

1917 Euclid Avenue Project Description `

The project scope is to replace the existing home with a new modern steel and glass two storey home with a site built two car garage. A deck will be added to the roof of the garage. In the back yard a deck will be added to the home and an existing structure will be converted to an ADU.

The main modular home will be black Corten steel with cedar accents. The site-built garage will be white and cedar siding with a vertical bi fold door. The roof top deck will be wood framed. The railing will be an engineered steel with glass partitions. The back deck will be site-built wood structure with an engineered glass guardrail system.

There is an existing leisure structure that will be converted into a functional ADU. Proposed work includes formal development and legalization of kitchen to meet criteria of ADU. No exterior alterations required or proposed.

HONOMOBO - HO709 (HS8)

SOOREDDY RESIDENCE
1917 EUCLID AVE, MENLO PARK,
CALIFORNIA, USA, 94025
063-472-020

GENERAL CODE COMPLIANCE - CALIFORNIA, USA

THESE PLANS ARE IN COMPLIANCE WITH THE FOLLOWING ADOPTED CALIFORNIA STATE REGULATIONS. ANY ERRORS OR OMISSIONS DO NOT WAIVE CODE REQUIREMENTS.

- 2022 PART 2.5 CA RESIDENTIAL CODE w/ 2024 SUPPLEMENT
- 2022 PART 3 CA ELECTRICAL CODE
- 2022 PART 4 CA MECHANICAL CODE w/ 2024 SUPPLEMENT
- 2022 PART 5 CA PLUMBING CODE w/ 2024 SUPPLEMENT
- 2022 PART 6 CA ENERGY CODE w/ 2024 SUPPLEMENT
- 2022 PART 10 CA EXISTING BUILDING CODE w/ 2024 SUPPLEMENT
- 2022 PART 11 CA GREEN BUILDING STANDARDS CODE (CALGREEN) w/ 2024 SUPPLEMENT

2022 Part 9 CA Fire Code w/ 2024 Supplement

ALONG WITH ALL OTHER APPLICABLE STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS.

ITEMS TO BE COMPLETED ON SITE:

THE FOLLOWING WORK IS TO BE PERFORMED ON SITE (WHEN REQUIRED) BY A QUALIFIED CONTRACTOR AND ARE NOT INCLUDED AS PART OF THE FACTORY BUILT PORTION OF THE BUILDING. QUALIFIED CONTRACTOR SITE SCOPE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO:

- FOUNDATION AND SITE BUILT COMPONENTS
- UTILITY TIE-INS & SITE SERVICES
- ALL SITE WORKS/GRADING/LANDSCAPING

THE FOLLOWING ARE THE WORK RELATED TO THE APPROVED MODULAR UNITS THAT ARE TO BE PERFORMED AT THE SITE AND NOT INCLUDED IN FACTORY BUILT PORTION OF THE BUILDING:

- PLACE HOUSE ON FOUNDATION
- HOME CONNECTION TO FOUNDATION
- INTERCONNECT UTILITIES:
 - A. POWER-BY OTHERS
 - B. WATER-BY OTHERS
 - C. SEWER/SEPTIC-BY OTHERS
 - D. STORM WATER BY OTHERS

EXTERIOR:

- CONNECT MODULAR UNIT TO FOUNDATION @ MODULE CONNECTIONS
 - A. INSTALL INSULATION @ CAVITY VOIDS @ MATELINES
 - B. LAP & SEAL ROOF MEMBRANE @ PARAPETS
 - C. INSTALL GAP FLASHING @ PARAPETS
 - D. LAP & SEAL VERTICAL CONNECTIONS
 - E. INSTALL FLASHING/HARDIE @ VERTICAL CONNECTIONS
 - F. INSTALL SOFT FINISHING @ MATELINES
- INSTALL GUTTERS AND DOWNSPOUTS
- LANDINGS, DECKS AND/OR GUARDS BY OTHERS
- INSULATE UNDERSIDE OF HOME WHEN REQUIRED

Minimum Required DC System Size - (kWdc) - 3.07

Required HERS Inspections

- III Indoor air quality, balanced fan
- III IAQ Ventilation System: as low as 0.36 WCFM
- III IAQ Ventilation System Heat Recovery: minimum 77 SRE and 80 ASRE
- III IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- III IAQ Ventilation System: fault indicator display
- III Cool roof
- III Roof has high level of insulation
- III Window overhangs and/or fins
- III Non-standard duct location (any location other than attic)
- III Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed
- III One or more heat pump water heaters have been modeled as demand response compatible

BUILDING INFORMATION:

HSE UNIT

- STACKED HOS UNIT: 24'-0" X 42'-0" = 1,008 SF
- STAIRCASE: 8'-0" X 20'-0" = 208 SF
- GARAGE: 24'-0" X 20'-0" = 480 SF

- OCCUPANCY TYPE: SINGLE FAMILY RESIDENTIAL



* IMAGE FOR ILLUSTRATION PURPOSES ONLY. FINAL PRODUCT MAY NOT BE EXACTLY AS SHOWN

INTERIOR :

- AT MODULE CONNECTIONS:
 - A. FLOOR LEVELER AT INTERIOR MATELINES
 - B. DRYWALL, TAPE AND COAT AT WALL MATE LINES
 - C. CABINET INSTALL IN INTERCONNECT AREAS
 - PLACE KITCHEN ISLAND AND CABINETS AT MOD LINE
 - CONNECT DUCTWORK BETWEEN MODULES
 - ELECTRICIAN TO CONNECT WIRING BETWEEN MODULES AND TO HOME-BY OTHERS
 - BLOWER DOOR TESTING AND CERTIFICATION WHEN REQUIRED BY OTHERS
 - SPRINKLERS DESIGNED AND INSTALLED BY OTHERS

ELECTRICAL:

- TEMP POWER SERVICE BY OTHER
- PERMANENT SERVICE LINE AND METER PANEL BY OTHER
- UNDER GROUND CONNECTION BY OTHER
- MODULE TO MODULE ELECTRICAL CONNECTIONS
- HEAT PUMP CONNECTION
- SURGE PROTECTION BY OTHER

FIRE SUPPRESSION:

- FIRE EXTINGUISHERS TO BE SUPPLIED AND INSTALLED ON SITE BY OTHERS IN ACCORDANCE WITH 2022 29C R313.2 OR NFPA 13D-2022
- FIRE SUPPRESSION SYSTEMS TO BE SITE INSTALLED BY LICENSED CONTRACTOR IN ACCORDANCE WITH 2022 CRC R313.2 OR NFPA 13D-2022

GENERAL NOTES

1. AS A MINIMUM ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE MOST CURRENT BUILDING CODE AND/OR APPLICABLE BY-LAWS AND REGULATIONS OF LOCAL AUTHORITIES HAVING JURISDICTION, INCLUDING THEIR APPENDIX AND REFERENCED STANDARDS.
2. CONTRACTOR SHALL KEEP JOB SITE FREE OF TRASH AND GARBAGE, AND SHALL IMMEDIATELY COLLECT ANY CONSTRUCTION RELATED DEBRIS.
3. IT IS THE CONTRACTOR AND/OR OWNERS RESPONSIBILITY TO INFORM THEMSELVES OF THE EXACT LOCATION OF AND ASSUME ALL LIABILITY FOR DAMAGE TO: ALL POLE LINES, CONDUITS, WATER MAINS, SEWERS + ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES BEFORE COMMENCING WORK. SUCH DETAIL MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS AND THEIR LOCATION IF SHOWN MAY NOT BE EXACT.
4. ALL INTERIOR DOORS TO BE 3" FROM CORNER UNLESS NOTED OTHERWISE.
5. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES. OBTAIN ACCURATE DIMENSIONS FROM SITE AS REQUIRED.
6. ALL MECHANICAL, ELECTRICAL, STRUCTURAL, AND ARCHITECTURAL COMPONENTS MUST BE COORDINATED BY THE CONTRACTOR. CONTRACTOR MUST REPORT ANY DISCREPANCIES THAT EXIST PRIOR TO COMMENCEMENT OF WORK.
9. ALL FLOOR DRAIN AND VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
8. ALL PENETRATIONS (WINDOWS, ELECTRICAL WIRING & BOXES, PIPING, ETC.) IN VAPOUR BARRIER TO BE SEALED WITH ACOUSTIC SEALANT.
9. METHODS OF FLASHING MUST CONFORM TO CODE. FLASHING IS REQUIRED IN ALL ROOF PARAPETS INCLUDING OVER ALL OPENINGS IN EXTERIOR WALLS.
10. THE FOLLOWING PROJECT IS **HCD CERTIFIED MODULAR UNIT** AND LABELED AS SUCH.

NOTE:
BUILDING SEPERATION- A 1" MINIMUM STRUCTURAL GAP SHALL BE PROVIDED BETWEEN THE APPROVED MODULAR BUILDING AND ALL ADJACENT STRUCTURES IN EACH ORTHOGONAL DIRECTION

DRAWING LIST	NUMBER
COVER	A/A.000
SITE PLAN	A/A.100
FOUNDATION PLAN	A/A.101
MAIN FLOOR PLAN	A/A.102
SECOND FLOOR PLAN	A/A.103
ROOF PLAN	A/A.104
ELEVATIONS PROJECT NORTH & PROJECT SOUTH	A/A.201
ELEVATIONS PROJECT EAST & PROJECT WEST	A/A.202
BUILDING SECTIONS - 1	A/A.301
BUILDING SECTIONS - 2	A/A.302
UNIT TO SITE BUILT ARCHITECTURAL DETAILS @ INSTALL - 1	A/A.501
UNIT TO SITE BUILT ARCHITECTURAL DETAILS @ INSTALL - 2	A/A.502
UNIT TO SITE BUILT ARCHITECTURAL DETAILS @ INSTALL - 3	A/A.503
SITE BUILT ARCHITECTURAL DETAILS - 1	A/A.504
SITE BUILT ARCHITECTURAL DETAILS - 2	A/A.505

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		<div>CHECKED BY:</div> <div>NM</div>	<div>SHEET NO.:</div> <div>A(A)000</div>

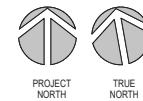
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VENT SCHEDULE (CRAWL SPACE) (HO3)			
ITEM	QTY.	R.O. SIZE (W x H)	DESCRIPTION
S-V01	4	14" x 6"	EMBER & FIRE RESTISTANT VENT -VFS614- VULCAN VENT (NFVA=41SI) CUT OUT 13.5" x 5.5"

* **TERMITE PROTECTION:**
EXTERNAL STRUCTURAL WOOD MEMBERS TO BE TREATED PER BCBC 9.3.2.9 REQUIREMENTS

- 1" SLOPED RIGID EPS INSULATION R2
- 3/4" T&G PLYWOOD SUBFLOOR
- WOOD JOISTS OR T/J (REFER TO STRUCTURAL)
- FIBERGLASS BATT INSULATION TO FILL CAVITY (NO VOIDS) R38
- 6mil POLY VAPOUR BARRIER
- 5/8" TYPE "X" GYPSUM WALL BOARD (SANDED, PAINTED)



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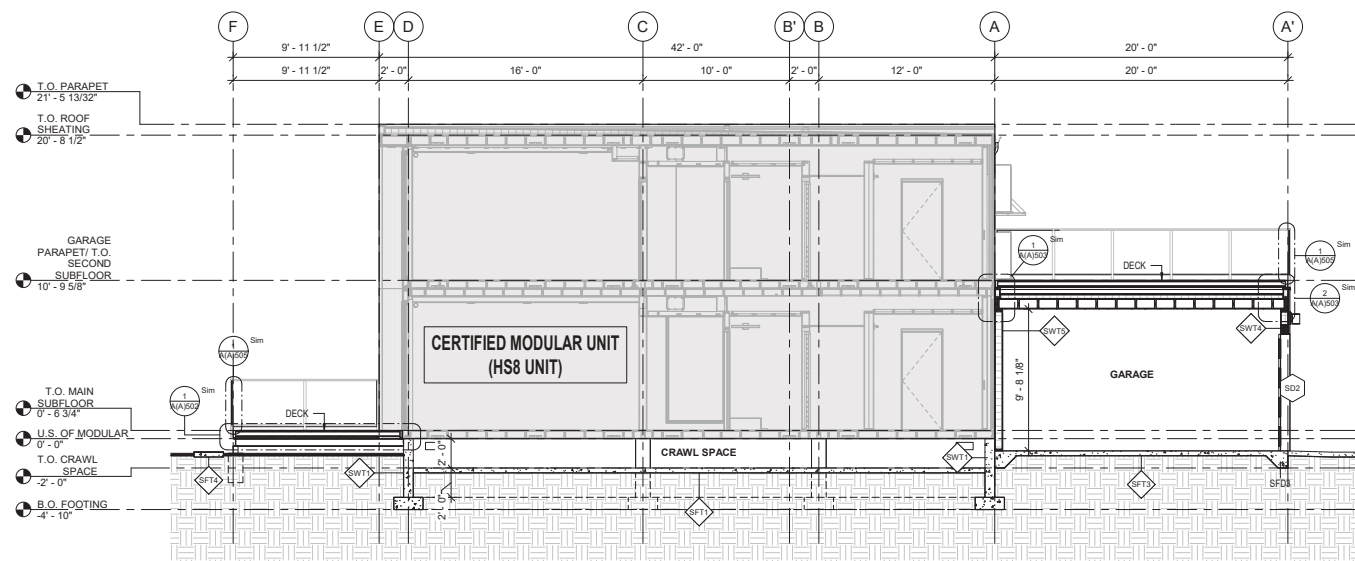
H0709 - SOOREDDY RESIDENCE

LOCATION:	1917 EUCLID AVE, MENLO PARK, CALIFORNIA
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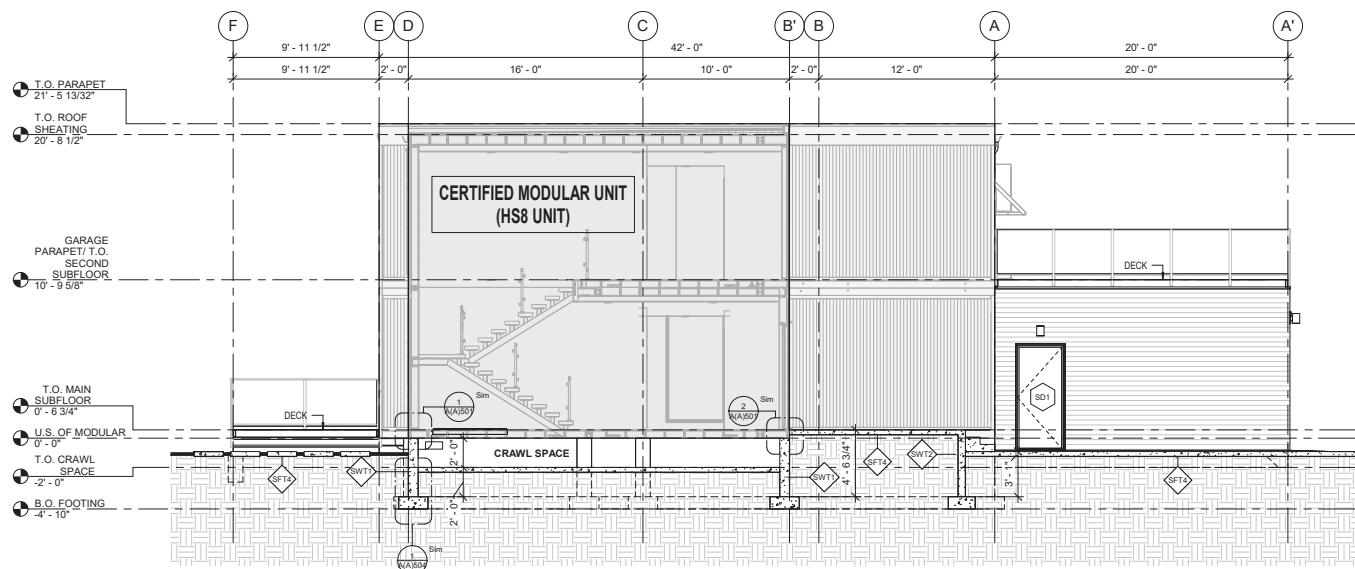
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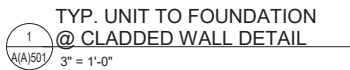
BUILDING SECTION 1

$$1/4'' = 1'-0''$$


BUILDING SECTION 2

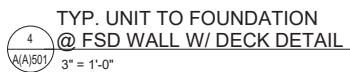
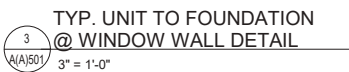
$$1/4'' = 1'-0''$$

NOTE:
B.O. FOOTINGS TO BE BELOW LOCAL FROST DEPTH

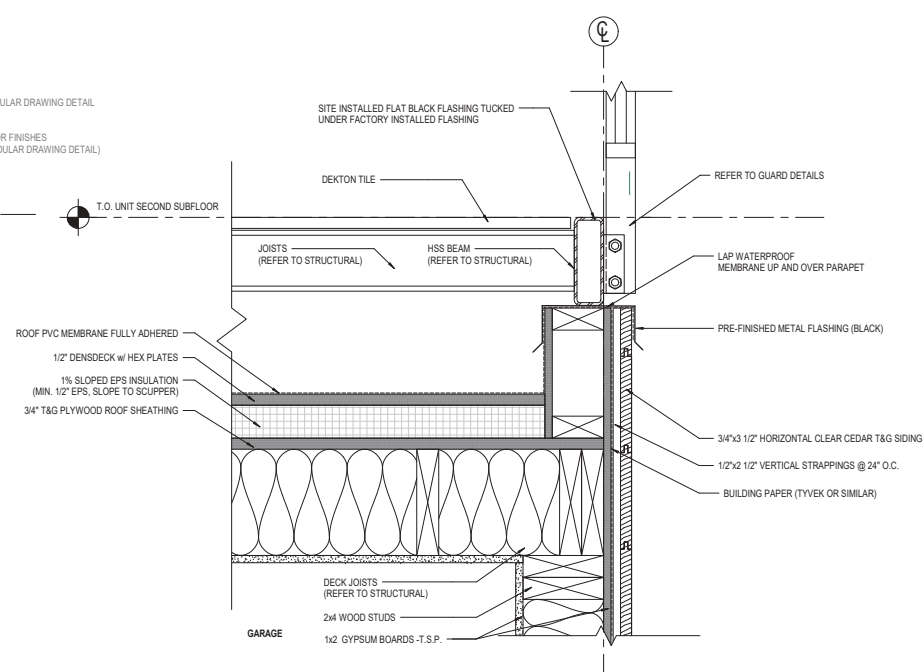


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TYP. UNIT TO FOUNDATION
@ CLADDED WALL W/ CONCRETE SLAB
3" = 1'-0"



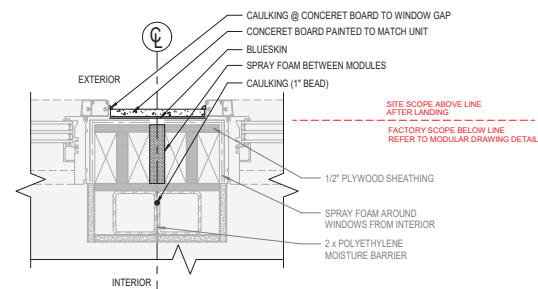
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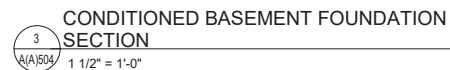
NON-PERMEABLE ROOF TO SCUPPER
SECTION DETAIL

3" = 1'-0"



5 WINDOW WALL @ MOLDING
A(A)503 3" = 1'-0"

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HC8

H0709 - SOUREDDY RESIDENCE

1917 EUCLID AVE. MENLO PARK

CALIFORNIA

SHEET: SITE BUILT ARCHITECTURAL
TITLE: DETAILS 2

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