

**Development Permit Application: 950 Sherman Ave, Menlo Park**

To,

**Planning and Building Dept.,**

**City of Menlo Park**

**Date: 3/12/26**

The property currently contains an existing single-family home. The proposed project involves rebuilding the home within the same existing footprint.

The scope of work includes:

- Construction of a new foundation
- Replacement of several structural walls
- Partial roof replacement where required
- Removal of structures that were constructed decades ago by previous homeowners without appropriate permits

The existing home is in poor structural condition, and several structural components require replacement or significant repair.

Because the existing building footprint encroaches into current setback requirements, a variance is required to rebuild within the same footprint.

To minimize the extent of the variance request, the project proposes the addition of an ADU and a JADU within the existing layout. If the ADU and JADU proposals are not accepted, additional variances may be required due to the unique constraints of the lot.

---

**Architectural Style, Materials, Colors, and Construction Methods**

The proposed residence will remain a single-story home, consistent with the existing development.

The architectural style will remain Ranch style, as it is currently.

Foundation will be as it was prior to foundation demo - raised foundation. Exterior materials will consist primarily of Siding and Stucco

---

## Basis for Site Layout

The proposed development maintains the existing footprint of the home.

The lot has unique constraints, and rebuilding within the same footprint requires a variance due to the current setback requirements.

---

## Existing and Proposed Uses

Existing Use:

Single-family home

Proposed Use:

Single-family home with:

- One Accessory Dwelling Unit (ADU)
  - One Junior Accessory Dwelling Unit (JADU)
- 

## ADU Justification

The ADU is proposed to reduce the extent of the variance request. Under current regulations, ADUs may be located 4 feet from side and rear property lines, whereas the existing home currently encroaches into the side setbacks.

In addition, the ADU may also be used or rented as an independent dwelling unit, which supports the State's housing goals.

---

## JADU Justification

The JADU is proposed because the existing home previously had a garage that was converted into habitable space.

The existing slab-on-grade area is approximately 17 feet wide, which suggests that it was originally a two-car garage. At some point more than 50 years ago, and not by the current homeowner, this garage appears to have been converted to habitable space.

Therefore, as discussed, this area is proposed to be identified as a two-car garage to JADU conversion.

This approach eliminates the requirement for additional parking for the primary residence, since the conversion of an existing garage to a JADU does not require replacement parking.

Only the ADU will require a parking space, which will be provided.

Due to the unique layout of the lot, additional parking cannot be provided without encroaching into required setbacks.

If the garage-to-JADU conversion is not accepted, a variance request for parking may also be required.

We respectfully request that the reviewing authorities consider the unique constraints of the lot, which are further described in the Variance Request Letter.

---

#### Documentation of Historic Garage Conversion

There is limited documentation available for the garage conversion that occurred more than 50 years ago.

The homeowner contacted San Mateo County Planning & Building Department to obtain any available records. The County responded that the parcel is located within an incorporated city and that any records have already been transferred to the City of Menlo Park.

Additionally, the San Mateo County Assessor's Office indicated that their records only go back to 2007, and they do not have documentation prior to that date.

---

#### Outreach to Neighboring Properties

The homeowner has begun outreach to neighboring properties regarding the variance request.

January 26, 2026

The homeowner spoke with an adjacent neighbor:

Ron Linch  
1990 Santa Cruz Avenue

Mr. Linch was informed that a variance request would be submitted and that the City may contact nearby property owners during the review process. He appreciated the outreach and expressed support for the request.

The homeowner has also reached out to a neighbor across the street and is awaiting a response. Contact information is being gathered for additional neighbors who have recently moved into the area.

February 8, 2026

The homeowner reported that they have spoken with or exchanged emails with seven neighbors, including the adjacent neighbor. All have expressed strong support for the request.

The homeowner is continuing outreach to additional neighbors and will attempt to contact remaining neighbors in person if necessary.

---

Closing

We are enclosing a full plan set along with the application.

Please let us know if any additional information is required.

Sincerely,

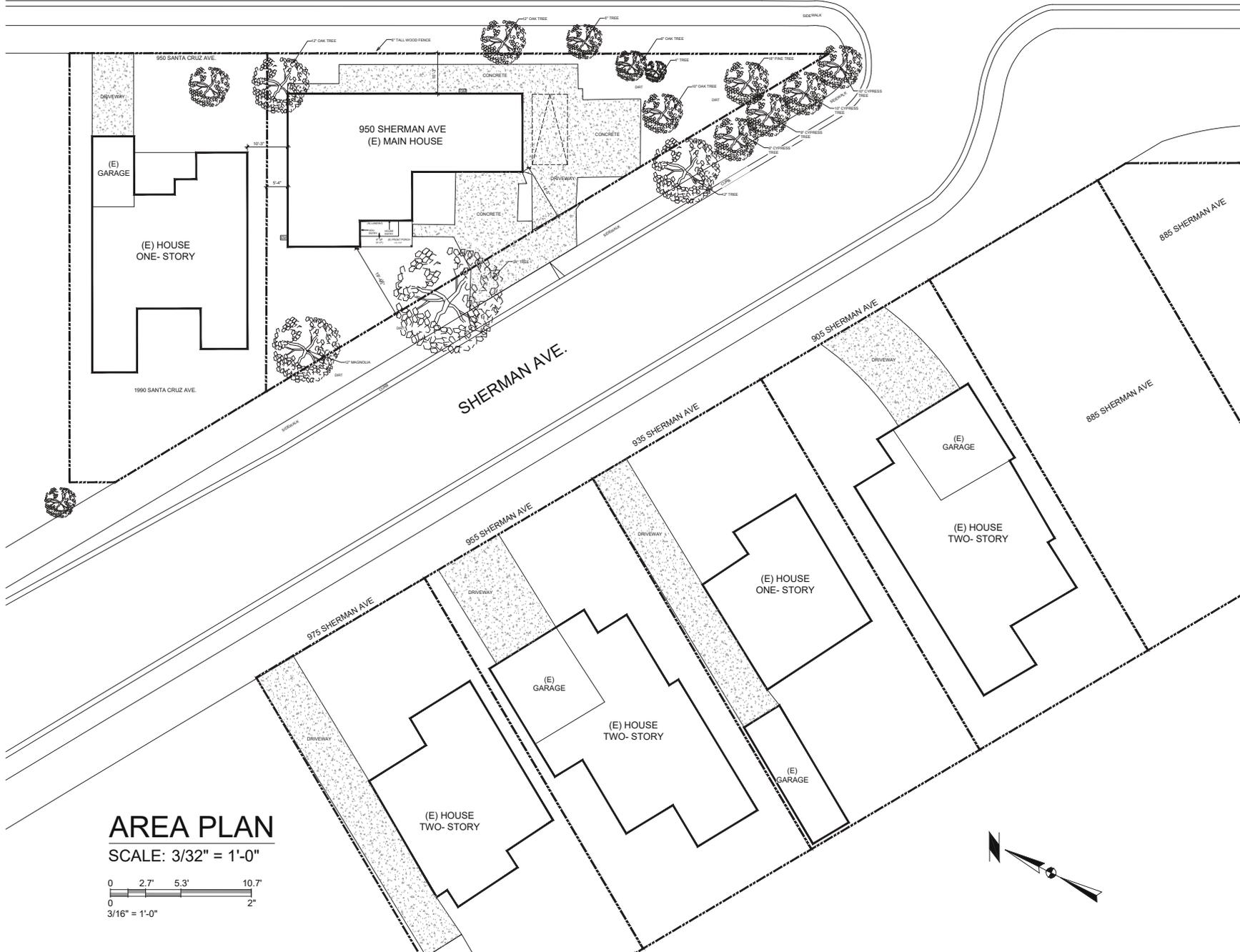
Ashutosh Gupta, AIA

OR Homes

[contact@orhomes.us](mailto:contact@orhomes.us)

408.357.3043

SANTA CRUZ AVE.



**AREA PLAN**

SCALE: 3/32" = 1'-0"



Firm Name and Contact :



Architecture | Home Designs

www.orphomes.us  
contact@orphomes.us  
408.357.3043

**RESIDENCE  
REMODEL**

**PROJECT ADDRESS:**  
FENTON RESIDENCE REMODEL  
950 SHERMAN AVE, MENLO  
PARK, CA 94025

No.	Date	Revision

Design Manager:  
Shweta Singh



All ideas, designs and plans indicated or represented by this set are owned by and remain the property of OpenRemodel. No part shall be used or distributed to anyone without permission of the Company.

Title  
**AREA PLAN**

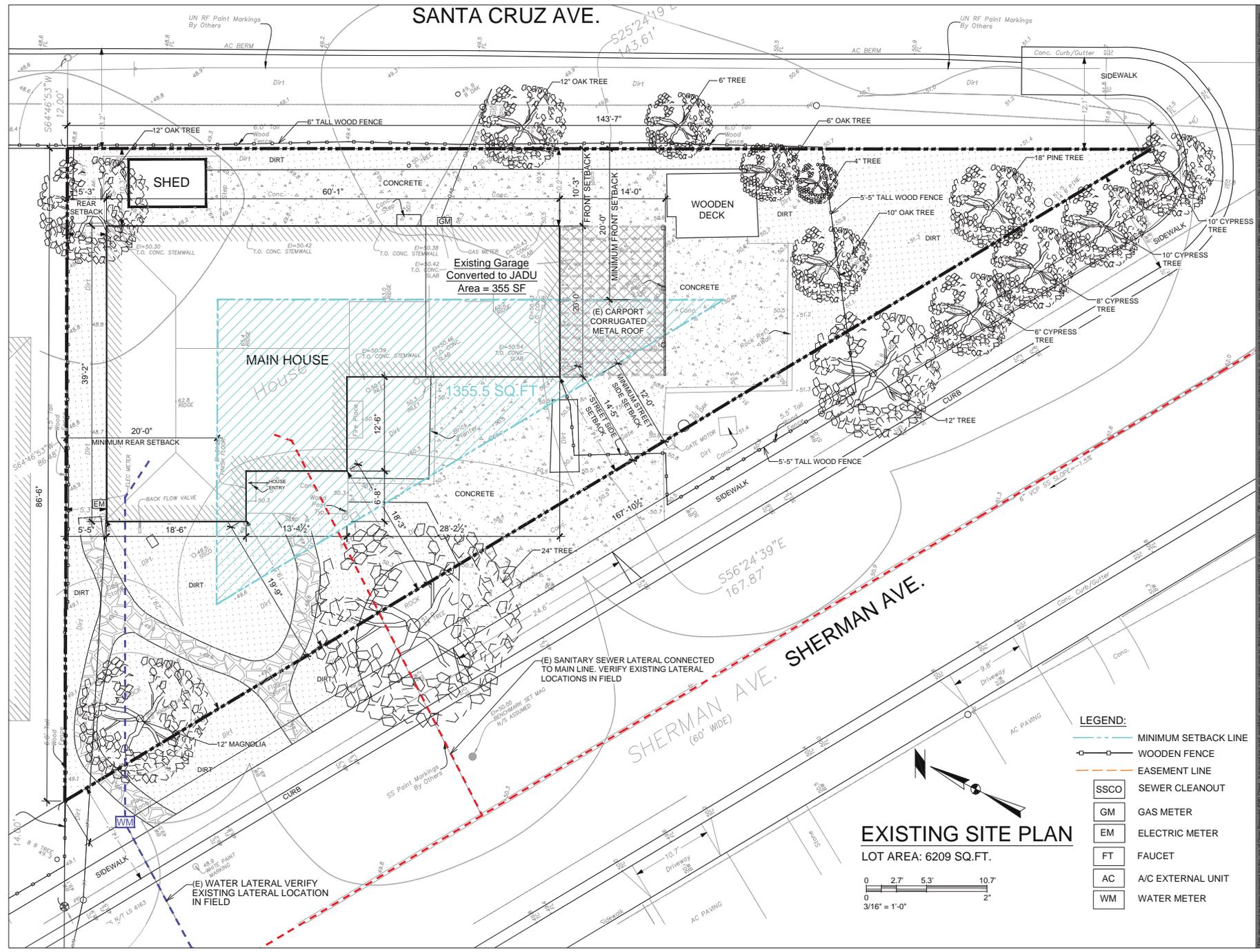
Date  
10.22.25

Scale  
AS SHOWN

Drawing No.

**A1.2**

SANTA CRUZ AVE.

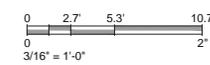


**LEGEND:**

- MINIMUM SETBACK LINE
- WOODEN FENCE
- EASEMENT LINE
- SESCO SEWER CLEANOUT
- GAS METER
- ELECTRIC METER
- FAUCET
- A/C EXTERNAL UNIT
- WATER METER

**EXISTING SITE PLAN**

LOT AREA: 6209 SQ.FT.



Firm Name and Contact :



Architecture | Home Designs  
 www.orphomes.us  
 contact@orphomes.us  
 408.357.3043

**RESIDENCE REMODEL**

**PROJECT ADDRESS:**  
 FENTON RESIDENCE REMODEL  
 950 SHERMAN AVE, MENLO PARK, CA 94025

No.	Date	Revision

Design Manager:  
 Shweta Singh

All ideas, designs and plans indicated or represented by this set are owned by and remain the property of OpenRemodel. No part shall be used or distributed to anyone without permission of the Company.

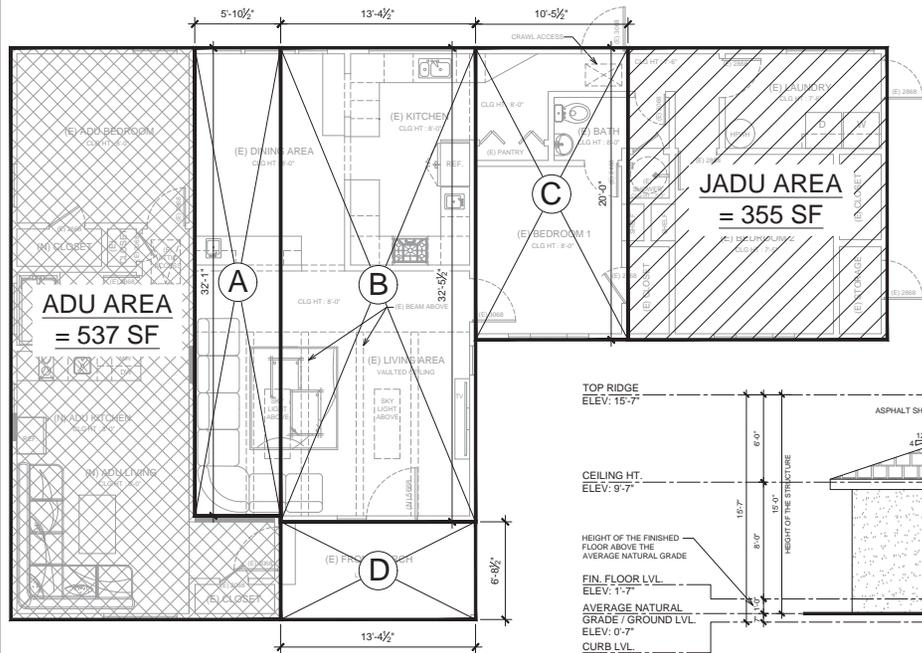
Title  
 EXISTING SITE PLAN

Date  
 10.22.25  
 Scale  
 AS SHOWN  
 Drawing No.

**A1.3**







**LOT COVERAGE CALCULATION**

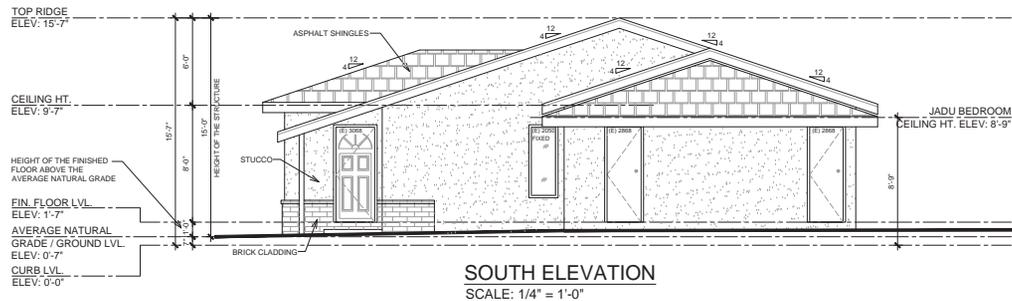
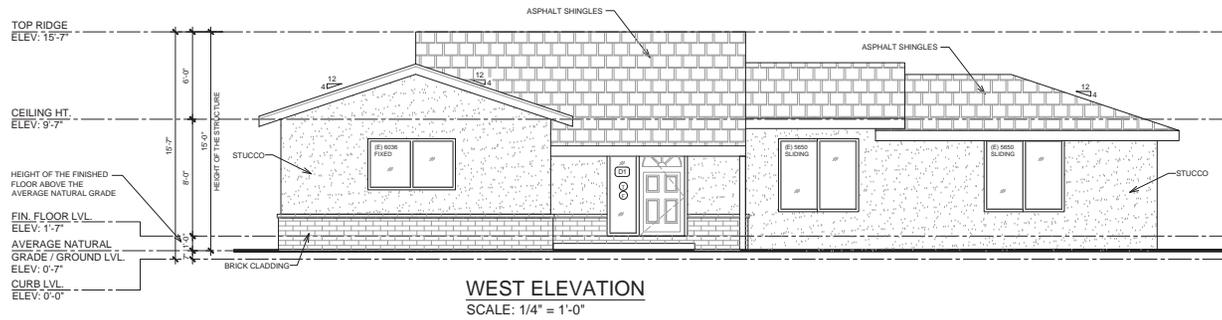
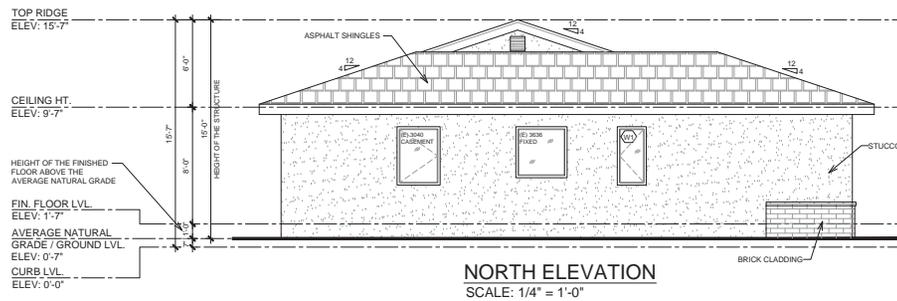
SECTION	DIMENSIONS	AREA (SQ.FT.)
A	5'-10.5" X 32'-1"	188.50
B	13'-4.5" X 32'-4.5"	433.02
C	10'-5.5" X 20'-0"	209.16
<b>TOTAL FLOOR AREA</b>		<b>830.68</b>
<b>TOTAL LOT COVERAGE AREA</b>		<b>920.40 SQ.FT. OR 921 SQ.FT.</b>
<b>TOTAL LOT AREA</b>		<b>6209 SQ.FT.</b>
<b>LOT COVERAGE RATIO</b>		<b>921 / 6209 = 14.83%</b>

**FLOOR AREA LIMIT CALCULATION**

SECTION	DIMENSIONS	AREA (SQ.FT.)
A	5'-10.5" X 32'-1"	188.50
B	13'-4.5" X 32'-4.5"	433.02
C	10'-5.5" X 20'-0"	209.16
<b>TOTAL FLOOR AREA LIMIT</b>		<b>830.68 OR 831 SQ.FT.</b>
<b>ALLOWABLE FLOOR AREA LIMIT</b>		<b>2800 SQ.FT.</b>

**FLOOR AREA AND LOT COVERAGE CALCULATIONS AND DIAGRAM**

SCALE: 1/4" = 1'-0"



**COLOR AND MATERIALS BOARD**

**BROWN WINDOW**  
PROPOSED MAIN HOUSE ENTRY AND ADU DOORS PAINTED WITH BROWN PAINT  
MATCH WITH THE EXISTING DOOR WINDOWS

**BROWN GUTTER**  
MATCH WITH THE EXISTING GUTTER

**ASPHALT ROOF SHINGLE**  
MATCH WITH THE EXISTING ROOF

**STUCCO PAINT**  
SNOW BERGE  
MATCH WITH THE EXISTING STUCCO

**BRICK CLADDING**  
MATCH WITH THE EXISTING BRICK CLADDING

**LEGEND:**  
 (1) TEMPERED GLASS  
 (2) FIXED / PICTURE / INOPERABLE GLASS

Firm Name and Contact :



Architecture | Home Designs

www.orphomes.us  
contact@orphomes.us  
408.357.3043

**RESIDENCE REMODEL**

**PROJECT ADDRESS:**  
**FENTON RESIDENCE REMODEL**  
**950 SHERMAN AVE, MENLO PARK, CA 94025**

No.	Date	Revision

Design Manager:  
Shweta Singh



All ideas, designs and plans indicated or represented by this set are owned by and remain the property of OpenRemodel. No part shall be used or disclosed to anyone without permission of the Company.

Title  
**PROPOSED ELEVATIONS AND AREA DIAGRAM**

Date  
10.22.25

Scale

AS SHOWN

Drawing No.

**A1.9**