

WARREN DESIGN

579 E. Campbell Avenue Campbell, CA 95008 p. 209.534.7371

PROJECT DESCRIPTION

404 DURHAM ST.

June 9, 2025

We are proposing to add a 2nd story onto this 4 bedroom 3 bath house that is on a 7,000 s.f. lot. No addition is proposed at the 1st level, but the kitchen, living, and dining will be remodeled. Existing bedroom with on-suite bathroom will be converted into an ADU. The existing master bedroom and bathroom will be converted to the new family room. The existing covered porch, garage, laundry, uncovered deck, bedroom 3 and bath 3 are to remain. The 2nd story will include a new master bedroom, master bathroom, 2 bedrooms, and bathroom. No trees are being removed.

Sincerely,

WARREN DESIGN

A handwritten signature in blue ink, appearing to read 'D. Warren', with a long horizontal flourish extending to the right.

Daniel Warren, Principal

WELLINGTON RESIDENCE

REMODEL / 2nd LEVEL ADDITION

404 DURHAM STREET
MENLO PARK, CALIFORNIA

WARREN DESIGN
STEVE CAMPBELL, CAMPELL, CA 95008 P: 650.469.3270

WELLINGTON RESIDENCE
REMODEL / 2nd LEVEL ADDITION
404 DURHAM STREET
MENLO PARK, CALIFORNIA

CALGREEN MANDATORY MEASURES	FIRE DEPARTMENT NOTES	GENERAL NOTES	SHEET INDEX												
4.1.01.1 PLANNING & DESIGN: SITE DEVELOPMENT 4.1.02.1 A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. 4.1.02.2 THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS. 4.1.02.3 ENERGY EFFICIENCY 4.2.01.1 LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS. 4.2.01.2 WATER EFFICIENCY & CONSERVATION 4.3.01.1 INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS: 1. WATER SAVING FIXTURES OR FLOW RESTRICTIONS SHALL BE USED. 2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED. 4.3.02.2 WHEN USING THE CALCULATION METHOD SPECIFIED IN SECTION 4.3.01.1, MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES 4.3.03.1 PLUMBING FIXTURES (WATER CLOSERS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS. OUTDOOR WATER USE 4.3.04.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS, AFTER DECEMBER 1, 2015, NEW RESIDENTIAL DEVELOPMENT WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS: 1. A LOCAL, WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT; OR 2. PRODUCTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWELO'S 4.4.01.1 MATERIAL CONSERVATION & RESOURCE EFFICIENCY 4.4.01.2 JOINTS & OPENINGS ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 4.4.01.3 A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PER-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPT. 4.4.02.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY. 4.4.03.1 AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 4.4.03.2 ENVIRONMENTAL QUALITY POLLUTANT CONTROL 4.5.01.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. 4.5.01.2 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS. 4.5.01.3 PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. 4.5.02.2.3 ALL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MW LIMITS FOR ROOF & OTHER TOXIC COMPOUNDS. 4.5.04.1.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. 4.5.04.1.5 CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. 4.5.04.1.6 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-VOLATILE MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (IFCFL) FLOORCOVER PROGRAM. 4.5.04.1.7 PARTICULATE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH: 4.5.05.2.2 VAPOR RETARDER: A CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS. 4.5.05.2.3 MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FRAMING IS CHECKED BEFORE PURCHASE. INDOOR AIR QUALITY & EXHAUST 4.5.06.1 EXHAUST FROM COMBUSTION EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM, CONTROLLED BY A HUMIDITY CONTROL, UNLESS IT IS FUNCTIONING AS A COMPONENT OF A MECHANICAL VENTILATION SYSTEM. ENVIRONMENTAL COMFORT 4.5.07.1 WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS ON LOUVERS SHALL HAVE A MIN. INSULATION VALUE OF R=2. 4.5.07.2 DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPPED AS SELECTED USING THE FOLLOWING METHODS: 1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J, OR EQUIVALENT. 2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 140 (MANUAL D) OR EQUIVALENT. 3. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA 140 (MANUAL J), OR EQUIVALENT. INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 7.02.1.1 HVAC SYSTEMS SHALL BE INSTALLED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. 7.02.2 SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING. 7.03.1 VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.	1. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/8". 2. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY THE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. 3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CPC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 5.7. 4. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUPS. 5. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.	1. CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2022, CALIFORNIA BUILDING CODE (CBC) 2022, CALIFORNIA MECHANICAL CODE (CMC) 2022, CALIFORNIA PLUMBING CODE (CPC) 2022, CALIFORNIA FIRE CODE (CFC) 2022, CALIFORNIA ELECTRICAL CODE (CEC) 2022, CALIFORNIA GREEN BUILDING CODE (CGBC) 2022, ENERGY EFFICIENCY STANDARDS TITLE 24. 2. SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE. 3. FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 50% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2000 PSI AT 28 DAYS. FLAT WORK SHALL BE 2000 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 7" ABOVE GRADE. PROVIDE COPIES OF ANY FOUNDATION OR SOIL ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION. 4. SILL PLATES WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. 5. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 24" D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS. 6. PROVIDE SOLID BLOCCING AT ALL FURRED CEILINGS AND SOFFITS AT WALLS. 7. AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2x6 EACH END. 8. BOTTOM CHORD OF TRUSS TO BE BRACED AT 12' O.C. (MINIMUM). 9. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED. 10. POWER DRIVEN FASTENERS: ESP 2209 3x4 PS 236 AS MANUFACTURED BY TITUS. SPACING: 18" O.C. AT ALL BEARING WALLS, 36" O.C. AT ALL NON-BEARING WALLS. 11. EXTERIOR FINISH TO BE HORIZONTAL SILLING AT 14" FLOOR AND 8" SINGLE SILLING AT THE 2ND FLOOR-SEE EXTERIOR ELEVATIONS, UNLESS OTHERWISE NOTED LOCALLY. 12. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DWP SCREED, SUPERIOR #1 CASING HEAD, MILCOR BRACKET/ROCK CORNER, MILCOR #1 EDG JOINT, INTERIOR CORNER, MILCOR 600 EDG JOINT. 13. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME, SEE ELEVATIONS FOR GHRS. 14. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED, H-S, SINGLE HUNG, S-S, SINGLE HUNG, O-S, O-BSCURE, FWD-FIXED, TEMP-TEMPERED, H-F, FWD-HALF ROUND. 15. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAIL. 16. EXTERIOR SILL PLATES SHALL BE CAULKED AT JOINTS WITH CONCRETE SLAB. CAULK ALL OPENINGS IN EXTERIOR ENVELOPE. ALL JOINTS BETWEEN DISSIMILAR MATERIALS, AND AT JOINTS OF OR MAJOR COMPONENTS. 17. PROVIDE ONE COAT PEAN-BOILED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD TRIM. 18. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION. 19. EACH LOW PREVENTER REQUIRED ON ALL HOSE BIBBS.	1-1 PROJECT DATA GENERAL NOTES / SHEET INDEX, VICINITY MAP 1-1.1 GENERAL NOTES 1-2 CONSTRUCTION BEST MANAGEMENT PRACTICES 1-3 FLOOR AREA DIAGRAM 1-1.3 NON-CONFORMING STRUCTURE DIAGRAM A-1 SITE PLAN A-2 EXISTING FLOOR PLAN A-3 PROPOSED 1st LEVEL FLOOR PLAN A-4 PROPOSED 2nd LEVEL FLOOR PLAN A-5 EXTERIOR ELEVATIONS A-6 EXTERIOR ELEVATIONS A-7 ROOF PLAN A-8 ROOF SECTIONS E-1 1ST LEVEL ELECTRICAL PLAN E-2 2ND LEVEL ELECTRICAL PLAN S-1 STRUCTURAL NOTES S-2 STRUCTURAL DETAILS S-3 STRUCTURAL DETAILS S-4 FOUNDATION PLAN S-5 FLOOR FRAMING PLAN S-6 ROOF FRAMING PLAN T-1 TITLE 24 T-2 TITLE 24 T-3 TITLE 24 T-4 TITLE 24												
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SPECIAL FEATURES CONTRACTOR REQUIRED AT TIME OF FINAL INSPECTION A MANUAL PROVIDED TO BUILDING OWNER OR OCCUPANTS WHICH INCLUDES THE FOLLOWING REQUIREMENTS: DIRECTIONS TO OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENTS AND APPLIANCES, ROOF AND WARD COVERINGS, LANDSCAPING SYSTEMS, LANDSCAPE IRRIGATION SYSTEMS AND WATER REUSE SYSTEMS. INFORMATION FROM LOCAL UTILITY WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION INCLUDING RECYCLE PROGRAMS, AND AIR TRANSPORTATION AND TRAVEL INFORMATION AVAILABLE IN THE AREA. PLUS ITEMS COVERED UNDER CBC SECTION 4.410 (3) THRU (10).			VICINITY MAP			CITY OF MENLO PARK "NOISE CODE" WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION. THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF MENLO PARK MUNICIPAL CODE CHAPTER 5.06 NOISE. ANY AND ALL EXCESSIVELY ANNOYING, LOUD OR UNUSUAL NOISES OR VIBRATIONS SUCH AS OFFENDING THE SPACE AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND WHICH INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AN ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE. CONSTRUCTION ACTIVITIES 1. CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS OR HOLIDAYS BETWEEN THE HOURS OF NINE (9) A.M. AND FIVE (5) P.M. 2. ALL CONSTRUCTION ACTIVITIES TO BE UNDERTAKEN BY CONTRACTORS OR SUBCONTRACTORS SHALL BE COMPLETED BY THE CITY OF MENLO PARK. THE REQUIREMENTS OF THE CITY OF MENLO PARK SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION, FOR THE PURPOSE OF INFORMING CONTRACTORS, SUBCONTRACTORS AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE NOISE REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.		
				PROJECT ADDRESS: 404 DURHAM STREET ASSESSOR PARCEL NUMBER: 062-026-70 ZONING: R-1U CONSTRUCTION TYPE: V-8 (NON-SPRINKLERED) EXISTING TYPE: 9-0U LOT SIZE: 7,000 S.F. EXISTING RESIDENCE: 1,922.15 S.F. EXISTING ATTACHED GARAGE: 239.23 S.F. ADD CONVERSION: 31,173.52 S.F. (NON F.A.R.) TOTAL 1st LEVEL FLOOR AREA: 1,864.38 S.F. PROPOSED 2nd LEVEL ADDITION: 9,008.80 S.F. TOTAL FLOOR AREA: 2,773.21 S.F. MAX. FLOOR AREA: 2,800 S.F. TOTAL COVERED PORCH: 25.96 S.F. EXISTING UNCOVERED DECK: 566.18 S.F. TOTAL LOT COVERAGE: 2,187.33 S.F. MAX. LOT COVERAGE: 2,800 S.F. (40%)			SETBACK REQUIREMENTS: REQUIRED EXISTING FRONT 20'-0" 31'-4 1/2" LEFT SIDE 5'-0" 4'-0" RIGHT SIDE 12'-0" 12'-0" REAR 20'-0" 45'-0" LOCATED WITHIN DESIGNATED WUI: NO OVERHANG: NO MAX. HEIGHT: ALLOWED 20'-0" FIRE SPRINKLERS: NOT REQUIRED PROPOSED 27'-0"			SCOPE OF WORK: CONSTRUCT A NEW REMODEL TO 1st LEVEL KITCHEN, FAMILY LIVING, AND DINING. CONSTRUCT NEW 2nd LEVEL ADDITION WITH MASTER BEDROOM, MASTER BATH, 2 BEDROOMS, AND BATHROOM. PROVIDE NEW STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.					
				PROJECT CONTACTS DESIGNER: WARREN DESIGN DANIEL WARREN 575 E. CAMPBELL AVE. CAMPBELL, CA 95008 650-469-3270 ENERGY CONSULTANT: COMPU-CALC 10255 COMBIE ROAD AUBURN, CA, 95602 916-932-2592 STRUCTURAL ENGINEER: ANTHEM ENGINEERING BRIAN COATS 42111 N. LA CROSSE TR. ANTHEM, AZ 85006 623-395-0871			PROJECT NO: 2215 SHEET NO: T-1								

Date: 03/29/2021

Drawn By: DW

Revisions:

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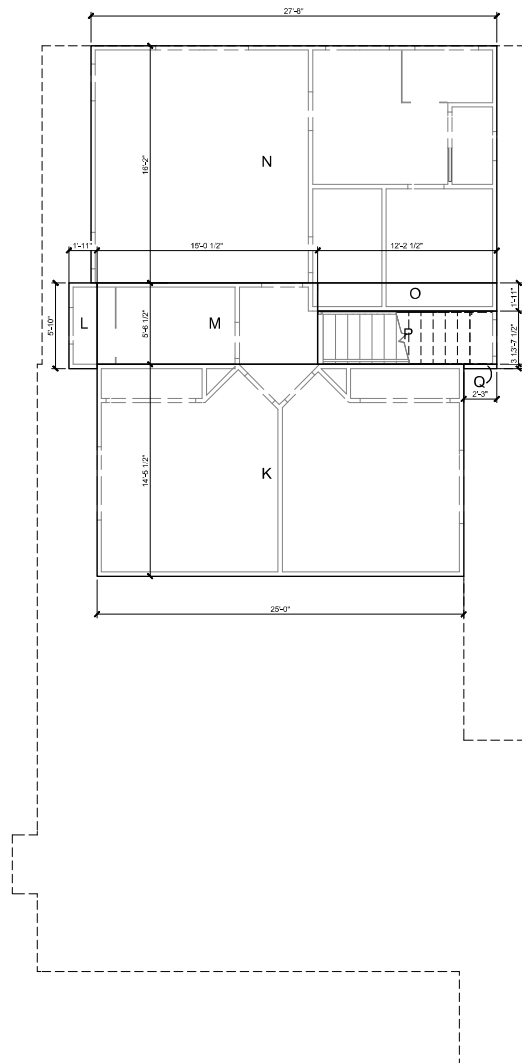
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TITLE SHEET
SHEET INDEX
PROJECT DATA
VICINITY MAP
GENERAL NOTES

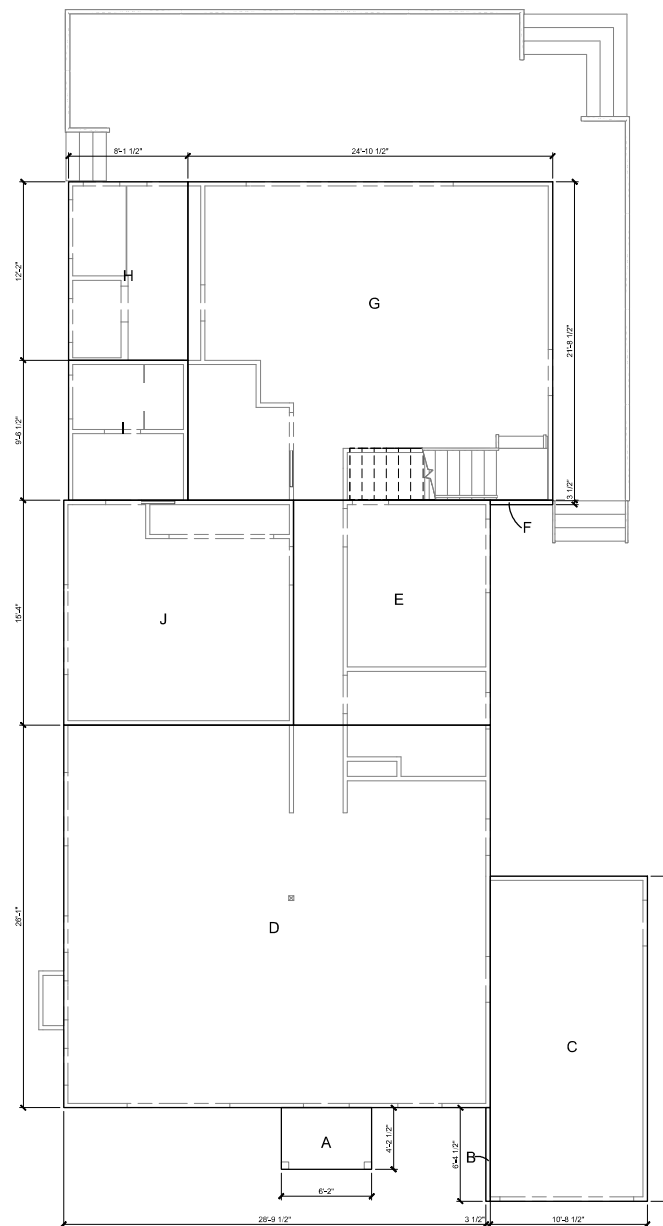
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FLOOR AREA CALCULATION:		
A (COVERED PORCH)	25.95 (NO. OF AREA)	S.F.
B (GARAGE)		1.80
C (GARAGE)		10.67
D (GARAGE)		758.59
E		700.77
F		1.24
G		540
H (TERR.)		105.85
I (TERR.)		75.53 (NO. OF AREA)
J (TERR.)		249.22 (NO. OF AREA)
FLOOR TOTAL		1,864.33 S.F.
A/FLOOR TOTAL		377.75 S.F. (NO. OF AREA)
LOT COVERAGE CALCULATION:		
A (COVERED PORCH)		361.48
B (GARAGE)		13.18
C		63.35
D		441.28
E		412.4
F (TERR.)		47.90
G (TERR.)		5.05
FLOOR TOTAL		1,355.24 S.F.
FLOOR AREA TOTAL:		2,770.37 S.F.
LOT COVERAGE CALCULATION:		
A (COVERED PORCH)		25.95 S.F.
B (GARAGE)		23.21 S.F.
C (TERR.)		1,905.15 S.F.
TOTAL LOT COVERAGE:		2,183.37 S.F.



1st Level Floor Area Diagram

0 4 8 12

SCALE: 1/4" = 1'-0"

WARREN DESIGN

WANKLIN DESIGN
579 E. CAMPBELL AVE., CAMPBELL, CA 95008 P. 650.469.3780

WELLINGTON RESIDENCE
REMODEL / 2nd LEVEL ADDITION
404 DURHAM STREET
MENLO PARK CALIFORNIA

Date: 03/28/202

Drawn By: DW

Revisions:

FLOOR AREA
DIAGRAM

Project No:

2215

Sheet No:

T-1.3

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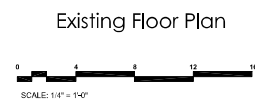
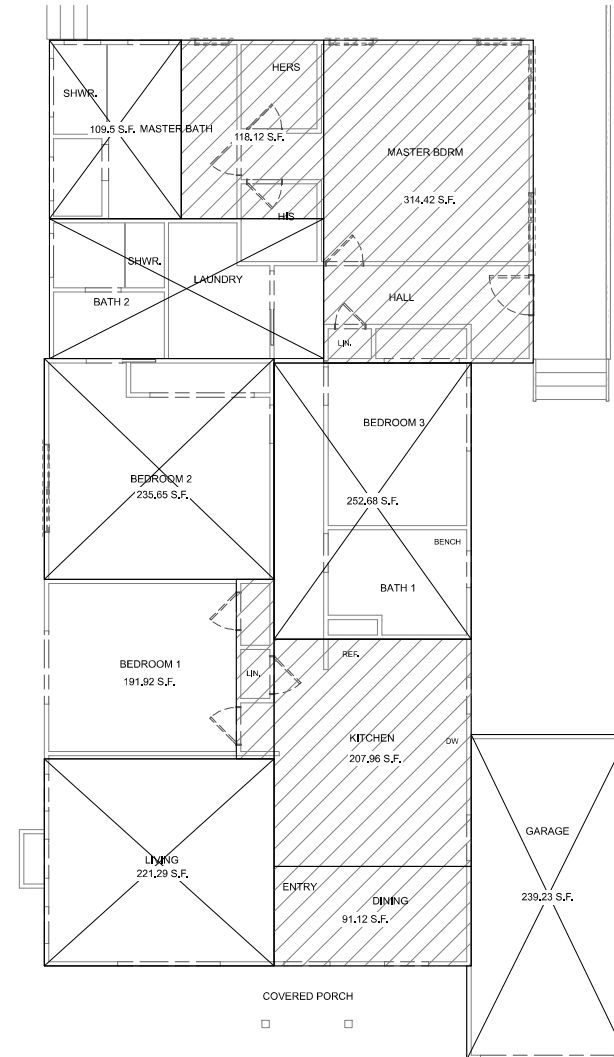
NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION				
Address:		404 Durham Street		
Case No.:		BL00000100007		
MP of Existing Value		\$200,586.09		
TP of Existing Value		\$300,681.08		
Value of Proposed Project		\$255,825.86 77%		
Existing Development				
Non-Conforming Structure Type	Square Footage	Development Cost	Existing Value	
Existing 1st floor	1152.19	\$	\$200,586.09	\$200,586.09
Existing 2nd floor	0	\$	\$0.00	\$0.00
Existing Basement	0	\$	\$0.00	\$0.00
Existing Garage	239.23	\$	\$15,749.11	\$15,749.11
Total	2191.42		\$216,335.20	

Note: This spreadsheet is only used to calculate nonconforming structure value at a time. If there are structural structures on the site, they are subject to their own spreadsheet. If they are also nonconforming and subject to new work, they are subject to their own spreadsheet. If nonconforming (not subject to new work).

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Proposed Development				
Proposed Development Type	Square Footage	Development Cost	Development Value	
Category 1: New square footage (new or new foundation above and below ground)				
1st Floor Addition	0	\$	\$0.00	\$0.00
2nd Floor Addition	0	\$	\$0.00	\$0.00
Basement Floor Addition	0	\$	\$0.00	\$0.00
Garage Addition	0	\$	\$0.00	\$0.00
Category 2: Removal of existing square footage (removal and new foundation and walls below and above ground)				
Note: Square footage measurements are taken to the exterior of any new walls or any new modifications. When the use of a new structure is required, the proposed cost should be used for this calculation.				
Removal of Structure	0	\$	\$0.00	\$0.00
Removal of Basement	0	\$	\$0.00	\$0.00
Removal of Other Living Areas	0	\$	\$0.00	\$0.00
Removal of Garage	0	\$	\$0.00	\$0.00
Category 3: Exterior modifications to existing structure				
Window and exterior door improvements are not included in this calculation. If they are included for Category 1 or Category 2, they are included in the calculation below.				
New Roof Structure Over Existing Sq. Ft.	0	\$	\$0.00	\$0.00
Replacement of Existing Windows/Exterior Doors	0	\$	\$0.00	\$0.00
Replacement of Existing Siding	0	\$	\$0.00	\$0.00
Total		18,802	\$0.00	

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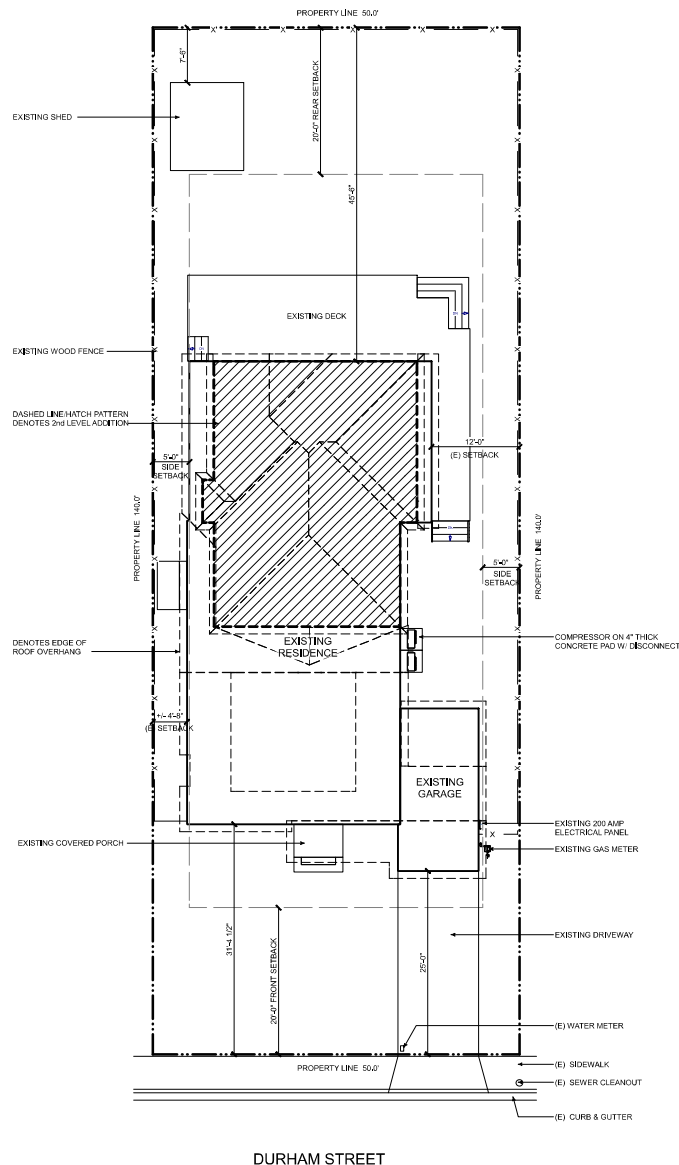
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 404 DURHAM STREET
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NON-CONFORMING STRUCTURE DIAGRAM

Project No: 2215
 Sheet No: T-1.4
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DURHAM STREET

Site Plan



GENERAL NOTES:

1. VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
2. SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" AWAY FROM STRUCTURE FOR DRAINAGE. IMPERVIOUS SURFACES SHALL BE SLOPED NO LESS THAN 2% AWAY FROM BUILDING (C.R.C. 1801.3).
3. ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM.
4. THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 12'-0" (C.R.C. 1801.3).
5. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (C.R.C. 1801.7A).
6. EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE-RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER C.R.C. SECTION R302 & TABLES R302.1(2).

WASTE MANAGEMENT PLAN:

CONSTRUCTION WASHOUT WATER FROM CONCRETE, MORTAR, TILE, TAPING AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLEABLE DEBRIS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE, RETURN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.

OR
WEST VALLEY COLLECTION AND RECYCLING (408) 283-6280 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
2. SWEEP OR SCRAPER UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
3. REVEGETATE DISTURBED AREAS. EXPOSED BARE SOIL SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 4 MIL. PLASTIC SHEETS, SUITABLY ANCHORED.
5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR / OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

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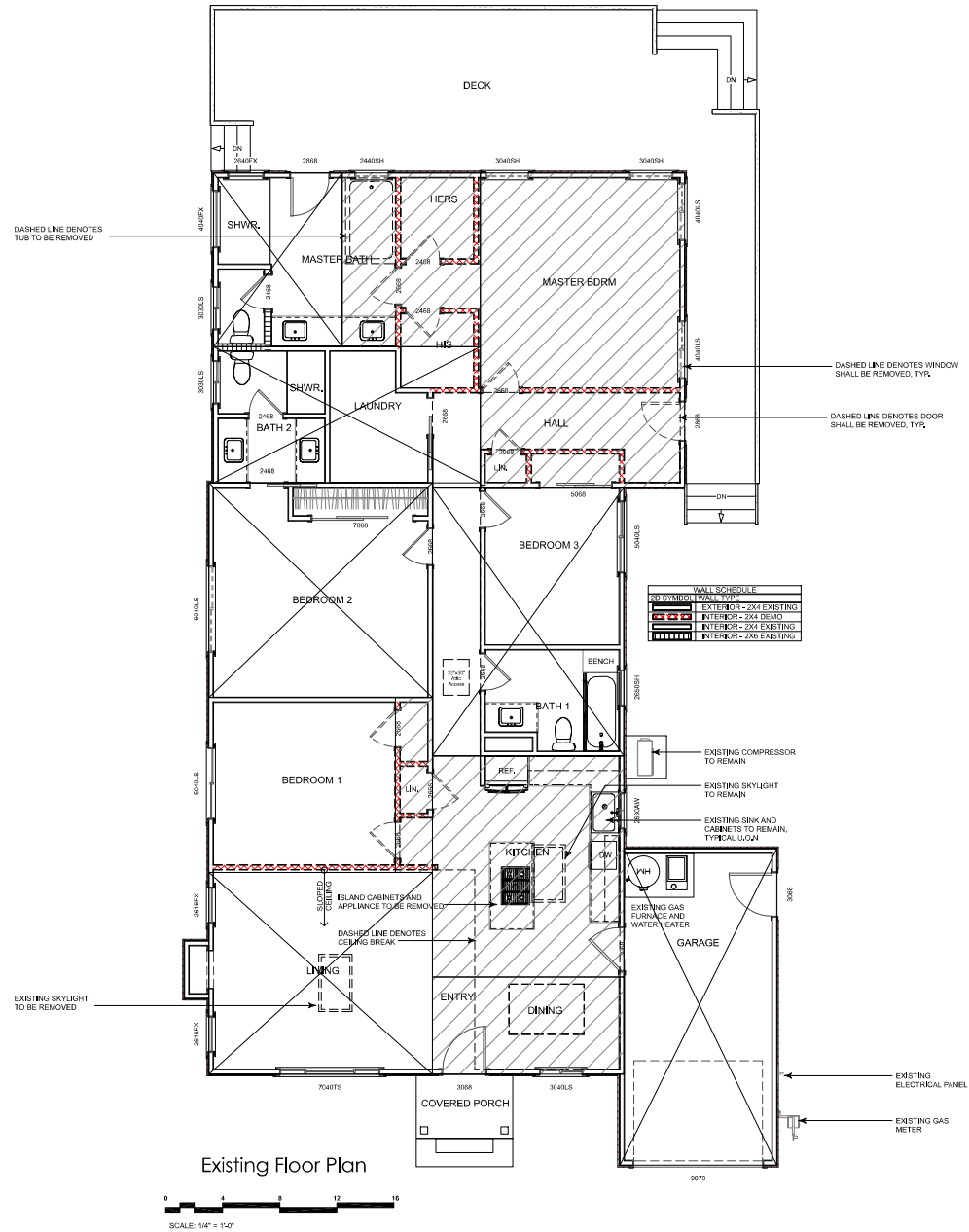


SITE PLAN

Project No: 2215

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EXISTING FLOOR PLAN

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Front Elevation



Rear Elevation



Left Elevation



Right Elevation

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GENERAL NOTES:

1. WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND/OR OWNERS SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (LWC).
2. ALL EXTERIOR HEADERS SHALL BE AT LEAST 18" TYP. THICK.
3. ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED.
4. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH TO THE BOTTOM OF THE CLEAR OPENING. NET CLEAR OPENING OF 30" IN WIDTH & 34" IN HEIGHT W/ MIN. CLEAR OPENING OF 1.2 SQUARE FEET.
5. SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAMENT TO MIN. HEIGHT OF 72" ABOVE DRAIN. TEMPERED GLASS ENCLOSURES.
6. PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.P.C.
7. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
8. PROVIDE COMBUSTION AIR FOR FUEL-BURNING APPLIANCES.
9. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. & 4" TYP.
10. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED.
11. AIR DUCTS IN GARAGE THAT PASS THRU LIVING GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER.
12. INSTALL PRE-FAB MTL. FIREPLACES PER MFG'S SPECS, PROVIDE L.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION.
13. PROVIDE FIRE-STOPPS IN OPENINGS AT FLOOR & CEILING OF ALL FIREPLACES.
14. PROVIDE AISC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS OF ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYPICAL.
15. LANDINGS NO MORE THAN 7'-0" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 11'-0" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
16. ALL GYPSUM BOARD TO 5/8" TYP. LVL.
17. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY CPC 408.9.
18. JENTS AND OTHER OPENINGS IN THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION (CPC 117).
19. THE FIRST 6" OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-REGULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (7/8") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2" (1500)(2) CIRC.
20. VENTING FOR ISLAND FIXTURES (VEGETABLE SINK) SHALL BE DESIGNED PER SECTION 909 OF THE 2022 CALIFORNIA PLUMBING CODE.
21. PROVIDE 2x6 SOLID LUMBER REINFORCEMENT LOCATED BETWEEN 12" & 39 1/4" ABOVE FINISHED FLOOR AND FLUSH WITH WALL FRAMING FOR FUTURE GRAB BARS IN BATHROOM IN ACCORDANCE WITH CRC SECTION 702.1.1. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. REINFORCEMENT SHALL NOT BE REQUIRED IN WALL FRAMING FOR PRE-FABRICATED SHOWER ENCLOSURES AND BATHUB WALL PANELS WITH INTEGRAL FACTORY-INSTALLED GRAB BARS OR WHEN FACTORY-INSTALLED REINFORCEMENT FOR GRAB BARS IS PROVIDED. SHOWER ENCLOSURES THAT DO NOT PERMIT INSTALLATION OF REINFORCEMENT AND/OR GRAB BARS SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.

1. PLUMBING GENERAL NOTES:

1. PROVIDE AN ACCESSIBLE SHUTOFF VALVE INSTALLED IN THE FUEL-SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AHEAD OF THE UNION CONNECTION THERETO. AN APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTEND THROUGH A WALL, FLOOR, OR PARTITION AND SHALL NOT EXTEND THROUGH THE APPLIANCE HOUSING OR CASING 2022 CMC 1312.3.
2. PROVIDE WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-CLOSING VALVES (e.g. DISHWASHER HOT WATER LINE AND THE HOT/COLD WATER LINES FOR THE CLOTHES WASHERS), 2022 CMC 806.10.
3. IN ADDITION TO PRIMARY CONDENSATE DRAINS, WHEN COOLING COILS ARE LOCATED IN AN ATTIC, A SECONDARY OR OVERFLOW SHALL BE PROVIDED. THE REQUIRED OVERFLOW LINE SHALL BE SEPARATE FROM THE PRIMARY AND SHALL TERMINATE WHERE IT IS READILY OBSERVABLE (e.g. ABOVE WINDOWS OR DOORS), CMC 1312.
4. ALL HOSE BIBBS SHALL HAVE NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE.
5. PROVIDE DBL. SEISMIC STRAPPING AT ALL WATER HEATERS.
6. PLUMBING CONTRACTOR SHALL PROVIDE 1/2" P. VALVE ON WATER HEATER AND ROUTE DISCHARGE LINE TO EXTERIOR, C.E.C.
7. IN SHOWERS & TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC.
8. NO UNDERFLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM AN ACCESS DOOR, TRAP DOOR, OR CRAWL HOLE PER CPC.
9. PLUMBING CONTRACTOR WILL PROVIDE A SINGLE LINE DIAGRAM OF THE GAS LINE INDICATING THE DISTANCE FROM THE METER TO EACH GAS-FIRED APPLIANCE. HE SHALL INCLUDE THE SIZE OF THE GAS PIPE TO EACH APPLIANCE, GAS PIPE SIZING TO BE PER TABLE 104.2 2022 CPC 1217. DIAGRAM SHALL BE PROVIDED AT TIME OF INSPECTION AND ANY INSTALLATION PRIOR TO PLAN CHECK AND APPROVAL IS AT CONTRACTORS RISK.
10. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, SHOWER AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT, THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION, (CPC 408.3).
11. EXTERIOR WATER HEATER PIPING SHALL BE INSULATED AND WRAPPED TIGHTLY WITH A UV RESISTANT TAPE (150 DECI).
12. DISHWASHER SHALL BE FITTED WITH AN AIR GAP OR A HIGH LOOP IF THE MANUFACTURERS INSTALLATION GUIDELINES ALLOW.
13. ON AND AFTER JANUARY 1, 2014, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO SINGLE-FAMILY RESIDENTIAL REAL PROPERTY, AS A CONDITION FOR ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION AND OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT, THE PERMIT APPLICANT SHALL REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES, SOME HISTORIC BUILDINGS MAY HAVE EXEMPT FIXTURES.
14. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/FLUSH. SHOWER HEADS SHALL HAVE A WATER FLOW RATE NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI.

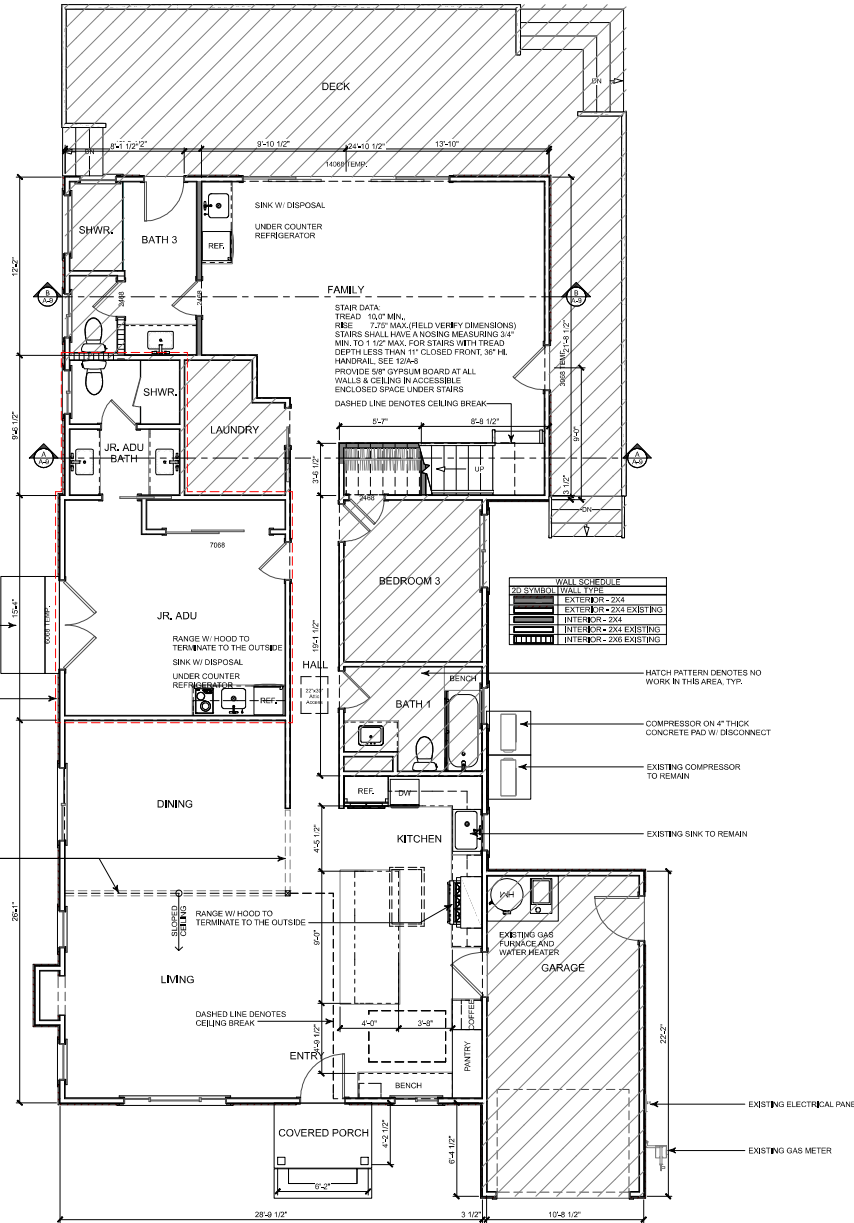
FIXTURE	IF THE WATER USAGE EXCEEDS	IT MUST BE REPLACED WITH
WATER CLOSET	1.6 GAL/ FLUSH	1.28 GAL/ FLUSH
SHOWER HEAD	2.5 GAL/ MINUTE	1.8 GAL/ MINUTE
LAVATORY FAUCET	2.2 GAL/ MINUTE	1.2 GAL/ MINUTE
KITCHEN FAUCET	2.2 GAL/ MINUTE	1.8 GAL/ MINUTE

15. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
16. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED.
17. AIR DUCTS IN GARAGE THAT PASS THRU LIVING GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER.
18. THE FIRST 6" OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-REGULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (7/8") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2" (1500)(2) CIRC.

CONCRETE LANDING TO BE 3'-0" DEEP x MIN. WIDTH OF DOOR 3'-0"

DASHED LINE DENOTES EXTENT OF JR. ADU

NEW BEAM, SEE STRUCTURAL



Proposed 1st Level Floor Plan

SCALE: 1/4" = 1'-0"

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REMODEL / 2nd LEVEL ADDITION

404 DURHAM STREET

MENLO PARK CALIFORNIA

Date: 03/29/2021

Drawn By: DW

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PROPOSED
1st LEVEL
FLOOR PLAN

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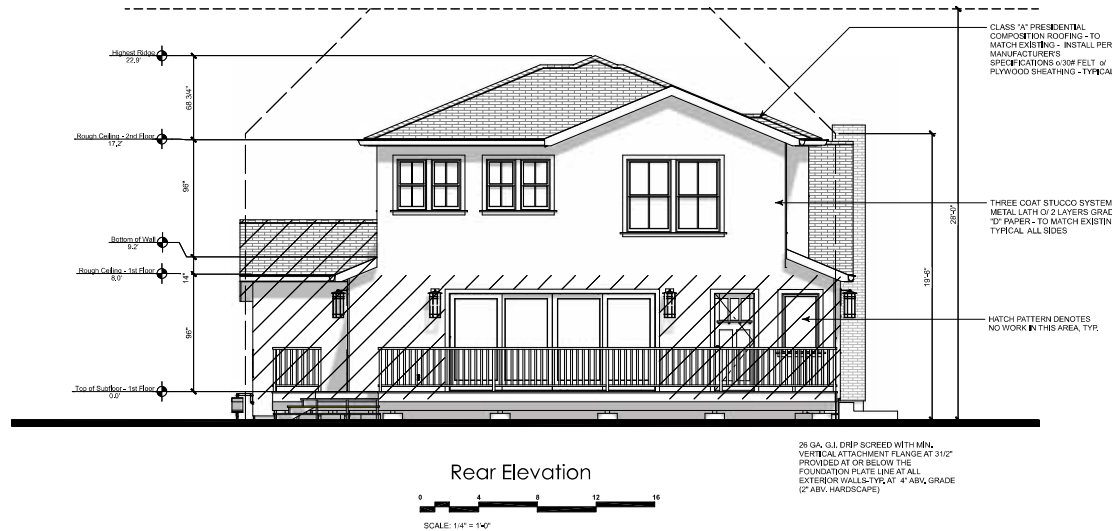
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ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALLOW SINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:

- EXTERIOR WINDOWS AND DOORS,
- AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS,
- UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS,
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM,
- EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS,
- AT BUILT-IN GUTTERS.

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Drawn By:	DW
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EXTERIOR ELEVATIONS	
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EXTERIOR ELEVATIONS

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ROOF PLAN GENERAL NOTES:

1. ARROWS INDICATE DIRECTION OF ROOF SLOPE.
2. OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (U.A.O.)
3. PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.R.C. TYPICAL.
4. INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
5. INSTALL "GAGE" GUTTER W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING.
6. PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.

ATTIC VENTILATION:

2,434.69 S.F. OF ATTIC SPACE / 300 = 7.4 S.F.
6.12 S.F. x 144 SQ. INCHES = 1,189.28 SQ. INCHES REQ'D
1,189.28 SQ. INCHES / 2 = 594.64 SQ. INCHES

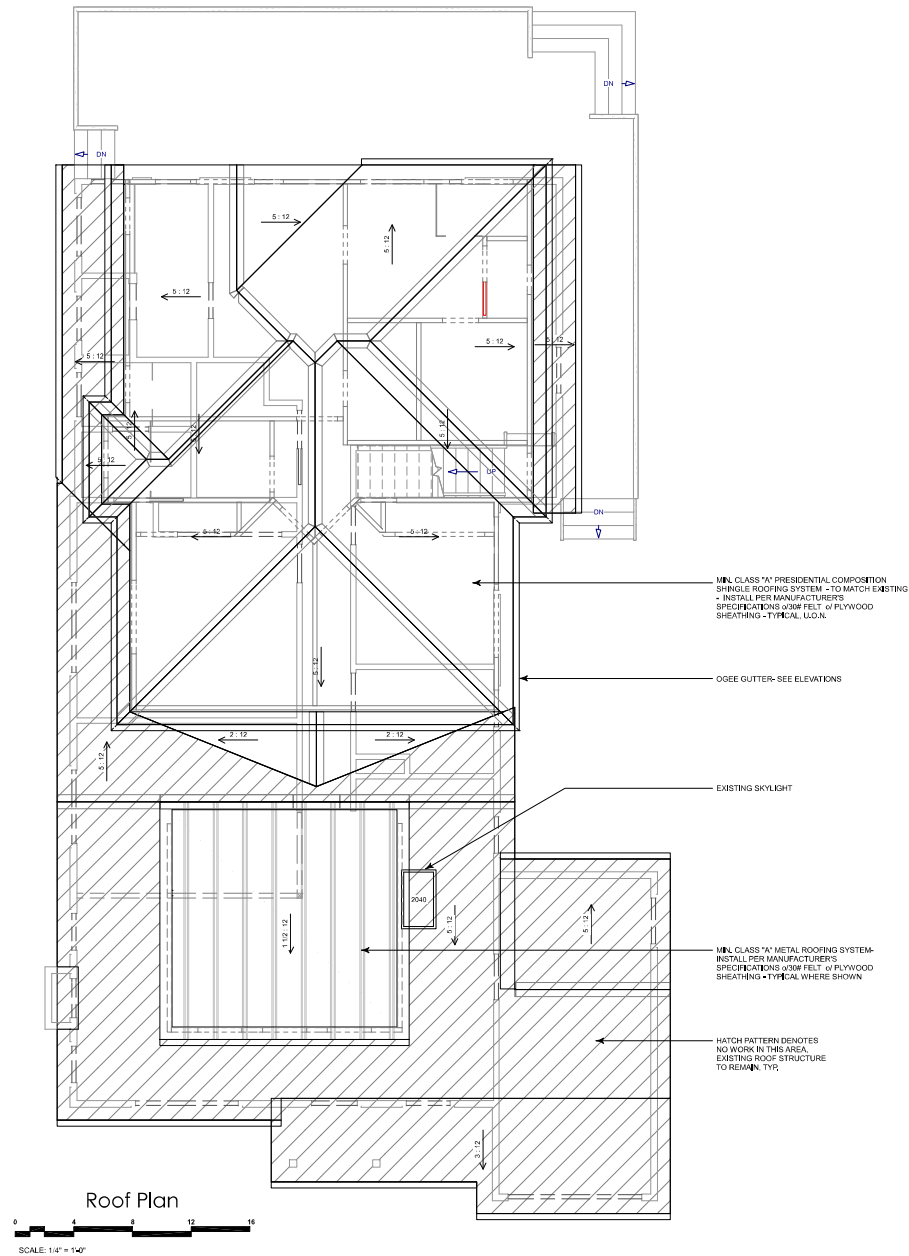
2434.69 S.F. / 2 = 1,217.35 S.F.
1,217.35 S.F. / 1,400 S.F. = 1 - ROOF ATTIC VENTILATOR - MAKE, MODEL: BROAD, 355BK (1,400 S.F. MAX, 1,200 CFM)

PROVIDE (3) 2" DIA. HOLES AT FREEZE BLKG (8 SQ. INCHES OF VENTING PER BLOCK)
584.04 SQ. INCHES REQ'D / 9 SQ. INCHES = 65 FREEZE BLOCKS REQUIRED.
PROVIDE VENTING SLATS SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

NOTE:
AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE PER C.R.C.

FOUNDATION VENTILATION:
8"X10" SIMPSON S.L. FOUNDATION VENTS TO BE EVENLY SPACED AROUND PERIMETER OF FOUNDATION FOR CROSS VENTILATION REQUIREMENTS. WHERE EXISTING VENTS ARE COVERED UP PROVIDE ADDITIONAL VENTS AS NECESSARY. VENTS SHALL NOT BE LOCATED AT SHEARWALLS

2,261.26 S.F. / 150 S.F. = 15.08 S.F.
8"X10" = 72 S.F.
15.08 S.F. / 72 S.F. = 21 VENTS MIN. REQ'D



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ROOF PLAN

Project No: 2215

Sheet No: A-8

