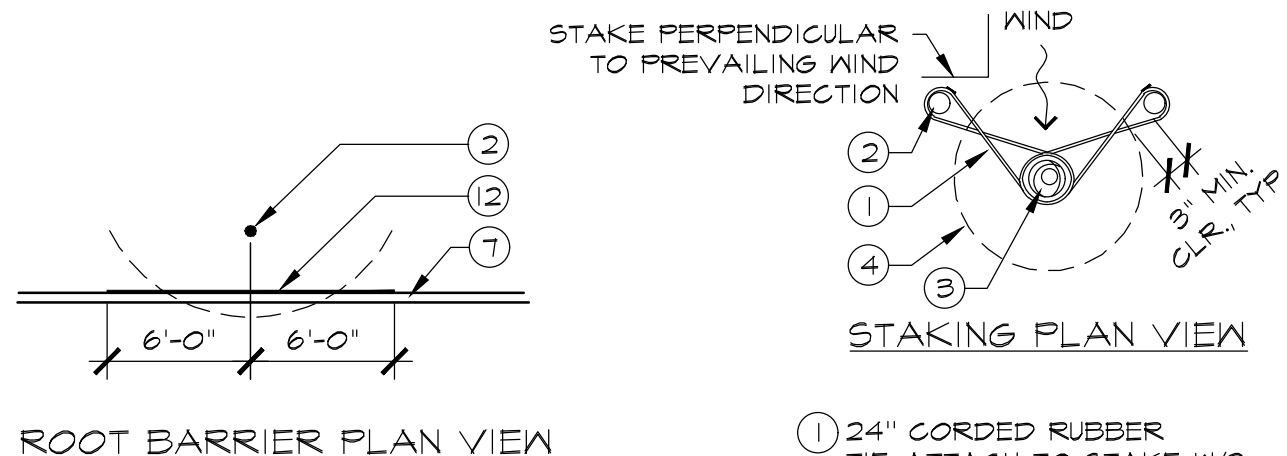
13 CLUSTER MAILBOXES

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14 PLANT SPACING/LAYOUT

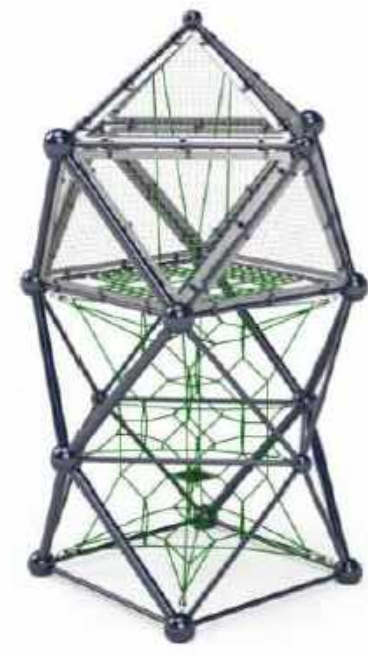
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NOTES:
1. SEE PLANTING NOTES AND/OR SPECIFICATIONS FOR ADDITIONAL INFORMATION.

15 TREE PLANTING WITH ROOT BARRIER

SCALE: N.T.S.
1/1 DT-Tree-Green01.dwg



BENCH:
MANU.: PLAY AND PARK STRUCTURES.
SEE MATERIAL SCHED. FOR INFO.

9 PLAY STRUCTURE (5-12 YR)

1/1
DTI-PlayStruct.dwg
SCALE: NTS



BIKE RACK:
MANU.: DERO
SEE MATERIAL SCHED. FOR INFO.

10 BIKE RACK

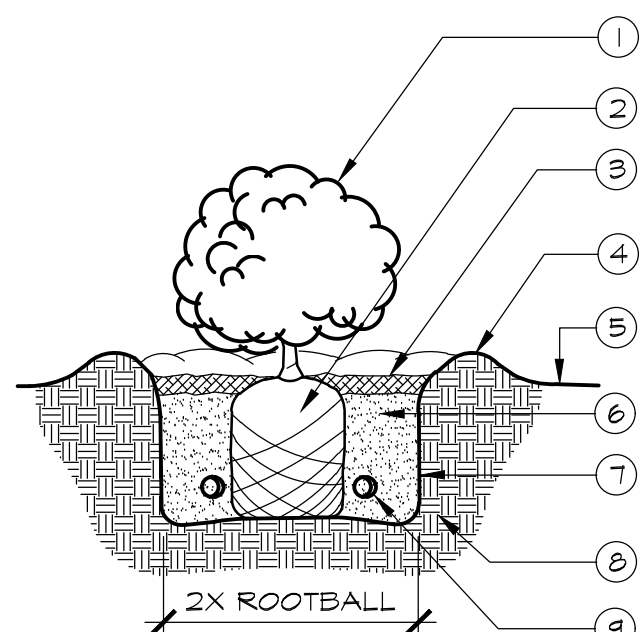
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BENCH:
MANU.: FORMS+SURFACES
SEE MATERIAL SCHED. FOR INFO.

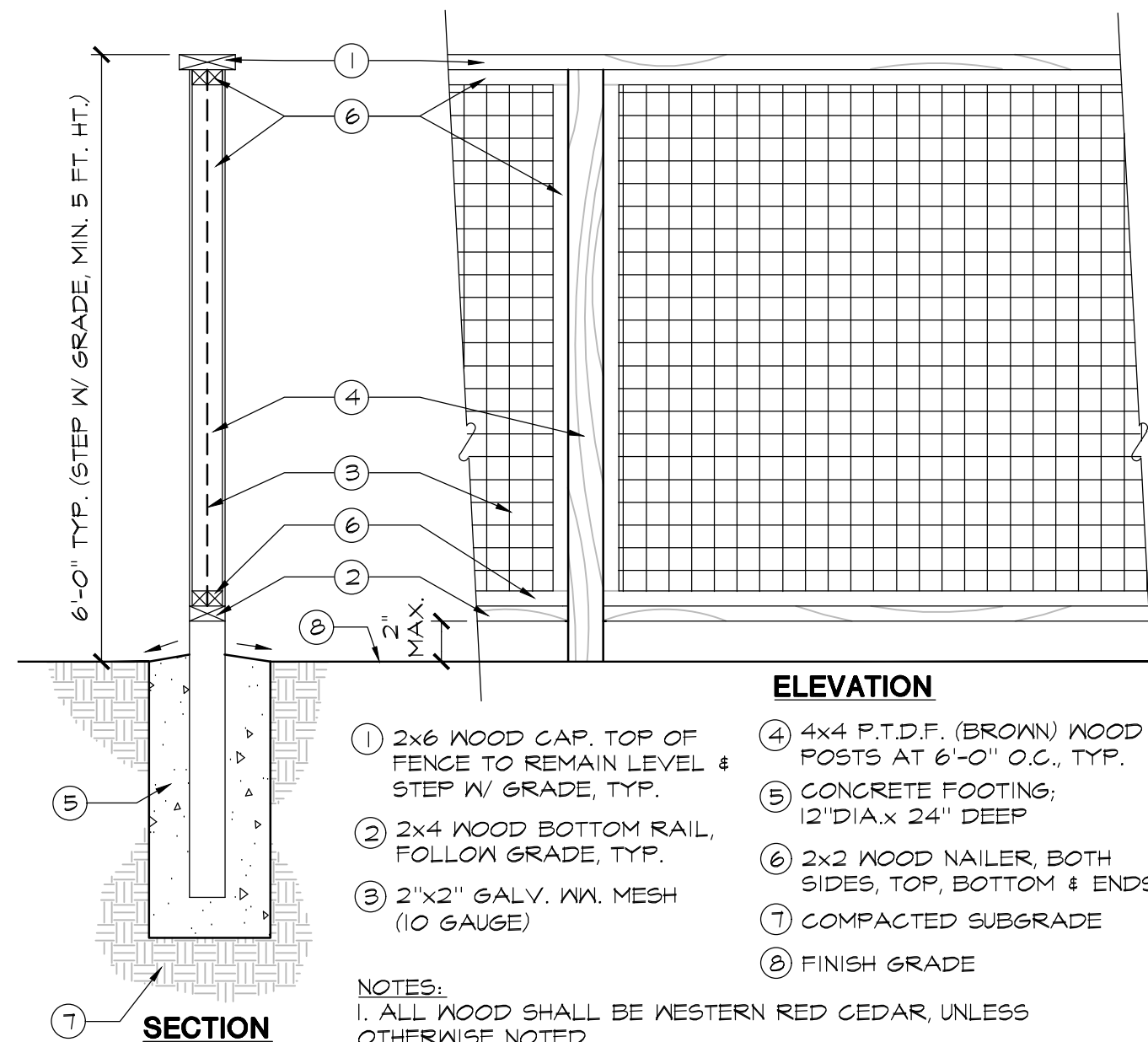
11 BENCH

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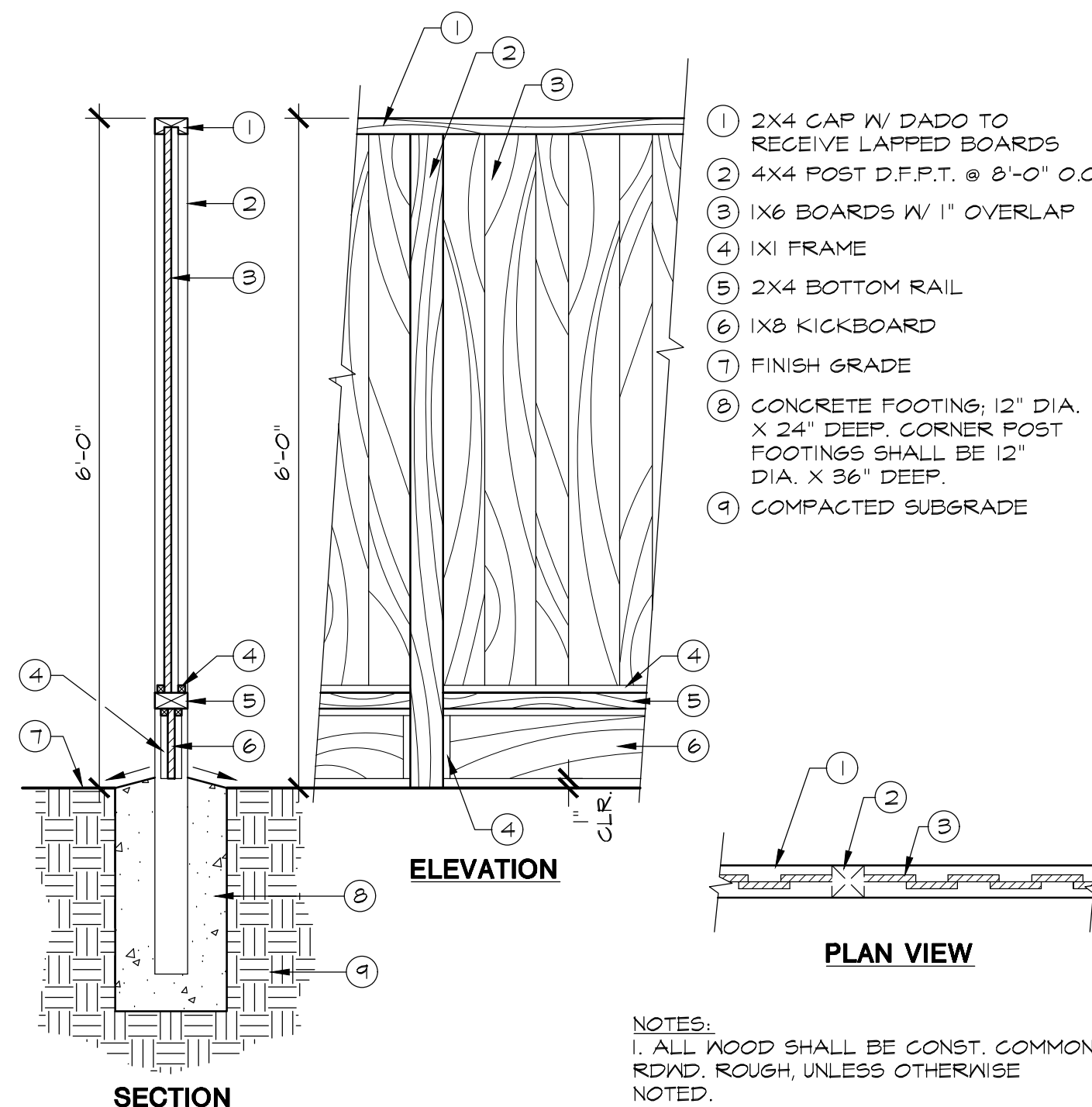
12 SHRUB PLANTING

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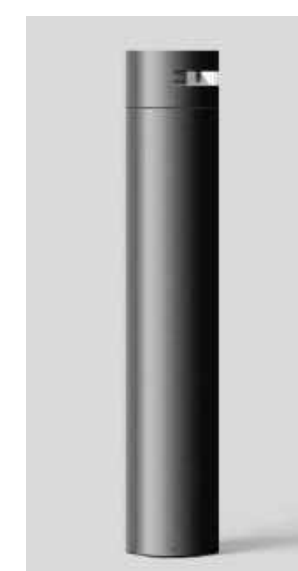
5 6' HT. VEW FENCE

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1/16 DT-FenWire01.dwg



6 6'-0" HT. SOLID WOOD FENCE 1x6 BOARD ON BOARD

SCALE: 3/4" = 1'-0"
1/16 DT-FenWood01.dwg



BOLLARD:
MANU.: BEGA
SEE MATERIAL SCHED. FOR INFO.

7 BOLLARD LIGHT

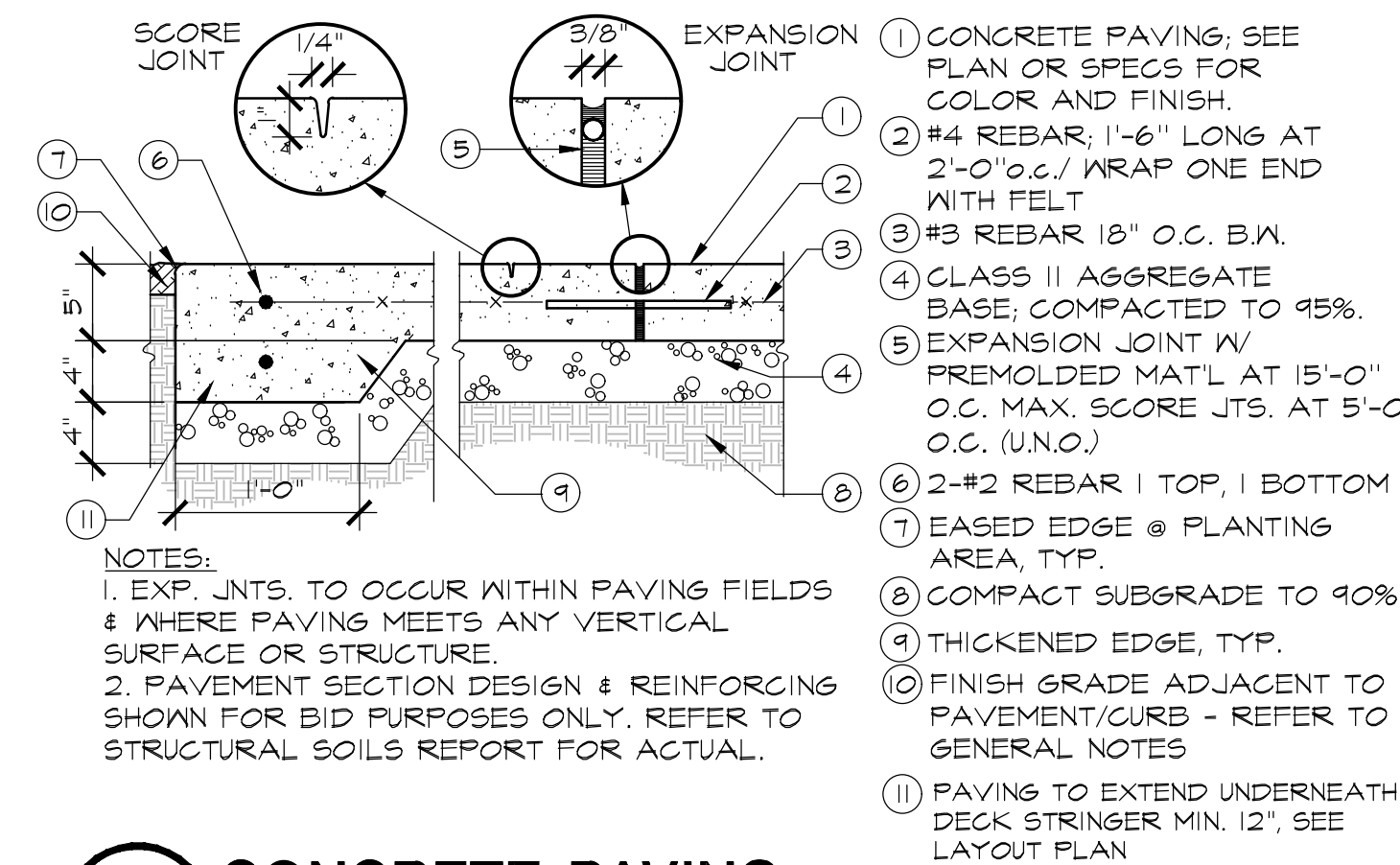
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TRASH & RECYCLING RECEPTACLES:
MANU.: FORMS+SURFACES
SEE MATERIAL SCHED. FOR INFO.

8 TRASH/RECYCLING RECEPTACLE

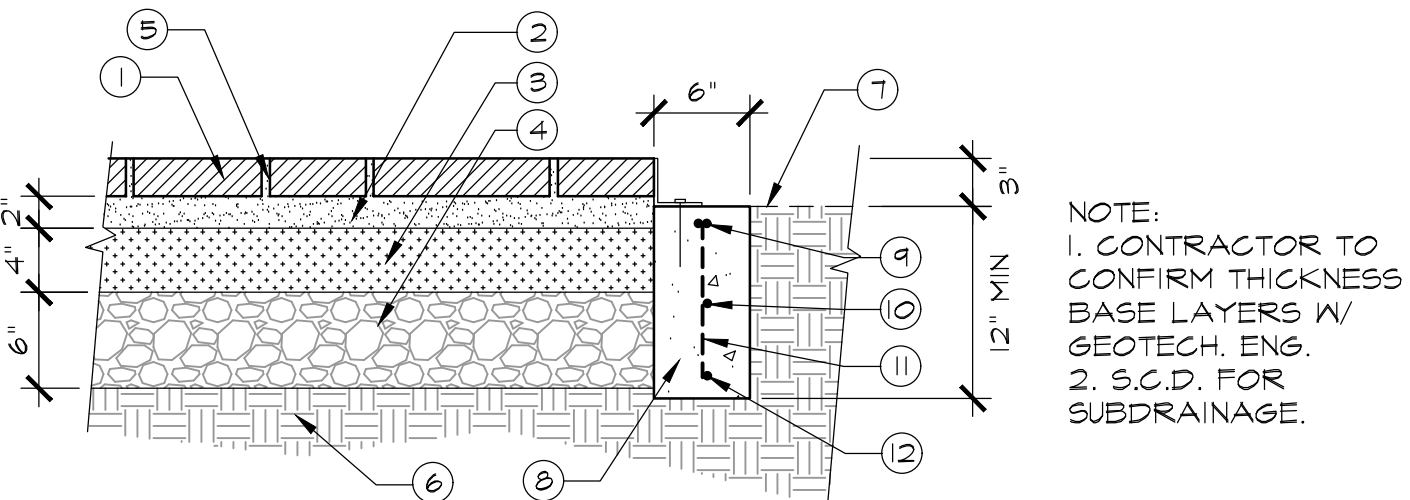
SCALE: NTS



1 CONCRETE PAVING (PEDESTRIAN)

SCALE: 1" = 1'-0"
1/12 DT-PavConc02.dwg

- 1 PERMEABLE PRECAST CONCRETE PAVERS: MANUFACTURER, TYPE, COLOR, SEE MATERIAL SCHED.
2 TYPE #8 BEDDING COURSE (3/8" CRUSHED)
3 TYPE #57 STONE OPEN GRADED BASE (3/4" CRUSHED)
4 TYPE #2 STONE SUBBASE (2-1/2" CRUSHED)
5 BUTT JNTS., TYP.
6 SUBGRADE COMPACTED TO 90%
7 FINISH GRADE/PLANTING AREA
- 8 CONCRETE PAVER EDGE RESTRAINT @ PLANTING AREAS ONLY: 1/4"x3"x3" STEEL L BAR ATTACHED TO CONCRETE BASE, PAINT BLACK. (1) #4 REBAR, CONTINUOUS, CENTERED IN BASE. SEE LAYOUT PLAN FOR LOCATIONS.
9 (2) #4 BAR @ TOP CONTIN.
10 #4 BAR @ 18" O.C. WHR HT. > 18"
11 #4 BAR @ 18" O.C. VERT. CNTRD.
12 #4 BAR @ BOT. CONTIN.



2 PERMEABLE CONC. PAVERS PEDESTRIAN

SCALE: 1" = 1'-0"
1/12 DT-PavPrecast-conc. edge.dwg



WOOD & STEEL TRELLIS:
SEE MATERIAL SCHED. FOR INFO.

3 WOOD & STEEL TRELLIS

SCALE: NTS
1/1 DTI-Trellis.dwg



BOX SEAT:
MANU.: LANDSCAPE FORMS
SEE MATERIAL SCHED. FOR INFO.

4 BOX SEAT

SCALE: NTS
1/1 DTI-Bench.dwg

REVISIONS	BY

ENVIRONMENTAL
FORESIGHT, INC.
Landscape Architecture
2055 N. Broadway, Suite 203
Walnut Creek, CA 94596
T (925) 945-0300
www.environmentalforesight.com

CONCEPTUAL LANDSCAPE DETAILS
Willow Road Townhomes
68 Willow Road
Menlo Park, California

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Scale: AS SHOWN
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Date: 07/19/24
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