

Project Description

810-812 Cambridge Ave, Menlo Park, CA 94025

APN: 071-405-120

Purpose of the Proposal

The proposed project consists of the construction of a new single-family residence and associated site improvements on an existing residential parcel located at 810-812 Cambridge Ave. The purpose of the proposal is to develop a contemporary residence that provides a functional, high-quality living environment while improving the overall use and appearance of the property.

Scope of Work

The project includes demolition of existing improvements on the site and construction of a new two-story single-family home totaling approximately 2,991 square feet. Proposed improvements include an attached garage, new driveway and walkways, landscaping, drainage improvements, utility connections, an attached ADU of approximately 689 square feet, and associated site work.

Architectural Style, Materials, Colors, and Construction Methods

The proposed residence is designed in a modern architectural style characterized by clean lines, simple massing, and a contemporary material palette. Exterior materials include a combination of smooth stucco, wood or composite cladding, painted metal accents, and contemporary glazing systems. The proposed color palette consists primarily of neutral and natural tones intended to create a refined and cohesive contemporary appearance.

Roofing materials will consist of pitched standing seam painted metal, and windows and doors will feature contemporary aluminum or aluminum-clad systems. Construction will utilize conventional wood-frame construction and steel elements where required, in compliance with current California Building Code and local requirements.

Basis for Site Layout

The site layout was developed in response to the parcel configuration, solar orientation, privacy considerations, access, and functional outdoor living areas. The residence is organized to create a strong indoor-outdoor relationship, with integrated landscaping and open space areas that support contemporary residential living.

Vehicular access is provided from Cambridge Ave, with site circulation and building placement designed to accommodate access, usability, and efficient site planning while conforming to applicable zoning requirements.

Existing and Proposed Uses

The site is currently developed with an older duplex residence. The proposed use will remain residential, consisting of one new single-family home, an attached ADU, and associated accessory improvements.

Neighbor Outreach

To ensure full transparency and alignment, the owners (Weijing and Hao) have actively engaged with adjacent residents to share the project plans, with the following outcomes:

- **Jeff Klapper (815 Cambridge Ave):** Weijing met with Jeff in person to share the project. Jeff expressed no concerns regarding the proposal.
- **817 Partridge Ave:** Weijing visited this property in person. The property serves as a non-profit senior living residence and does not maintain an on-site property manager. A resident provided Weijing with the direct contact information for their off-site property manager, Michelle Caldwell. Weijing has proactively called twice and left a voicemail; a response is currently pending.
- **Vasileios Ioannidis (800 Cambridge Ave):** This property is currently utilized as a rental property. Weijing spoke briefly with one of the current tenants, who expressed no concerns regarding the upcoming development.
- **Jed and Leslie (824 Cambridge Ave):** Hao and Weijing met with both Jed and Leslie in person to review the site layouts. They raised no issues or comments concerning the architectural styling of the home, but noted two process and structural preferences:
 - Municipal Notification: They inquired whether the City of Menlo Park would send a formal mailed notice regarding the development project.
 - Fence: They requested that the existing shared boundary fence be retained as-is to preserve mature plants currently growing along its framework.

The project has been designed to comply with applicable development standards related to setbacks, height, and site development requirements.

ABBREVIATIONS

ACC	ARE CONDITIONING	LAT	LATERAL
AD	AREA DRAIN	LAV	LAVATORY
ADA	AMERICANS WITH DISABILITIES ACT	LB	POUND
ADJ	ADJUSTABLE	LF	LINEAR FOOT
ADU	ADJUSTABLE	LL	LINE LOAD
AF	ABOVE FINISH FLOOR	LH	LONG LEG HORIZONTAL
ALT	ALTERNATE	LVL	LONG LEG VERTICAL
ALUM	ALUMINUM	LP	LOW POINT
APPROX	APPROXIMATE	LQ	LIGHT
ARCH	ARCHITECTURAL	LV	LOW VOLTAGE
AV	AUDIO VISUAL	M	METER
B	BOTTOM OF (SEE OTHER WORD)	MANT	MAINTENANCE
BLDG	BUILDING	MNM	MINIMUM
CAB	CABINET	MCC	MOTOR CONTROL CENTER
CB	CATCH BASIN	MDP	MEDIUM DENSITY REPERFOR
CF	CASH BACKLOG	MDO	MEDIUM DENSITY OVERLAY
CJ	CONCRETE JOINT / CONSTRUCTION JOINT	MECH	MECHANICAL
CL	CONTROL LINE	MEP	MECHANICAL, ELECTRICAL, PLUMBING
CLC	CEILING	MES	MECHANICAL EQUIPMENT ROOM
CLR	CLEAR	MEZZ	MEZZANINE
CM	CENTIMETER	MFR	MANUFACTURER
CMG	CEMENT BOARD	MM	MINOR
CMU	CONCRETE MASONRY UNIT	MN	MINIMUM
CO	CLEANOUT	MPC	MISCELLANEOUS
COL	COLUMN	MM	MILLIMETER
CONC	CONCRETE	MND	MOUNTED
CONT	CONTINUOUS	MFL	METAL
COORD	COORDINATE	N	NEWTON
CS	CONCRETE SEALER	NA	NOT APPLICABLE
CTR	CENTER	NC	NOISE CRITERIA
DE	DEGREE	NC	NOT IN CONTRACT
DEMO	DEMOLITION	NO	NUMBER
DEPT	DEPARTMENT	NOM	NORMAL
DET	DETAIL	NPS	NOMINAL PIPE SIZE
DA	DIAMETER	NBS	NOISE REDUCTION COEFFICIENT
DEF	DEFUSER	NCS	NOT TO SCALE
DEM	DEMOLITION	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
DL	DEAD LOAD	OC	ON CENTER
DN	DOWN	OCEW	ON CENTER EACH WAY
DOOR	DOOR	OD	OUTSIDE DIMENSION
DRN	DRAIN	OCFI	OWNER FURNISHED, CONTRACTOR INSTALLED
DW	DEWASHER	OCFI	OWNER FURNISHED, CONTRACTOR INSTALLED
DO	DOWNING	OCFI	OWNER FURNISHED, OWNER INSTALLED
E	EACH	OH	OVER HEAD
EAS	EXTERIOR FINISH SYSTEM	OPNG	OPENING
EBS	EXTERIOR INSULATION AND FINISH SYSTEM	OPR	OPPOSITE
EL	ELEVATION	OPR HD	OPPOSITE HAND
ELEC	ELECTRICAL	OPY	OVER COPY
EMERG	EMERGENCY	PAP	POWER-ACTUATED FASTENER
ENCL	ENCLOSURE	PBD	PARTICLEBOARD
EP	ELECTRICAL PANELBOARD	PFD	PERFORATED DRAIN
EQU	EQUAL	PERF	PERFORATED
EQUIP	EQUIPMENT	PL	PLATE
EW	ELECTRICAL WATER COOLER	PLBG	PLUMBING
EXH	EXHAUST	PLF	POUNDS PER LINEAR FOOT
EXIST	EXISTING	PR	PAIR
EXP	EXPANSION	PREFAB	PREFABRICATED
EXT	EXTERIOR	PSF	POUNDS PER SQUARE FOOT
FI	FACE OF (SEE OTHER WORD)	PSI	POUNDS PER SQUARE INCH
FA	FIRE ALARM	PTD	PRINTED
FD	FLOOR DRAIN	PTN	PARTITION
FDC	FIRE DEPARTMENT CONNECTION	QTY	QUANTITY
FID	FIRE DETECTOR	R	RADIUS
FO	FLOOR FINISH	RA	RETURN AIR
FE	FIRE EXTINGUISHER	RSP	REFLECTED CEILING PLAN
FE	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
FEQ	FIRE EQUIPMENT	RECPT	RECEPTACLE
FF	FIRE FLOOR	REF	REFERENCE
FFME	FURNITURE, FIXTURES & EQUIPMENT	REFR	REFRIGERATOR
FHC	FIRE HOSE CABINET	REFR	REINFORCED / REINFORCING
FIN	FINISH	REQ	REQUIRED / REQUIRED
FL	FLOOR	REV	REVISION / REVISION
FLOOR	FLOOR/SCENT	ROOM	ROOM
FO	FIRE RESISTANT OPENING	ROU	ROUGH OPENING
FRW	FIRE RETARDANT TREATED WOOD	S	SUPPLY AIR
FS	FIRE STOPPING	SABF	SOUND ATTENUATING FIRE BARRIER
FT	FEET/FOOT	SAN	SANITARY
FTG	FOOTING	SCHED	SCHEDULE
FURN	FURNITURE	SD	STORM DRAIN
GA	GARAGE CRANE	SECT	SECTION
GALV	GALVANIZED	SF	SQUARE FEET/FOOT
GC	GENERAL CONTRACTOR, GENERAL CONTRACT	SHR	SHOWER
GFR	GLASS FIBER REINFORCED CONCRETE	SHT	SHEET
GFR	GLASS FIBER REINFORCED GYPSUM	SM	SIMILAR
GFRP	GLASS FIBER REINFORCED PLASTIC	SM	SQUARE METER
GR	GRADE	SME	SHEET METAL SCREW
GWB	GROUPE FROM HALLBOARD	SPEC	SPECIFICATION
H	HOSE	SPKR	SPEAKER
HC	HANDICAPPED	SQ	SQUARE
HDM	HOLLOW METAL	SS	STAINLESS STEEL
HO	HOLLOW OPEN	STD	STANDARD
HDRZ	HORIZONTAL	STL	STEEL
HDP	HORIZONTAL	STMS	SELF-TAP SHEET METAL SCREW
HR	HOUR	STR	STRUCTURAL
HRC	HOSE REEL CABINET	SUSP	SUSPENDED
HRS	HOLLOW STRUCTURAL SECTION	SYM	SYMMETRICAL
HT	HEIGHT	TAG	TONGUE AND GROOVE
HVAC	HEATING, VENTILATING, AIR CONDITIONING	TI	TOP OF (SEE OTHER WORD)
HWT	HOT WATER	TEMP	TEMPERATURE
ICB	INTEGRAL COVE BASE	TOS&E	TONGUE & BOLT
ICC	INTERNATIONAL CODE COUNCIL	THK	THICKNESS
ID	INSIDE DIAMETER / DIMENSION	TV	TELEVISION
IN	INCH	TYP	TYPICAL
INFO	INFORMATION	UL	UNDERWRITERS LABORATORY
INT	INTERIOR	UNCL	UNLESS OTHERWISE NOTED
INV	INVERT	VERT	VERTICAL
JC	JANITOR'S CLOSET	VEST	VESTIBULE
JST	JOIST	VF	VIEW/FIN FIELD
JT	JOINT	WF	WITH
K	KIP (1000 LB)	WO	WITHOUT
KC	KELCOGRAM	WC	WATER CLOSET
KT	KITCHEN	WP	WORK POINT
LAB	LABORATORY		

GENERAL CONDITIONS

DRAWINGS:

- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. WHERE NO DIMENSION IS PROVIDED OR WHERE DISCREPANCIES EXIST, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.
- IF A CONFLICT EXISTS BETWEEN REFERENCED REGULATORY REQUIREMENTS AND THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE AND REQUEST THAT THE CONFLICT BE RESOLVED. THE FACT THAT THE CONTRACT DOCUMENTS MAY ESTABLISH HIGHER OR MORE COSTLY REQUIREMENTS THAT THE MINIMUM CODE OR OTHER REGULATORY REQUIREMENTS REFERENCED ABOVE SHALL NOT CONSTITUTE A "CONFLICT".
- WORK NOT PARTICULARLY DETAILED, MARKED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR WORK THAT IS DETAILED MARKED OR SPECIFIED.
- NO DEVIATION FROM THE APPROVED DRAWINGS AND SPECIFICATIONS IS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT'S INTERPRETATION OF THESE DOCUMENTS SHALL BE FINAL.

CONTRACTOR'S RESPONSIBILITIES:

- CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE LATEST REQUIREMENTS AS AMENDED BY ALL STATE AND LOCAL CODES, AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.
- CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS.
- ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTIONS OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION / CAPPING OFF ALL EXISTING UTILITIES AND RE-CONNECTIONS WHERE RE-USE IS POSSIBLE.
- CONFIRM ALL WINDOW SIZES WITH ACTUAL / EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING WINDOWS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL SPECIAL INSPECTIONS, INCLUDING BUT NOT LIMITED TO ORDERING INSPECTIONS AND TESTS AS REQUIRED FOR COMPLIANCE WITH SPECIAL INSPECTIONS BUILDING PERMIT APPROVALS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ALL SOUND TRANSMISSION REQUIREMENTS PER CBC 1206 INCLUDING STC AND IIC RATINGS OF ASSEMBLIES AND EXTERIOR ASSEMBLY REQUIREMENTS FOR EXTERIOR SOUND TRANSMISSION CONTROL.
- WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO NEIGHBORING TENANTS.
- CONTRACTOR SHALL PROVIDE DUST COVERS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA, BROOM CLEAN ALL AREAS EACH DAY, AND AS NECESSARY THROUGHOUT THE DAY TO MAINTAIN WORK AREA SAFE AND FULLY OPERATIONAL, KEEP DUST AND DEBRIS TO A MINIMUM.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES, GUARD ALL HAZARDS IN ACCORDANCE WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
- CONTRACTOR SHALL INFORM THE ARCHITECT & OWNER IN WRITING OF ANY CONDITIONS UNCOVERED IN THE COURSE OF DEMOLITION OR CONSTRUCTION WHICH DEVIATE FROM THE DOCUMENTS, OR WHICH MAY CONSTITUTE A HAZARD DURING OR AFTER CONSTRUCTION, THESE CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO, DRY ROT OR DAMAGE TO EXISTING STRUCTURAL MEMBERS, AND FRAMING MEMBER SIZES OR SPACING WHICH DO NOT CORRESPOND WITH THOSE STATED IN THE DOCUMENTS. THE ARCHITECT SHALL PROVIDE WRITTEN DIRECTION AS HOW TO PROCEED IN EACH CASE.

- IF THE CONTRACTOR FINDS IT NECESSARY TO DEVIATE FROM THE DOCUMENTS IN ANY MANNER, THE CONTRACTOR SHALL INFORM THE ARCHITECT OR OWNER IN WRITING AND OBTAIN WRITTEN APPROVAL FOR ANY CHANGES PRIOR TO COMMENCING WITH THE WORK.



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

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Menlo Park, CA 94025
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http://www.menlopark.org

DATA SHEET

Please provide the appropriate information pertaining to your application. It is important to complete the existing and proposed development items even if the existing structure is being demolished or there is no specific zoning ordinance requirement.

LOCATION:		810-812 Cambridge Ave, Menlo Park, CA 94025	
EXISTING USE:		Weijing XU	
Multi Family Residence / Duplex		PROPERTY OWNER(S):	
PROPOSED USE:		Weijing XU	
New Single Family Residence		APPLICATION(S):	
ZONING:		Use Permit	
R2		ZONING ORDINANCE	
DEVELOPMENT STANDARDS	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	7,478 sf	7,478 sf	7,000 sf min.
Lot width	60 ft	60 ft	60 ft min.
Lot depth	124.5 ft	124.5 ft	1100 ft min.
Setbacks			
Front	20 ft	19.92 ft	20 ft min.
Rear	22 ft	20.18 ft	20 ft min.
Side (left)	5 ft	5.49 ft	5 ft min.
Side (right)	6 MAIN, 4 ADU	4.63 ft	6 MAIN, 4 ADU
Building coverage	47.5 %	35.1 %	35 % max.
FAR (Floor Area Ratio)**	2091 + 680 ADU	3018	400% / 2091
FAR (Floor Area Limit)**	2091	3018	400% / 2091
Square footage by floor			
below grade	0	0	0
1st	1811	2170	0
2nd	1905	1335	0
garage	275	311	0
other	ADU - 688	0	0
Square footage of buildings	3880	3016	2891
Landscaping***	4450 59%	3165 42%	40%
Paving***	281 3.5%	1558 21%	0
Parking	4 spaces	4 spaces	9 spaces
Define Basis for Parking			
1 Covered, 2 Uncovered			
Trees			
# of existing Heritage trees 2			
# of existing non-Heritage trees 9			
# of new trees 0			
Total # of trees 10			

* Commercial and Multiple residential properties | ** Single family residential and R2 zoned properties | *** Commercial, Multiple residential, and R2 zoned properties
Issued 08/2022

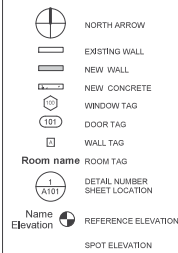
ALL NEW WORK SHALL BE IN STRICT CONFORMANCE WITH THE FOLLOWING CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO:

- PART 1: 2025 CALIFORNIA ADMINISTRATIVE CODE
- PART 2: 2025 CALIFORNIA BUILDING CODE
- PART 2.5: 2025 CALIFORNIA RESIDENTIAL CODE
- PART 3: 2025 CALIFORNIA ELECTRICAL CODE
- PART 4: 2025 CALIFORNIA MECHANICAL CODE
- PART 5: 2025 CALIFORNIA PLUMBING CODE
- PART 6: 2025 CALIFORNIA BUILDING ENERGY CODE
- PART 8: 2025 CALIFORNIA HISTORICAL CODE
- PART 9: 2025 CALIFORNIA FIRE CODE
- PART 10: 2025 CALIFORNIA EXISTING BUILDING CODE
- PART 11: 2025 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
- PART 12: 2025 CITY OF MENLO PARK MUNICIPAL CODE

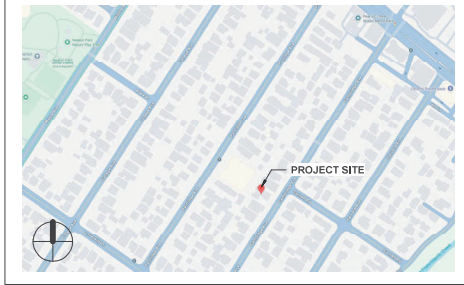
NOTHING IN THESE DRAWINGS IS TO BE CONSIDERED TO PERMIT WORK NOT IN CONFORMANCE WITH THESE CODES.

UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OR DESIGN ELEMENTS, SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE ORDER OR FILED ORDER, AS APPLICABLE.

SYMBOLS



VICINITY MAP



STREET VIEW



PROJECT DESCRIPTION

SCOPE OF WORK:
NEW TWO-STORY SINGLE FAMILY HOME: (1)1-CAR GARAGE (3)BEDROOMS WITH ATTACHED ADU: (1)BATHROOM AND (1)BEDROOM WITH KITCHENETTE

DRAWING INDEX

SHEET #	TITLE SHEET	SHEET NAME
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A0.3	TREE PROTECTION PLAN	
A0.4	AREA PLAN, STREETSCAPES, IMPERVIOUS AREA PLAN	
A0.5	COLOR & MATERIAL BOARD	
A0.6	SQUARE FOOTAGE CALCULATION PLANS	
A1.0	EXISTING FIRST AND SECOND FLOOR PLANS	
A1.0B	EXISTING ROOF PLAN	
A1.1	PROPOSED FIRST FLOOR PLAN	
A1.2	PROPOSED SECOND FLOOR PLAN	
A1.3	PROPOSED ROOF PLAN	
A2.0	EXISTING ELEVATIONS	
A2.0B	EXISTING ELEVATIONS	
A2.1	PROPOSED ELEVATIONS	
A2.2	PROPOSED ELEVATIONS	
A3.1	PROPOSED SECTIONS	
A3.2	PROPOSED SECTIONS	
X0	SITE SURVEY	

PROJECT

**810-812
Cambridge Ave**
810-812 Cambridge Ave.,
Menlo Park, CA 94025

APN: 071-405-120

OWNER:
WEILING XU
E.WEILINGXU7@gmail.com

ARCHITECTURAL DESIGN:
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ARBORETT:
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ISSUE RECORD Date
1 Planning Submission 08/01/2025

ORIENTATION:

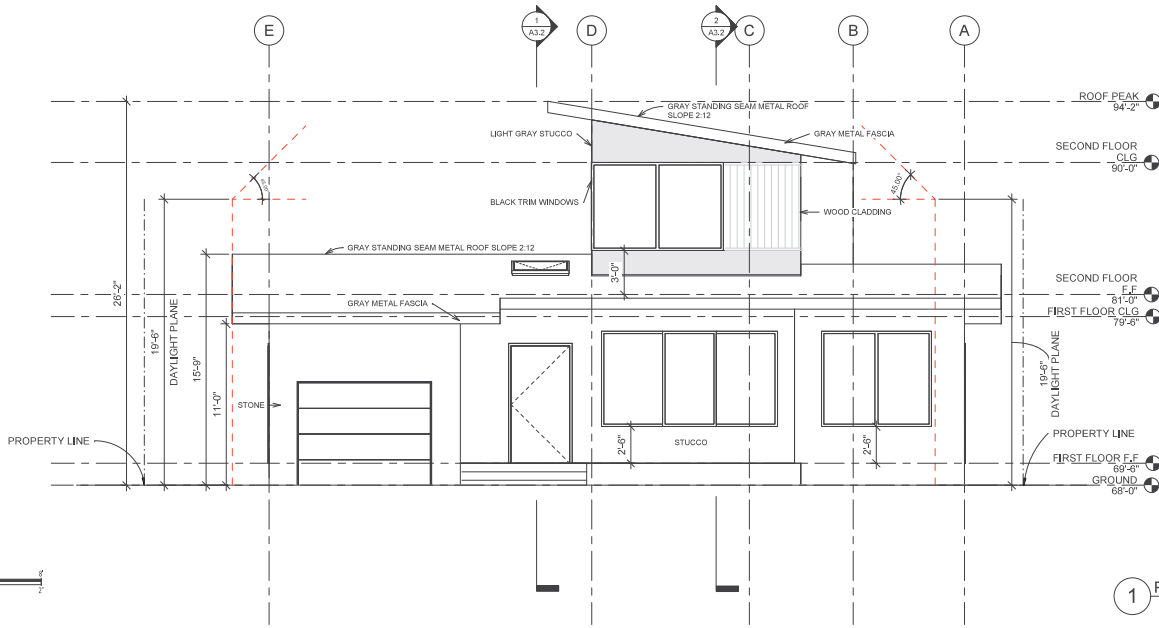
SHEET TITLE:
TITLE SHEET

SET: USE PERMIT
DATE: 5/15/2026
DRAWN: © MOMENT X, 2026

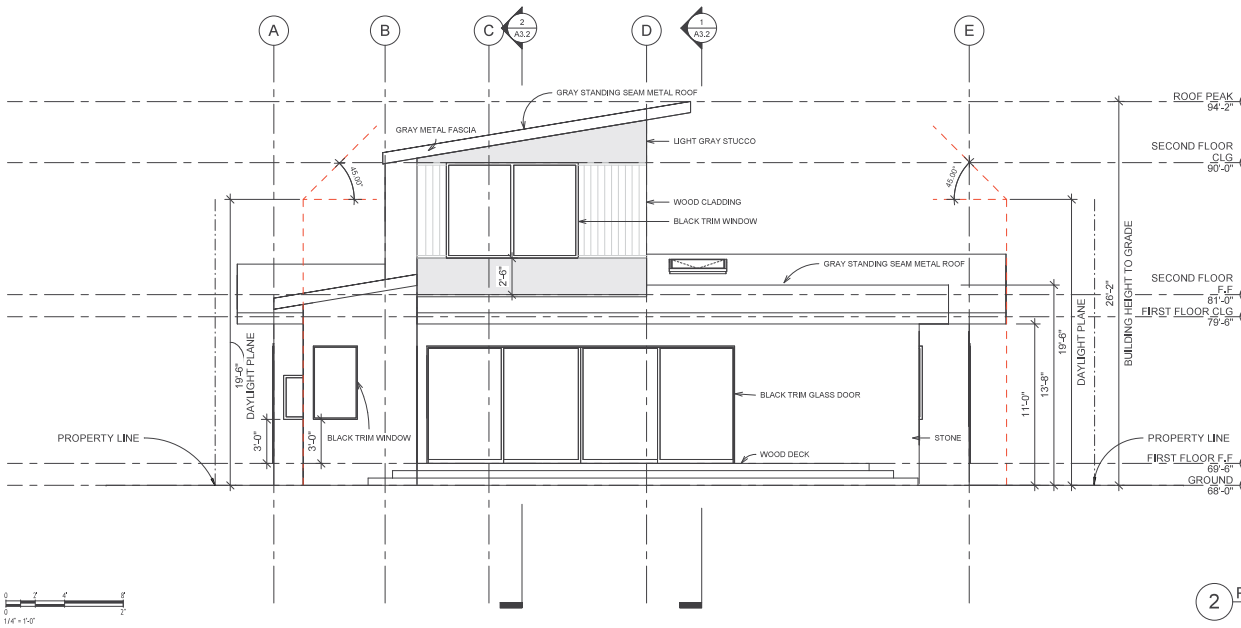
SHEET NO:

A0.0

Original drawing is 36" x 24". Do not scale contents of this drawing.



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

PROJECT

**810-812
Cambridge Ave**
810-812 Cambridge Ave.
Menlo Park, CA 94025

APN: 071-405-120

OWNER
WELING XU
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ARCHITECTURAL DESIGN:
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ISSUE RECORD Date

ORIENTATION:

SHEET TITLE:
**PROPOSED
ELEVATIONS**

SET: USE PERMIT
DATE: 5/15/2026
DRAWN: © MOMENT X, 2026

SHEET NO:

A2.1

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