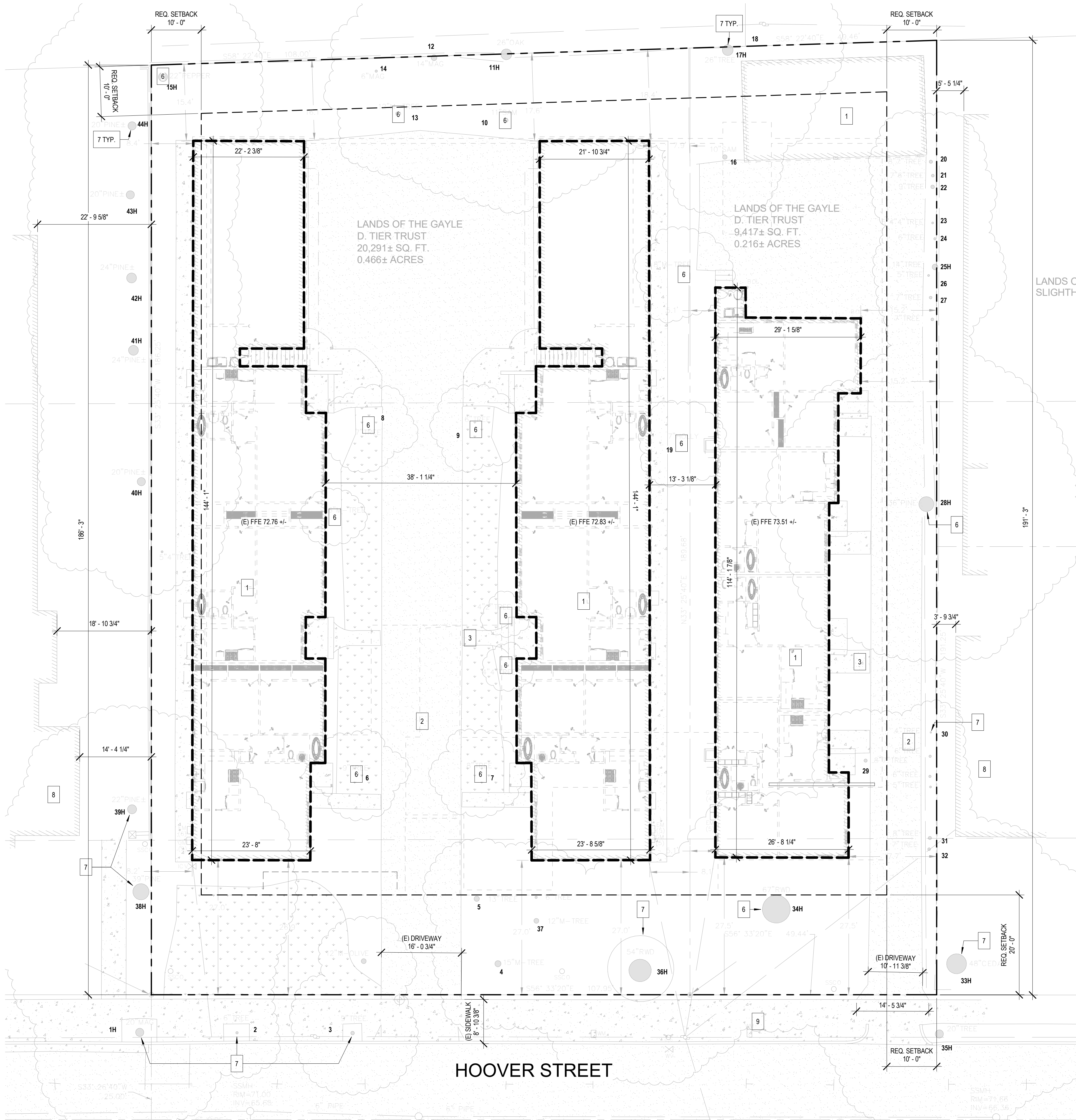




1 SITE PLAN DEMO
3/32" = 1'-0"

- GENERAL NOTES
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED IN THIS PLAN.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.
 - CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESOLUTION FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
 - THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.
 - LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED. EXACT LOCATION OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROJECT ALL EXISTING UTILITIES IN PLACE.
 - CONTRACTOR TO CAP EXISTING WATER LINES AT THE PROPERTY LINE FOR FUTURE USE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH AN PROVIDE TO ENGINEER.
 - CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SIDEWALK; UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION.
 - CONTRACTOR SHALL FOLLOW ALL JURISDICTION AIR QUALITY AND WASTER/RECYCLING REQUIREMENTS.
 - SEE CIVIL DRAWINGS FOR SCOPE OF WORK NOT SHOWN.

- SHEET NOTES
- DEMON AND REMOVE (E) BUILDING AND FOUNDATION
 - DEMO AND REMOVE (E) ON SITE ASPHALT PAVEMENT
 - DEMO AND REMOVE (E) ON SITE CONCRETE
 - DEMO AND REMOVE (E) CURBS AND LANDSCAPING
 - DEMON AND REMOVE (E) FENCE
 - REMOVE (E) TREE, S.L.D. & ARBORIST REPORT
 - PROTECT (E) TREES, S.L.D. & ARBORIST REPORT
 - PROTECT NEIGHBORING BUILDING, LANDSCAPE, AND IRRIGATION, TYPICAL THROUGHOUT
 - SEE CIVIL DRAWINGS FOR SCOPE OF WORK OUTSIDE PROPERTY LINES

SITE ANALYSIS

LOT SIZE 29,708 +/- SF, 0.682 +/- ACRES

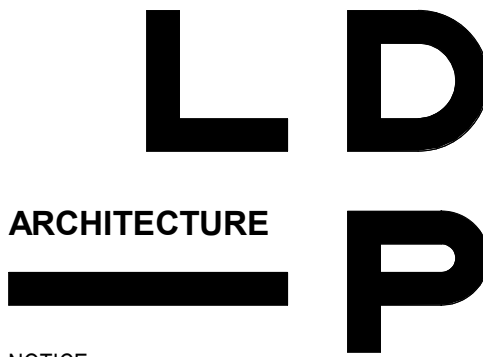
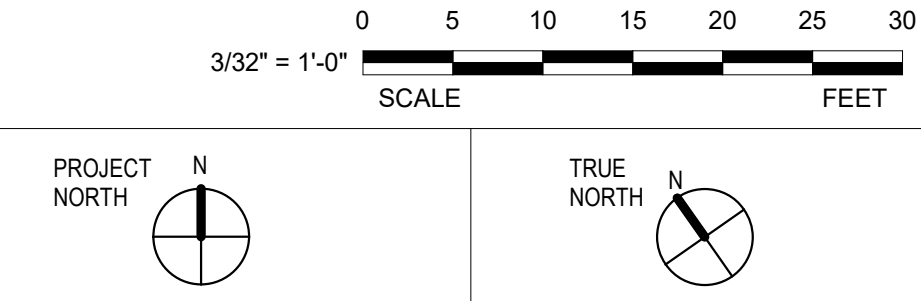
ENCLOSED FLOOR AREA (EXCLUDING COVERED CARPORTS):
3,466 SF
3,466 SF
2,700 SF
729 SF (FREESTANDING GARAGE)
10,361 SF

% LAND COVERED BY STRUCTURES:
10,361 SF / 29,708 +/- SF = 34%

LANDSCAPING 11,562 SF (38.9% OF LOT AREA)
PAVED AREAS 7,785 SF (26.2% OF LOT AREA)

NUMBER OF PARKING SPACES : 12 COVERED SPACES

- LEGEND
- FENCE
 - PROPERTY LINE
 - DEMOLISHED



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1300 HOOVER STREET
MENLO PARK, CA



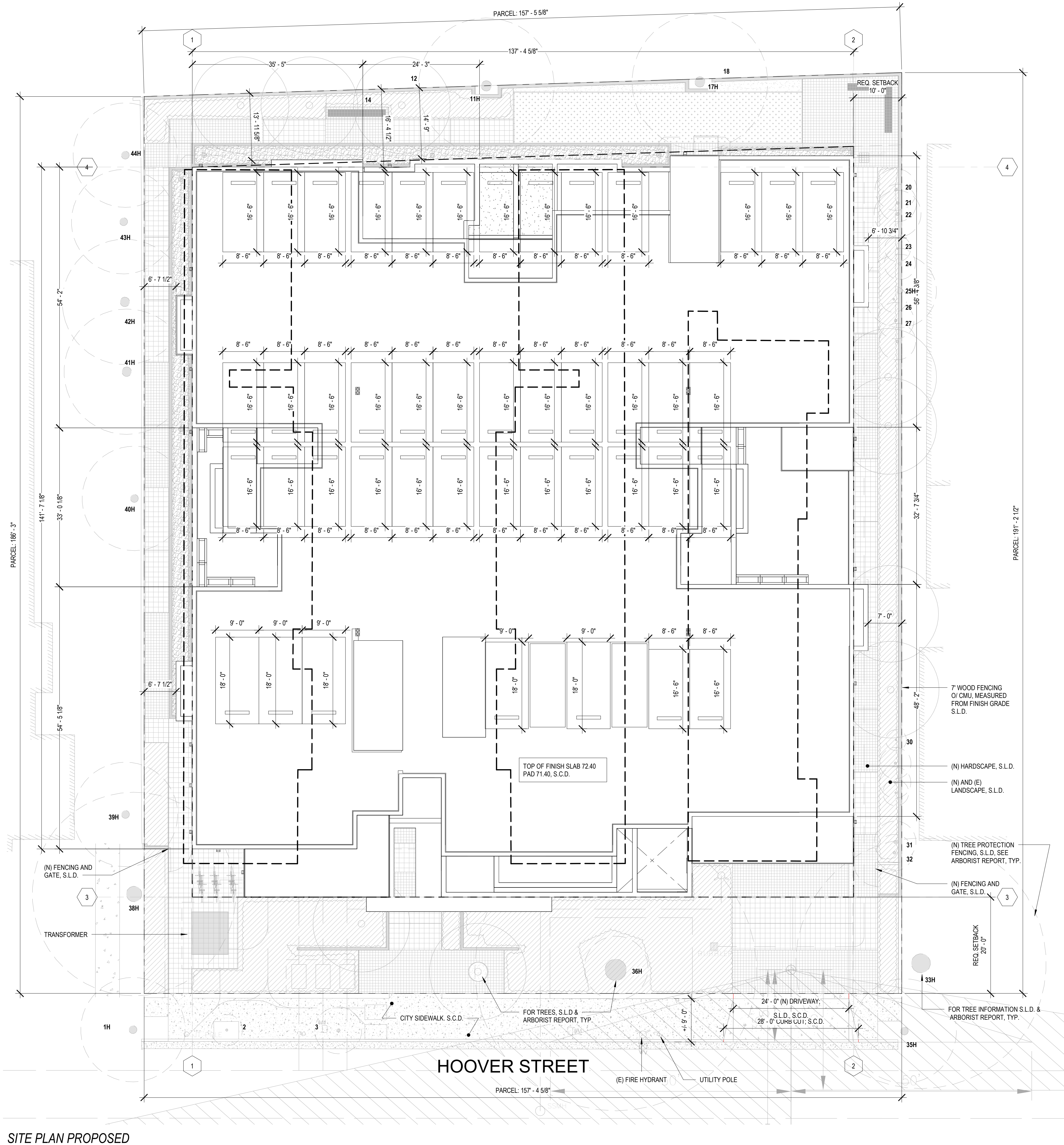
1300 HOOVER STREET
MENLO PARK, CA 94025
PROJECT NO. 25-14

REV	DATE	DESCRIPTION
04-03-2026	SB330	
06-02-2026	SB330	REV 01

CONTACT:
(415) 777-0561 P
SCALE: As indicated

SITE PLAN -
DEMO

A1.00



1 SITE PLAN PROPOSED
3/32" = 1'-0"

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G6 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN.
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS.
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS.
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES.
- SEE A9 SERIES FOR DOOR WINDOW & FINISH SCHEDULES.
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS.
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS.
- SEE A11 SERIES FOR PENETRATION DETAILS (2022 CBC SECTION 714)
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- EXHAUST SHAFTS PENETRATIONS SHALL BE PROTECTED WITH FIRE DAMPERS, S.M.D. (2022 CBC SECTION 713)
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- 5LB. CLASS ABA FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO ANY EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESSED CABINET INSTALLATION DETAIL.

SHEET NOTES

- WASTE ROOM AND GARBAGE ROOM TO ACCOMMODATE THREE WASTE STREAMS OF TRASH, RECYCLING AND COMPOST

SITE ANALYSIS

LOT SIZE 29,708 +/- SF, 0.682 +/- ACRES
PROPOSED FLOOR AREA : 93,088 SF
FLOOR AREA RATIO 313%
44 ASSIGNED PARKING SPACES COVERED, INTERIOR TO BUILDING

SEE LANDSCAPE DRAWINGS FOR MATERIALS & AREAS
PAVED AREA: 4,509 SF / 29,708 SF = 15%
PERMEABLE PAVERS 2,165+2,202 = 4,367SF
DECOMPOSED GRANITE 142 SF

LANDSCAPE AREA: 4,342 SF / 29,708 SF = 14.6%
SYNTHETIC LAWN 636 SF
PLANTING AREA 3,706 SF

BUILDING AREA PER LEVEL	
LEVEL	AREA
LEVEL 01	20,907 SF
LEVEL 02	18,894 SF
LEVEL 03	18,764 SF
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TOTAL	93,263 SF

LEGEND

- NON-OCCUPIABLE ROOF; SEE A8 SERIES
- ROOF SLOPE, MIN. 2%
- PROPERTY LINE
- (E) TREE TO REMAIN
TREE NUMBER, SEE ARBORIST REPORT
##H HERITAGE TREE NUMBER, SEE ARBORIST REPORT
- (N) TREE, S.L.D.

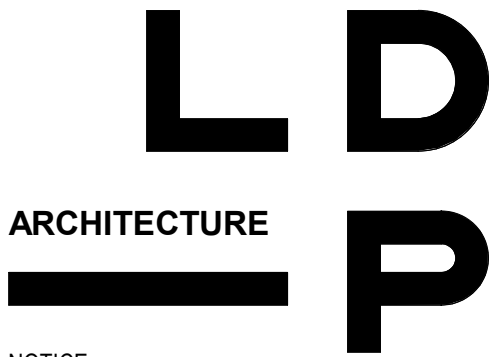
DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
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0 5 10 15 20 25 30
3/32" = 1'-0"
SCALE FEET

PROJECT NORTH

TRUE NORTH



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MENLO PARK, CA



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(415) 777-0561 P
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SITE PLAN -
PROPOSED

A1.01

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REV | DATE | DESCRIPTION

04-03-2026 SB330
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SITE PLAN -
PROPOSED

A1.01A

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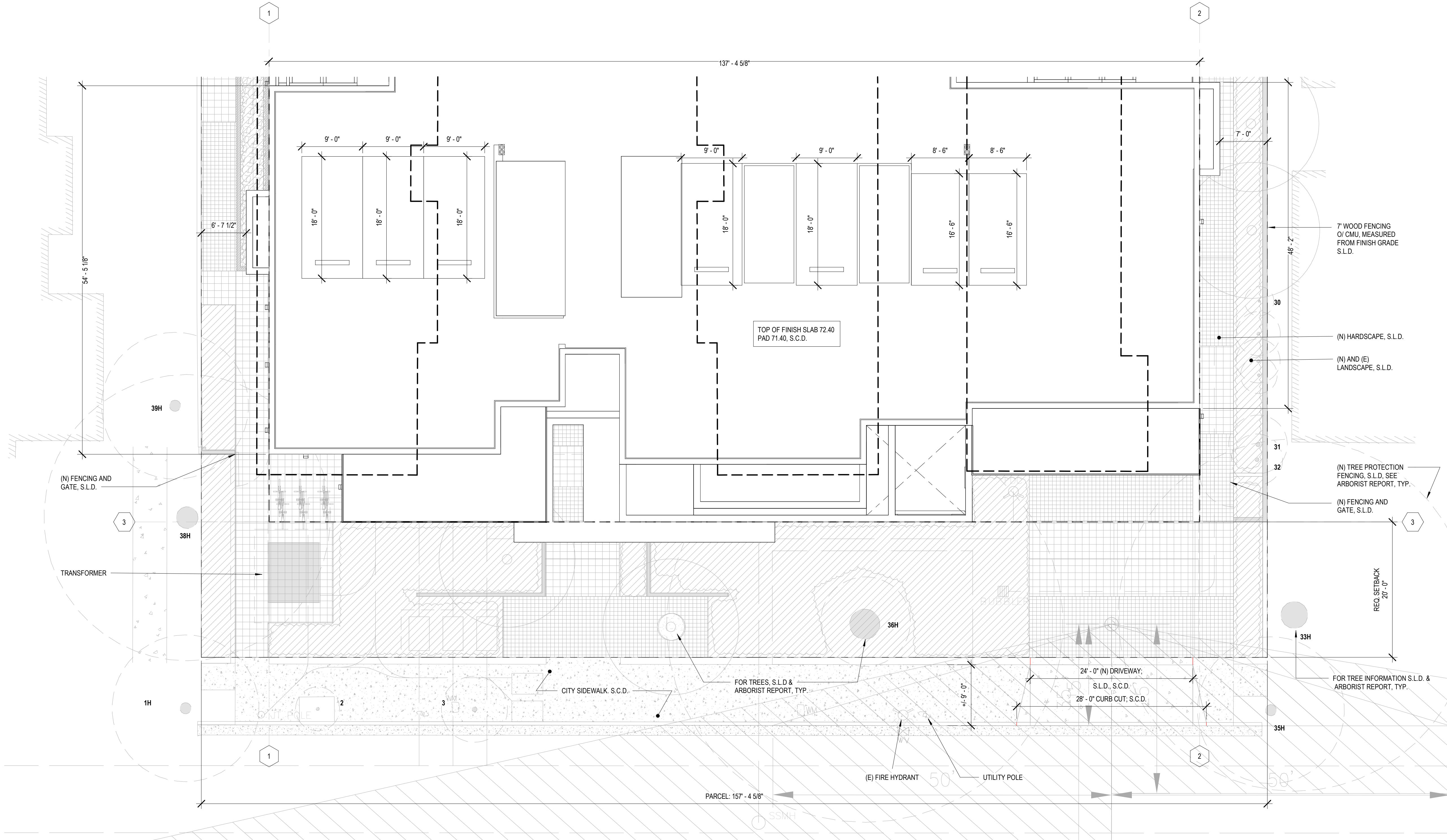
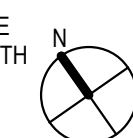
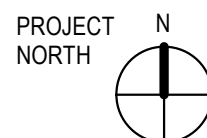
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0 5 10 15 20 25 30
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SCALE FEET





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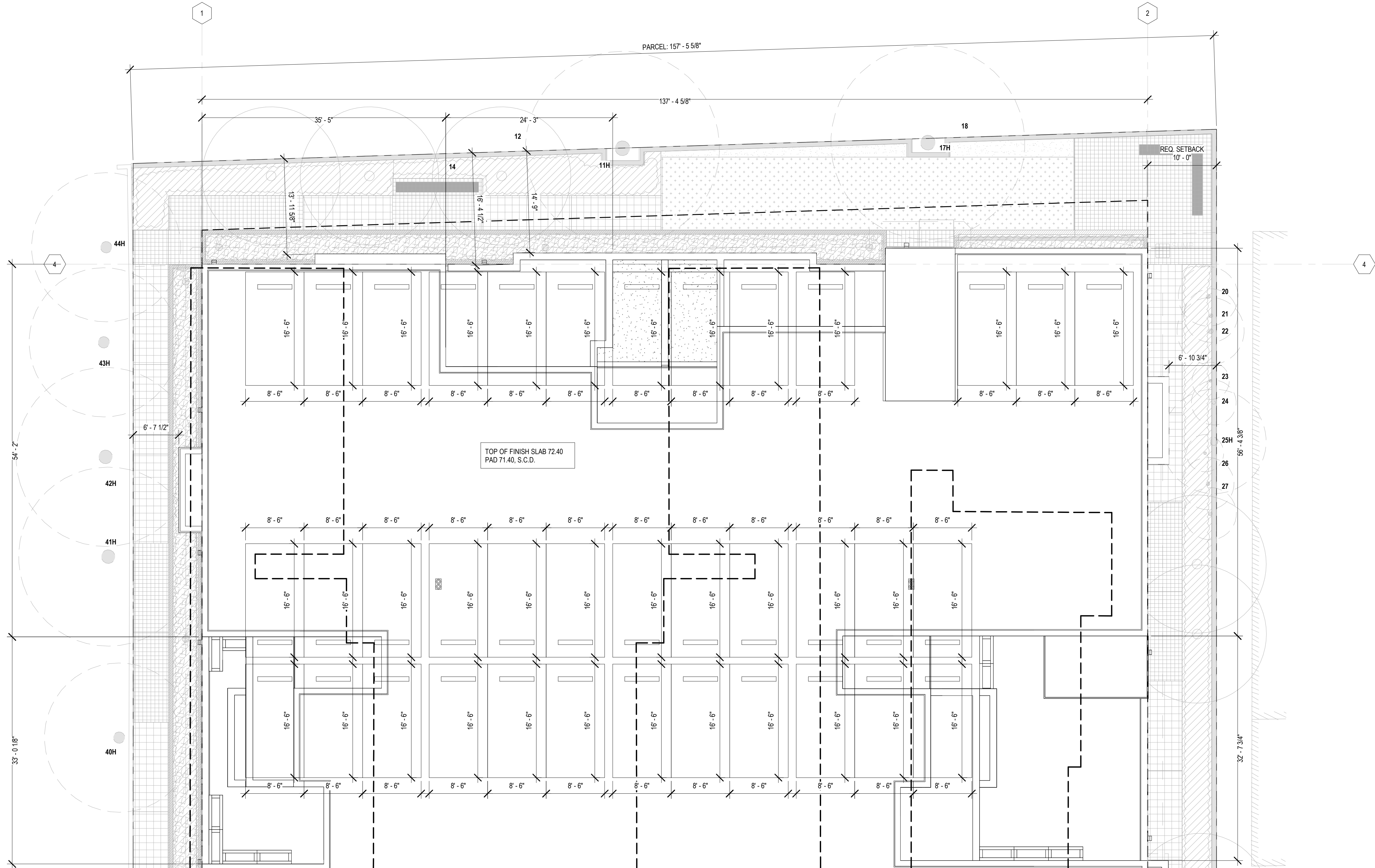
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3/32" = 1'-0"

SCALE

0 5 10 15 20 25 30
FEET



MATERIALS

ALL EXTERIOR STUCCO SHALL BE COMPLETED IN TEXTURES THAT ARE SMOOTH, SANDED, OR FINE SCRAPPED. HEAVY-FIGURING OR ROUGH CAST STUCCO ARE NOT PERMITTED

1A CEMENT PLASTER, 20/30 FINISH, COLOR #1
BENJAMIN MOORE
AMHERST GRAY HC-167

1B CEMENT PLASTER, 20/30 FINISH, COLOR #2
BENJAMIN MOORE
STONE HARBOR Z111-50

1C CEMENT PLASTER, 20/30 FINISH, COLOR #3
BENJAMIN MOORE
COLLINGWOOD OC-28

2 HORIZONTAL FIBER CEMENT BOARD, STEEP CLIFF GRAY 2122-20

3 WOOD LOOK ALUMINUM PANELING, KWILA FINISH

4 WOOD LOOK ALUMINUM 2"x8" BATTEN & BATTEN BRACKET, KWILA FINISH

5 ALASKAN YELLOW CEDAR GLULAM W/ SANSIN AMARETTO 3 COAT

6 TENERIFE CLASSIC SILVER 6X24 SPLITFACE QUARTZITE STACKED STONE TILE

7 METAL ENTRY CANOPY, ALUMINUM COMPOSITE MATERIAL, MEDIUM BRONZE ANODIZED

8 44" TALL VERTICAL METAL RAILING, BRONZE FINISH

9 WIRE MESH, BRONZE FINISH

9A HORIZONTAL LOUVER, BRONZE FINISH

10 ROLL UP GARAGE DOOR, RYTEC SPIRAL VT METAL VENTILATED DOOR, BRONZE COLOR
ROLL UP TRASH DOOR, RYTEC SPIRAL DOOR, BRONZE COLOR

11 ECO WINDOWS & DOORS UPVC, DARK BRONZE (CEYLON C-34 N SMOOTH)

13 STOREFRONT WINDOW & DOORS, COLOR: DARK BRONZE FINISH

17 FENCING AT SIDE & REAR YARDS S.I.D. KWILA WOOD LOOK ALUMINUM

17A FENCING AT SIDE & REAR YARDS TO MATCH(E) CEDAR BOARD-ON-BOARD STYLE O/ CMU BLOCK

18 EXTERIOR WALL LIGHT FIXTURE, BEGA B33816, BRONZE FINISH

19 ALUMINUM COMPOSITE MATERIAL, MEDIUM BRONZE ANODIZED



3D RENDERING



3 VIEW OF WEST AND SOUTH FACADES



2 VIEW OF EAST AND NORTH FACADES

- GENERAL NOTES
1. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

2. ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES, TYP. THROUGHOUT.
- SHEET NOTES
- 1A CEMENT PLASTER, 20/30 FINISH, COLOR #1

1B CEMENT PLASTER, 20/30 FINISH, COLOR #2

1C CEMENT PLASTER, 20/30 FINISH, COLOR #3

2 HORIZONTAL FIBER CEMENT BOARD, STEEP CLIFF GRAY 2122-20

3 WOOD LOOK ALUMINUM PANELING, KWILA FINISH

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5 ALASKAN YELLOW CEDAR GLULAM W/ SANSIN AMARETTO 3 COAT

6 TENERIFE CLASSIC SILVER 6X24 SPLITFACE QUARTZITE STACKED STONE TILE

7 METAL ENTRY CANOPY, ALUMINUM COMPOSITE MEDIUM BRONZE ANODIZED

8 44" TALL VERTICAL METAL RAILING, BRONZE FINISH

9 WIRE MESH, BRONZE FINISH

9A HORIZONTAL LOUVER, BRONZE FINISH

10 ROLL UP GARAGE DOOR & ROLL UP TRASH DOOR

11 ECO WINDOWS & DOORS UPVC, DARK BRONZE

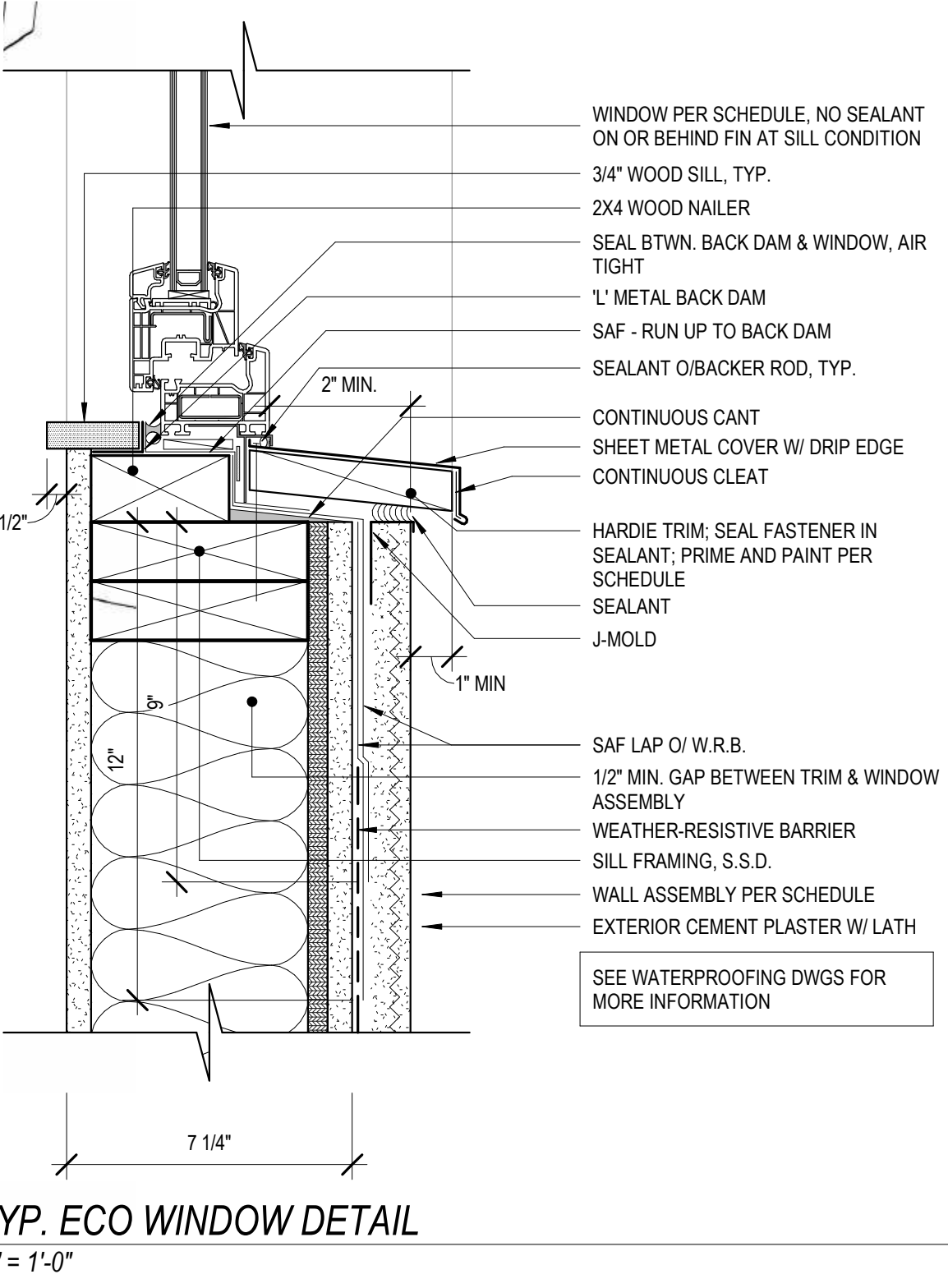
12 STOREFRONT WINDOWS, DARK BRONZE

13 FENCING, KWILA WOOD LOOK AMLUMINUM

17A FENCING, TO MATCH (E) CEDAR BOARD-ON-BOARD STYLE O/ CMU BLOCK

18 EXTERIOR WALL LIGHT FIXTURE, BEGA B33816, BRONZE FINISH

19 ALUMINUM COMPOSITE MATERIAL MEDIUM BRONZE ANODIZED



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REV	DATE	DESCRIPTION
04-03-2026	SB330	
06-02-2026	SB330 REV 01	

CONTACT:
(415) 777-0561 P

SCALE: As indicated

RENDERING



- GENERAL NOTES
1.

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2.

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- SHEET NOTES
- 1A

CEMENT PLASTER, 20/30 FINISH, COLOR #1
- 1B

CEMENT PLASTER, 20/30 FINISH, COLOR #2
- 1C

CEMENT PLASTER, 20/30 FINISH,COLOR #3
- 2

HORIZONTAL FIBER CEMENT BOARD, STEEP CLIFF GRAY 2122-20
- 3

WOOD LOOK ALUMINUM PANELING, KWILA FINISH
- 4

WOOD LOOK ALUMINUM 2"X8" BATTEN & BATTEN BRACKET, KWILA FINISH
- 5

ALASKAN YELLOW CEDAR GLULAM W/ISANSIN AMARETTO 3 COAT
- 6

TENERIFE CLASSIC SILVER 6X24 SPLITFACE QUARTZITE STACKED STONE TILE
- 7

METAL ENTRY CANOPY, ALUMINUM COMPOSITE MEDIUM BRONZE ANODIZED
- 8

44" TALL VERTICAL METAL RAILING, BRONZE FINISH
- 9

WIRE MESH, BRONZE FINISH
- 9A

HORIZONTAL LOUVER, BRONZE FINISH
- 10

ROLL UP GARAGE DOOR & ROLL UP TRASH DOOR
- 11

ECO WINDOWS & DOORS UPVC, DARK BRONZE
- 12

ECO WINDOWS & DOORS UPVC, DARK BRONZE
- 13

STOREFRONT WINDOWS, DARK BRONZE
- 14

STOREFRONT WINDOWS, DARK BRONZE
- 17

FENCING, KWILA WOOD LOOK AMLUMINUM
- 17A

FENCING, TO MATCH (E) CEDAR BOARD-ON-BOARD STYLE O/ CMU BLOCK
- 18

EXTERIOR WALL LIGHT FIXTURE, BEGA B33816, BRONZE FINISH
- 19

ALUMINUM COMPOSITE MATERIAL MEDIUM BRONZE ANODIZED

1300 HOOVER STREET

MENLO PARK, CA



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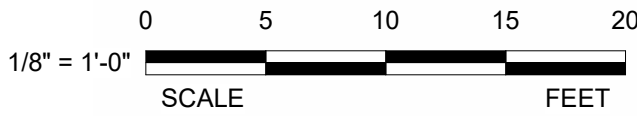
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ELEVATIONS -

BUILDING

EXTERIOR

A3.01



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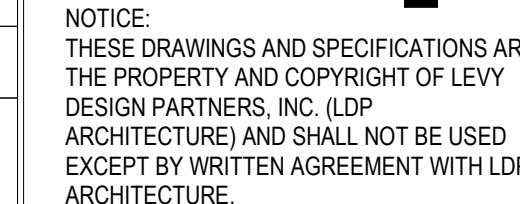
SCALE: As indicated

ELEVATIONS -
BUILDING
EXTERIOR

A3.02

- GENERAL NOTES
- SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
 - ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES, TYP. THROUGHOUT.
- SHEET NOTES
- 1A CEMENT PLASTER, 20/30 FINISH, COLOR #1
 - 1B CEMENT PLASTER, 20/30 FINISH, COLOR #2
 - 1C CEMENT PLASTER, 20/30 FINISH, COLOR #3
 - 2 HORIZONTAL FIBER CEMENT BOARD, STEEP CLIFF GRAY 2122-20
 - 3 WOOD LOOK ALUMINUM PANELING, KWILA FINISH
 - 4 WOOD LOOK ALUMINUM 2"X8" BATTEN & BATTEN BRACKET, KWILA FINISH
 - 5 ALASKAN YELLOW CEDAR GLULAM W/SANSIN AMARETTO 3 COAT
 - 6 TENERIFE CLASSIC SILVER 6X24 SPLITFACE QUARTZITE STACKED STONE TILE
 - 7 METAL ENTRY CANOPY, ALUMINUM COMPOSITE MEDIUM BRONZE ANODIZED
 - 8 44" TALL VERTICAL METAL RAILING, BRONZE FINISH
 - 9 WIRE MESH, BRONZE FINISH
 - 9A HORIZONTAL LOUVER, BRONZE FINISH
 - 10 ROLL UP GARAGE DOOR & ROLL UP TRASH DOOR
 - 11 ECO WINDOWS & DOORS UPVC, DARK BRONZE
 - 12
 - 13 STOREFRONT WINDOWS, DARK BRONZE
 - 14
 - 17 FENCING, KWILA WOOD LOOK AMLUMINUM
 - 17A FENCING, TO MATCH (E) CEDAR BOARD-ON-BOARD STYLE O' CMU BLOCK
 - 18 EXTERIOR WALL LIGHT FIXTURE, BEGA B33816, BRONZE FINISH
 - 19 ALUMINUM COMPOSITE MATERIAL MEDIUM BRONZE ANODIZED





NOTICE:
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1300 HOOVER STREET
MENLO PARK, CA 94025

PROJECT NO. 25-14

REV	DATE	DESCRIPTION
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04-03-2026	SB330
06-02-2026	SB330 REV 01

CONTACT:

(415) 777-0561 F

SCALE: **As indicated**

ELEVATIONS - BUILDING EXTERIOR

A3.03



1 NORTH ELEVATION - REAR
1/8" = 1'-0"

$$1/8'' = 1'-0''$$



- GENERAL NOTES
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ELEVATIONS -
BUILDING
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