



5/21/25

Akos / Loop Residence Remodel & Addition – Project Description

323 Pope Street, Menlo Park

Purpose of the Proposal:

The homeowners, Gil Akos and Marie Loop, would like to have a larger kitchen for their growing family.

Scope of Work:

The kitchen will remain in its current location, and will be extended towards the rear, replacing an existing breakfast nook. The adjacent family room will get a refresh, with a new sliding door and built-in gas fireplace. The rear deck is reconfigured to provide access to a counter-height window at the kitchen addition.

Architectural Style, Materials, Colors, and Construction Methods:

The existing home is a Craftsman-style two-story structure with pale sage painted shingles, hunter green aluminum-clad windows, painted white trim details, and a dark gray composition shingle roof. The rear addition will extend the same architectural style, materials, and colors. The roof of the addition is a gable, and follows the same pitch as the existing home. The addition will be wood construction, with some metal structural beams. The floor level of the kitchen will remain at the same height as the rest of the first floor.

Basis for Site Layout:

In order to minimize disturbance to the rest of the house layout, the kitchen remains in the same location, with the addition extending to the rear yard. We eliminated a north-facing window and added no new windows on the north side, to respect the adjacent neighbor's privacy. A rear-facing window in the kitchen addition allows for a view of the yard from the kitchen sink – an important design feature for the homeowners, who have three young children who love to play and garden outside.

Existing and Proposed Uses:

The existing rear portion of the home consists of the kitchen and family room; the proposed use remains the same.

Outreach to Neighboring Properties:

The homeowners have already spoken with the immediate adjacent and rear neighbors about the proposed addition.

If you have any questions or need clarification, please feel to contact me at 650-521-7040 or hiromi@ogawafisher.com.

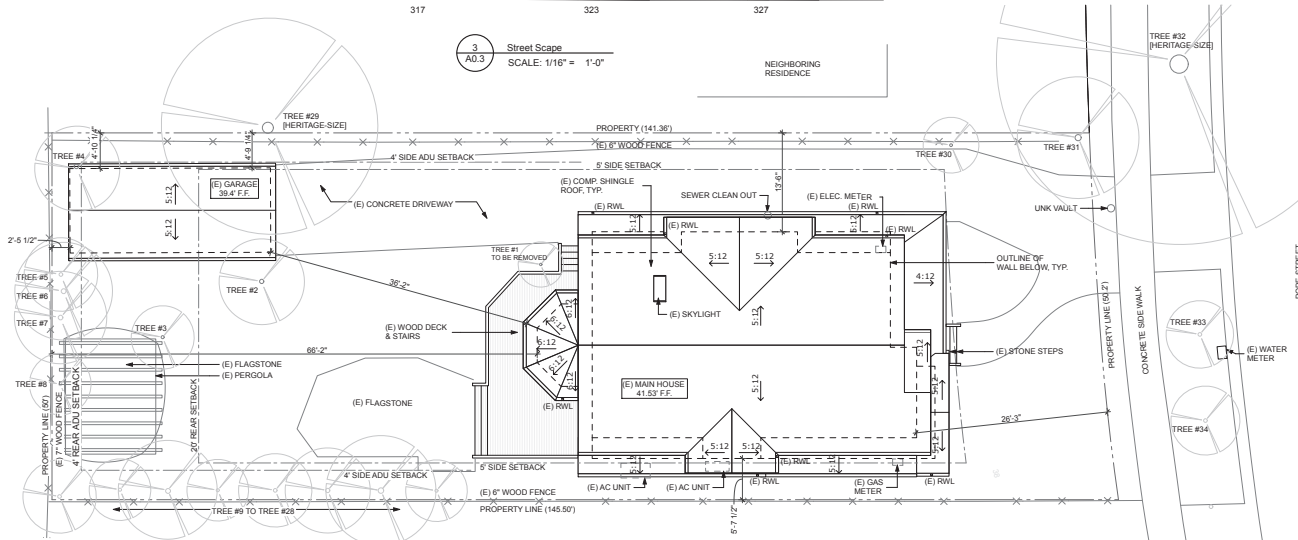
Thank you,

A handwritten signature in black ink, appearing to read 'Hiromi Ogawa', with a stylized, flowing script.

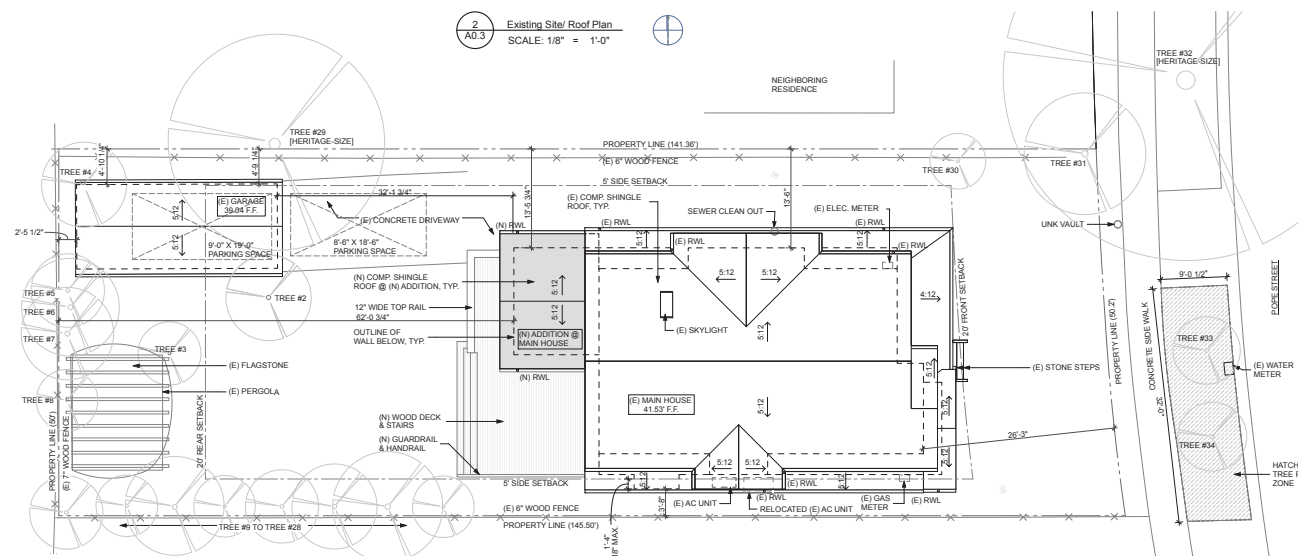
Hiromi Ogawa
Principal
Ogawa Fisher Architects



3 Street Scape
SCALE: 1/16" = 1'-0"



2 Existing Site/ Roof Plan
SCALE: 1/8" = 1'-0"



1 Proposed Site/ Roof Plan
SCALE: 1/8" = 1'-0"

SITE ANALYSIS

ZONING: R-1-U	7,185 SF
LOT AREA:	2,846.25 SF
ALLOWABLE FLOOR AREA: (7,185-7,000) X 25% + 2,800 185 X 25% + 46.25 + 2,800 NO ATTIC SPACE OVER 5'-0"	
PROPOSED FIRST FLOOR AREA:	1,487 SF
PROPOSED SECOND FLOOR AREA:	1,049 SF
GARAGE:	308 SF
TOTAL PROPOSED FLOOR AREA:	2,844 SF
LAND COVERED BY STRUCTURES:	39.5%
LANDSCAPING:	38.6%
PAVED SURFACES:	21.9%
PARKING SPACES:	1 COV1 UNCOV
ALL GRADES TO REMAIN NATURAL	

TREE LIST

- #1 3.7' MAYTEN TREE; TO BE REMOVED
- #2 7' MAIDENHAIR TREE; TO REMAIN
- #3 5.1' JAPANESE MAPLE; TO REMAIN
- #4 7.2' ENGLISH LAUREL; TO REMAIN
- #5 6' LEMONWOOD TREE; TO REMAIN
- #6 8' LEMONWOOD TREE; TO REMAIN
- #7 1.5' LEMONWOOD TREE; TO REMAIN
- #8 5' LEMONWOOD TREE; TO REMAIN
- #9 6' LEMONWOOD TREE; TO REMAIN
- #10 5' LEMONWOOD TREE; TO REMAIN
- #11 8' LEMONWOOD TREE; TO REMAIN
- #12 5' LEMONWOOD TREE; TO REMAIN
- #13 6' LEMONWOOD TREE; TO REMAIN
- #14 7' LEMONWOOD TREE; TO REMAIN
- #15 5' LEMONWOOD TREE; TO REMAIN
- #16 5' LEMONWOOD TREE; TO REMAIN
- #17 7' LEMONWOOD TREE; TO REMAIN
- #18 7' LEMONWOOD TREE; TO REMAIN
- #19 8' LEMONWOOD TREE; TO REMAIN
- #20 8' LEMONWOOD TREE; TO REMAIN
- #21 4' LEMONWOOD TREE; TO REMAIN
- #22 6' LEMONWOOD TREE; TO REMAIN
- #23 4' LEMONWOOD TREE; TO REMAIN
- #24 5.8' CHINESE PISTACHE TREE; TO REMAIN
- #25 4' LEMONWOOD TREE; TO REMAIN
- #26 4' LEMONWOOD TREE; TO REMAIN
- #27 6' EUROPEAN PLUM TREE; TO REMAIN
- #28 8' EUROPEAN PLUM TREE; TO REMAIN
- #29 18' SWEET BAY TREE; TO REMAIN (HERITAGE-SIZE)
- #30 4.5' SWEET BAY TREE; TO REMAIN
- #31 10' OLIVE TREE; TO REMAIN
- #32 30' SOUTHERN MAGNOLIA; TO REMAIN (HERITAGE-SIZE)
- #33 5.5' PRINCETON AMERICAN ELM; TO REMAIN
- #34 5.6' PRINCETON AMERICAN ELM; TO REMAIN

OGAWA
FISHER

architects

www.ogawafisher.com
715 Colorado Avenue, Suite D
Palo Alto, California 94303-3907



Alkos / Loop Residence
Remodel/Addition & New ADU

323 Pope St.
Menlo Park, CA 94025
APN: 062-361-020
OFA job number 2416

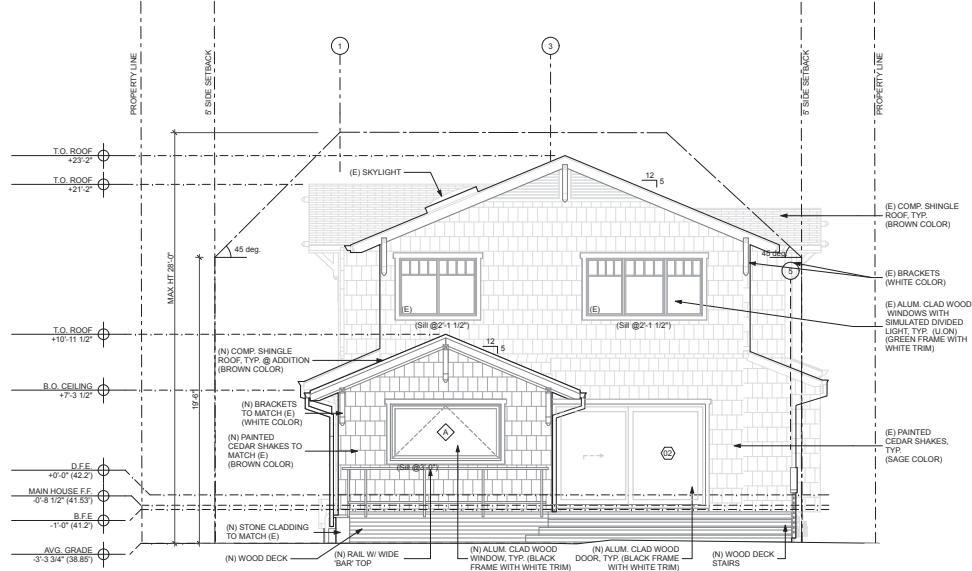
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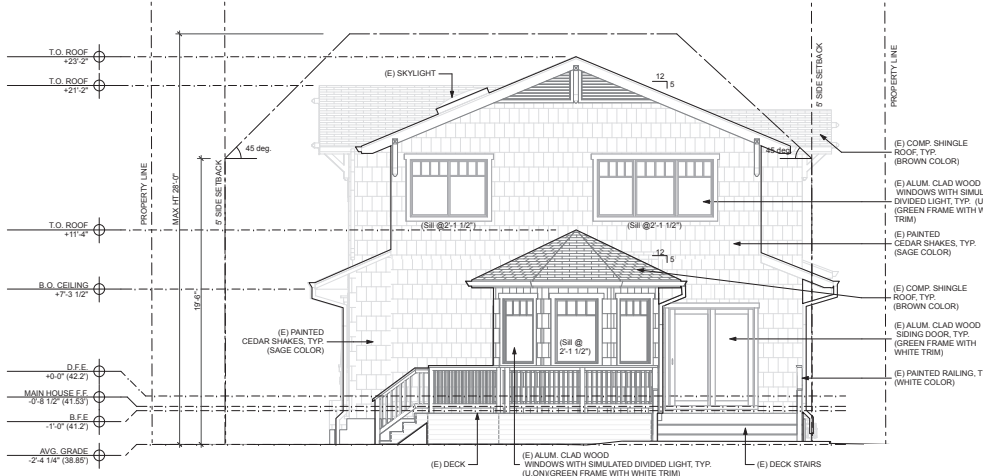
Existing &
Proposed Site/
Roof Plan

sheet number

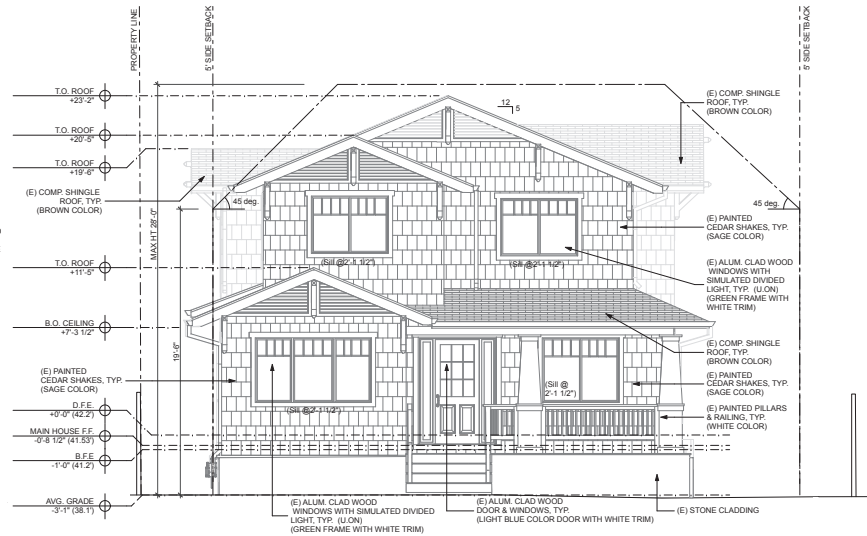
A0.3



3
A2.0 Proposed Main House West/Rear Exterior Elevation
SCALE: 1/4" = 1'-0"



2
A2.0 Existing Main House West/Rear Exterior Elevation
SCALE: 1/4" = 1'-0"



1
A2.0 Existing Main House East/Front Exterior Elevation - NO CHANGE
SCALE: 1/4" = 1'-0"



WEST/REAR EXISTING ELEVATION



EAST/FRONT EXISTING ELEVATION - NO CHANGE



WEST/REAR PROPOSED ELEVATION

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Existing &
Proposed
Exterior
Elevations

sheet number

A2.0



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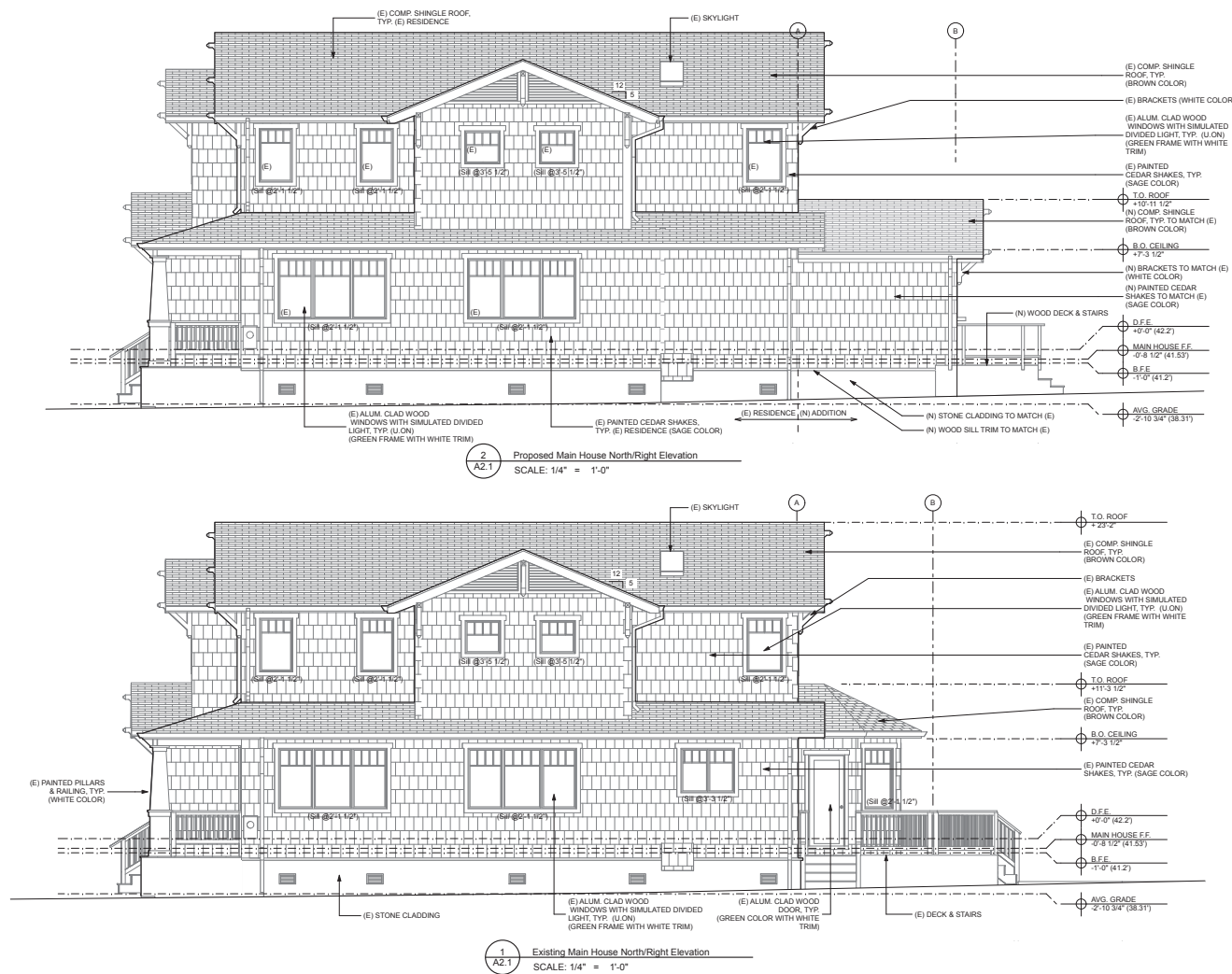
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Existing &
Proposed
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Elevations

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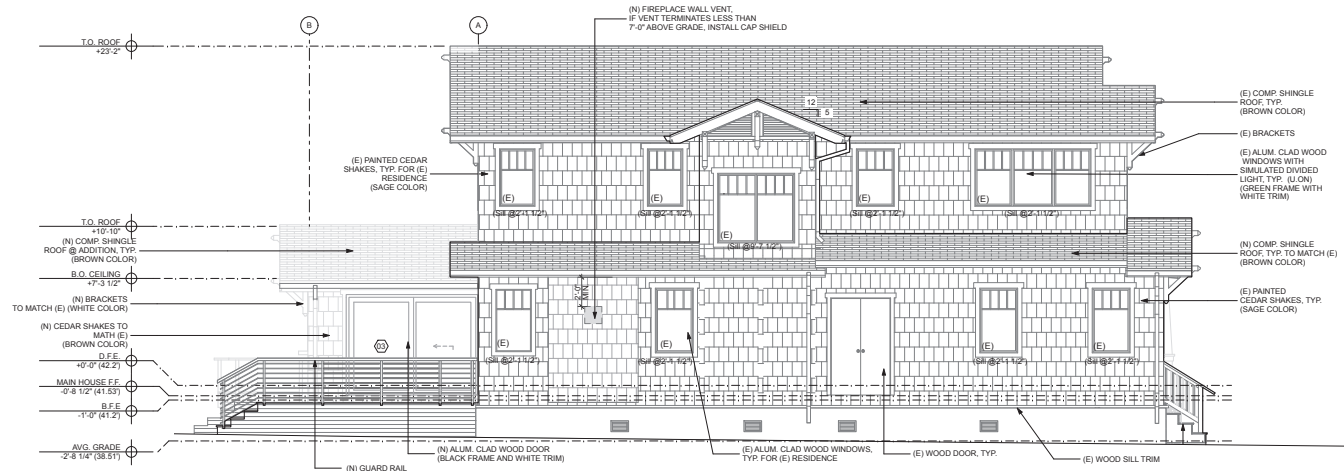
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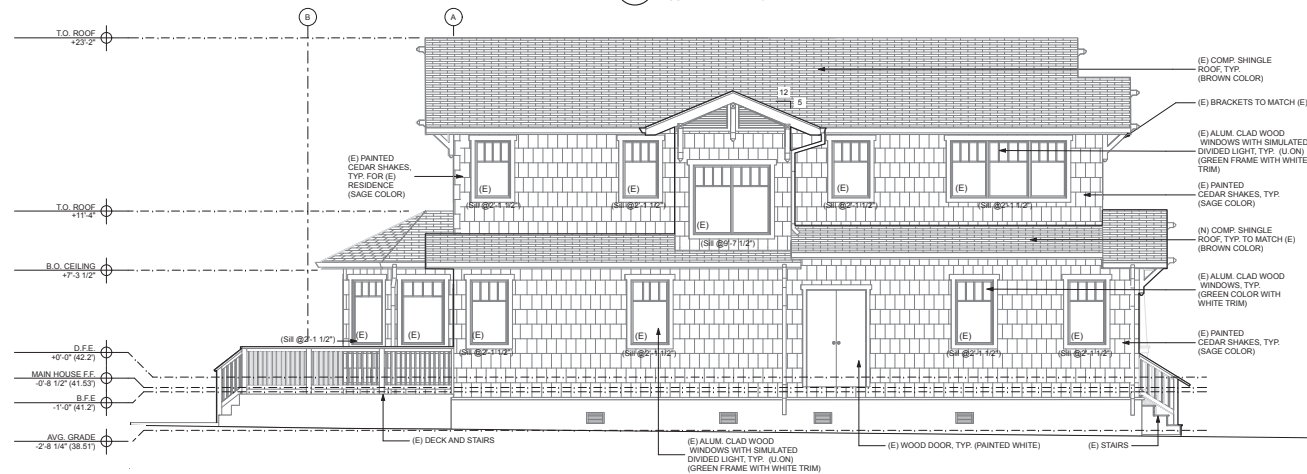


Alkos / Loop Residence
Remodel/Addition & New ADU

323 Pope St.
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OFA job number 2416



2
A2.2
Proposed Main House South/Left Exterior Elevation
SCALE: 1/4" = 1'-0"



1
A2.2
Existing Main House South/Left Exterior Elevation
SCALE: 1/4" = 1'-0"

revisions

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Existing &
Proposed
Exterior
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sheet number

A2.2