

PROJECT DESCRIPTION LETTER

Project Name: Changxu & Yaying Residence – New Single-Family Home with Attached ADU

Project Address: 1908 Menalto Avenue, Menlo Park, CA 94025

APN: 063-425-020

Prepared By:

Hao Wang, AIA, LEED AP BD+C

HW Architecture

20111 Stevens Creek Blvd, Cupertino, CA 95014

T: 925-464-9364 | E: haowang@hw-arch.com

PURPOSE OF THE PROJECT

The applicants propose to demolish the existing duplex located at 1908 Menalto Avenue and construct a new two-story single-family residence with an attached accessory dwelling unit (ADU). The proposed development is intended to serve as the long-term primary residence for the property owners and their family and is designed to be compatible with the surrounding residential neighborhood.

PROJECT SCOPE

- Demolition of the existing duplex and associated site improvements.
- Construction of a new two-story single-family residence with an attached ADU.
 - Main residence floor area (excluding ADU): 2,960 square feet
 - Attached ADU floor area: 799 square feet
 - Attached garage: 445 square feet (two covered parking spaces)
- Site improvements including new driveway, walkways, decks, landscaping, fencing modifications, and permeable paving.

- Provision of two covered and two uncovered parking spaces, consistent with City requirements.

ARCHITECTURAL DESIGN

The proposed residence is designed in a contemporary architectural style, incorporating clean massing, articulated volumes, and high-quality exterior materials. The exterior palette includes smooth stucco, wood-toned cladding, and aluminum-framed windows. The building design emphasizes compatibility with the existing streetscape through appropriate scale, setbacks, and orientation toward Menalto Avenue.

Fenestration and building placement have been carefully designed to minimize privacy impacts to adjacent properties while allowing for adequate daylight, ventilation, and outdoor space for future occupants.

SITE PLANNING AND ZONING

The project complies with applicable Menlo Park Municipal Code development standards, including:

- Zoning District: R-2
- Lot Area: 7,412 square feet
- Maximum Floor Area Ratio (FAR): 40% (Proposed FAR: 39.9%)
- Building Height: Approximately 25 feet 9 inches (maximum allowed: 28 feet)
- Site Coverage: Approximately 33.3% (maximum allowed: 35%)
- Required front, side, and rear setbacks are met or exceeded.

Existing grades will generally be maintained, and the proposed landscape design will improve site permeability and visual quality.

EXISTING AND PROPOSED USE

- Existing Use: Duplex residential structure.

- Proposed Use: One single-family residence with an attached accessory dwelling unit, for residential use only.

The ADU will be accessory to the primary residence and will comply with all applicable State and local ADU regulations.

NEIGHBORHOOD OUTREACH

In accordance with City of Menlo Park neighborhood outreach requirements, the property owners mailed notification letters describing the proposed project to surrounding property owners on November 17, 2025. Copies of the outreach letter and the list of notified addresses are included with this application.

The following addresses were contacted:

**1905 Menalto Ave; 1109 Woodland Ave; 1111 Woodland Ave; 1911 Menalto Ave;
1103 Woodland Ave; 1909 Menalto Ave; 1912 Menalto Ave**

As of the date of this submittal, no comments or objections have been received.

CONCLUSION

The proposed project replaces an existing duplex with a well-designed, code-compliant single-family residence and attached ADU that enhances site functionality while remaining consistent with the scale and character of the surrounding neighborhood. The project meets applicable development standards and is respectfully submitted for Planning review.



HW ARCHITECTURE

1 PERSPECTIVE RENDERING, FACING MENALTO AVE
Scale: N/A



2011 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9064

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS,
COMPUTER FILES, FIELD DATA, NOTES AND
OTHER DOCUMENTS AND INSTRUMENTS
PREPARED BY THE CONSULTANT AND
INSTRUMENTS OF SERVICE SHALL REMAIN
THE PROPERTY OF THE CONSULTANT. THE
CONSULTANT SHALL RETAIN ALL COMMON
LAW, STATUTORY AND OTHER RIGHTS SERVED
RIGHTS, INCLUDING THE COPYRIGHT
THEREIN.



1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

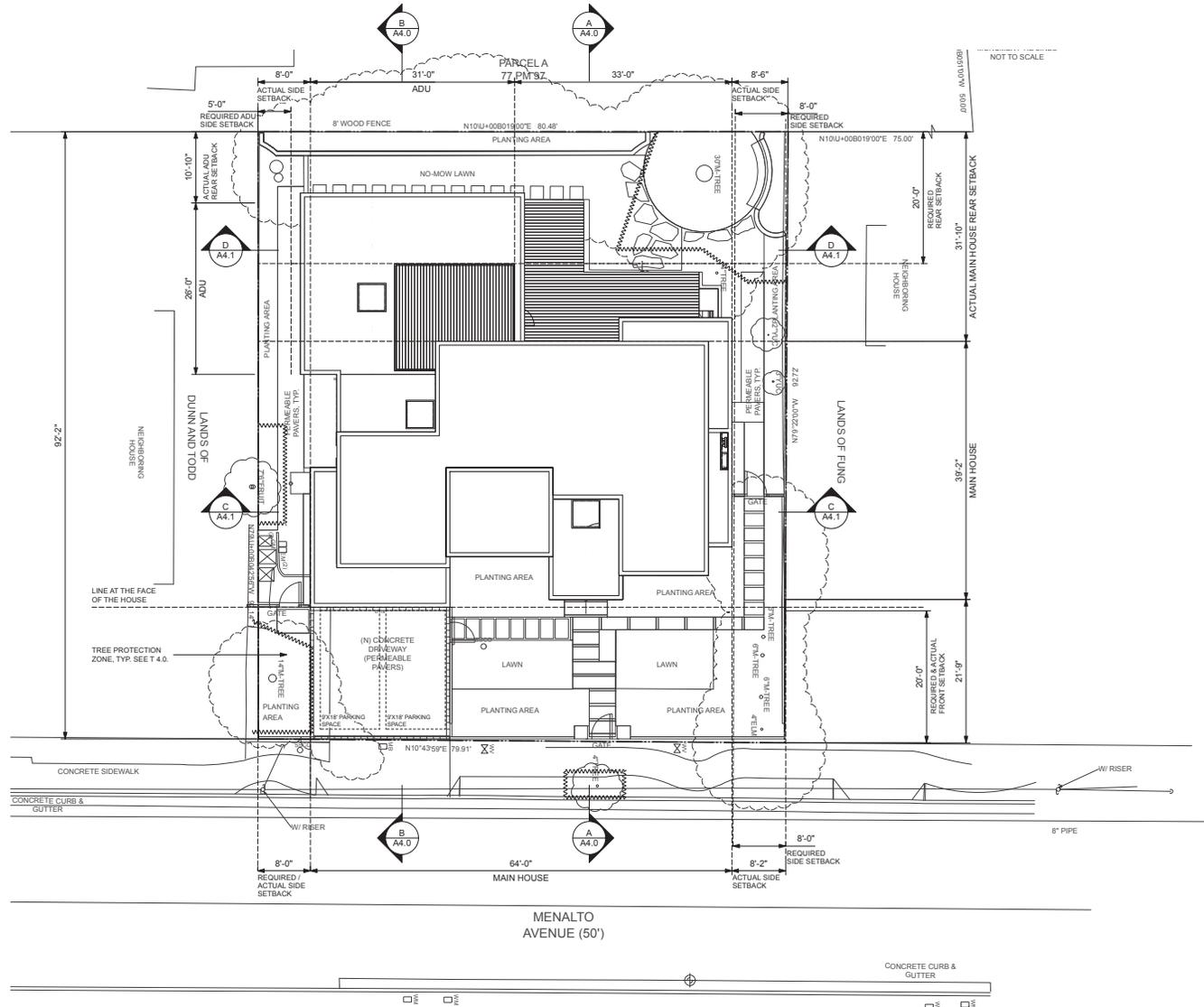
FOR	_____
PLANNING PERMIT	_____
DATE	23 DEC 2025
SCALE	_____
AS NOTED	_____
DRAWN BY	HW & SJ
JOB NUMBER	25116
REVISIONS	_____
_____	_____
_____	_____
_____	_____
_____	_____

PERSPECTIVE RENDERING

A0.2

xSITE ANALYSIS
 Zoning: R2
 LOT AREA: 7,412 sf
 FLOOR AREA RATIO: 40%
 NO ATTIC SPACE OVER 5'0"
 PROPOSED FIRST FLOOR AREA: 1,408 sf
 PROPOSED SECOND FLOOR AREA: 1,107 sf
 PROPOSED GARAGE: 445 sf
 TOTAL PROPOSED FLOOR AREA: 2,960 sf
 PROPOSED ATTACHED ADU: 799 sf

LAND COVERED BY STRUCTURES 33.3%
 LANDSCAPING 18%
 PAVED SURFACES 16.8%
 PARKING SPACES 2 COV (GARAGE) / 2 UNCOV
 ALL GRADES TO REMAIN NATURAL



1 (N) SITE PLAN
 Scale: 1/8" = 1'-0"



2011 STEVENS CREEK BLVD.
 CUPERTINO, CA 95014
 haowang@hw-arch.com
 925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
 ALL REPORTS, PLANS, SPECIFICATIONS,
 COMPUTER FILES, FIELD DATA, NOTES AND
 OTHER DOCUMENTS AND INSTRUMENTS
 PREPARED BY THE CONSULTANT ARE
 THE PROPERTY OF THE CONSULTANT. THE
 CONSULTANT SHALL RETAIN ALL COMMON
 LAW, STATUTORY AND OTHER RIGHTS SERVED
 HERETO, INCLUDING THE COPYRIGHT
 HERETO.



1908 MENALTO
 1908 MENALTO AVE
 MENLO PARK
 CALIFORNIA
 94025

PROPERTY OWNERS
CHANGXU & YAYING
 1908 MENALTO AVE
 MENLO PARK
 CALIFORNIA
 94025

FOR	PLANNING PERMIT
DATE	23 DEC 2024
SCALE	AS NOTED
DRAWN BY	HW & SJ
JOB NUMBER	2516
REVISIONS	

(N) SITE PLAN
A2.0



20111 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE CONSULTANT AND INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS SERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



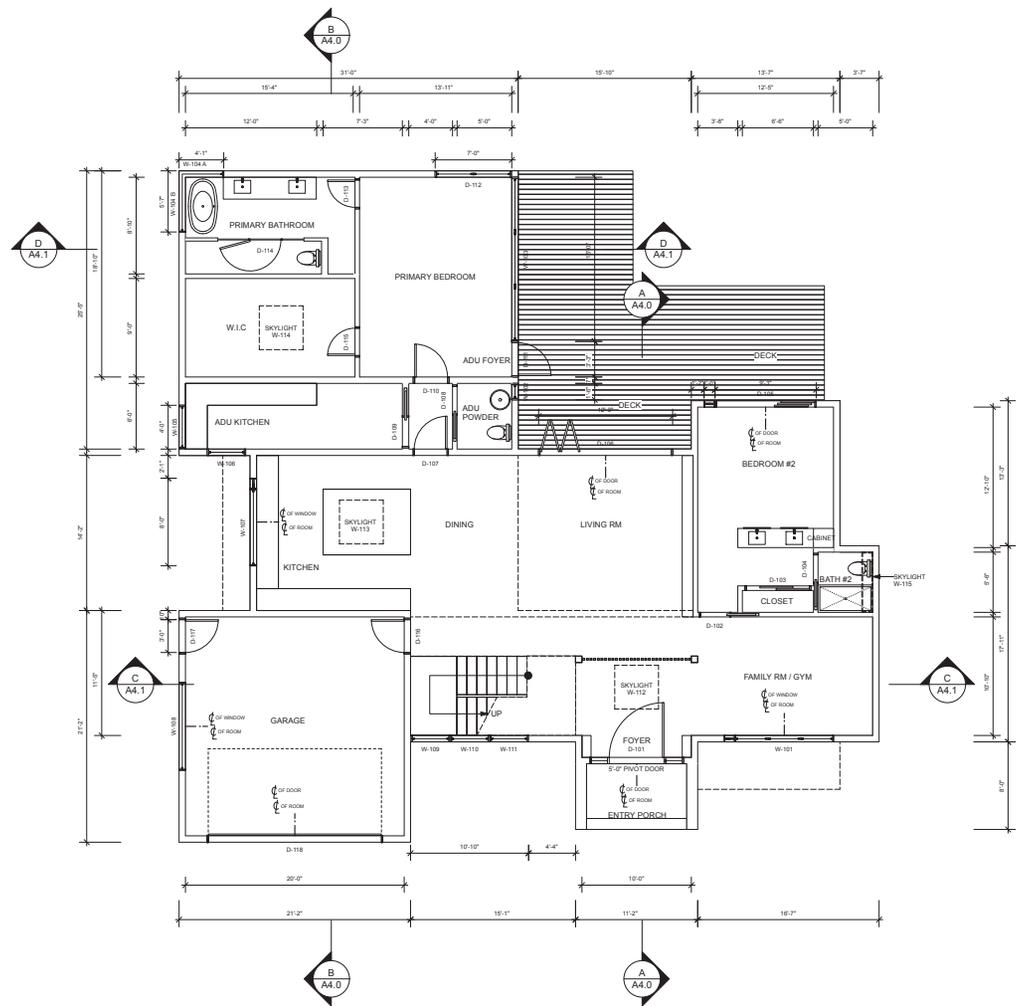
1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

FOR	_____
PLANNING PERMIT	_____
DATE	23 DEC 2024
SCALE	AS NOTED
DRAWN BY	HW & SJ
JOB NUMBER	23116
REVISIONS	_____

(N) FLOOR PLAN

A2.1



1 1ST FLOOR PLAN
Scale: 3/16" = 1'-0"





2011 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE CONSULTANT AND INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER SERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



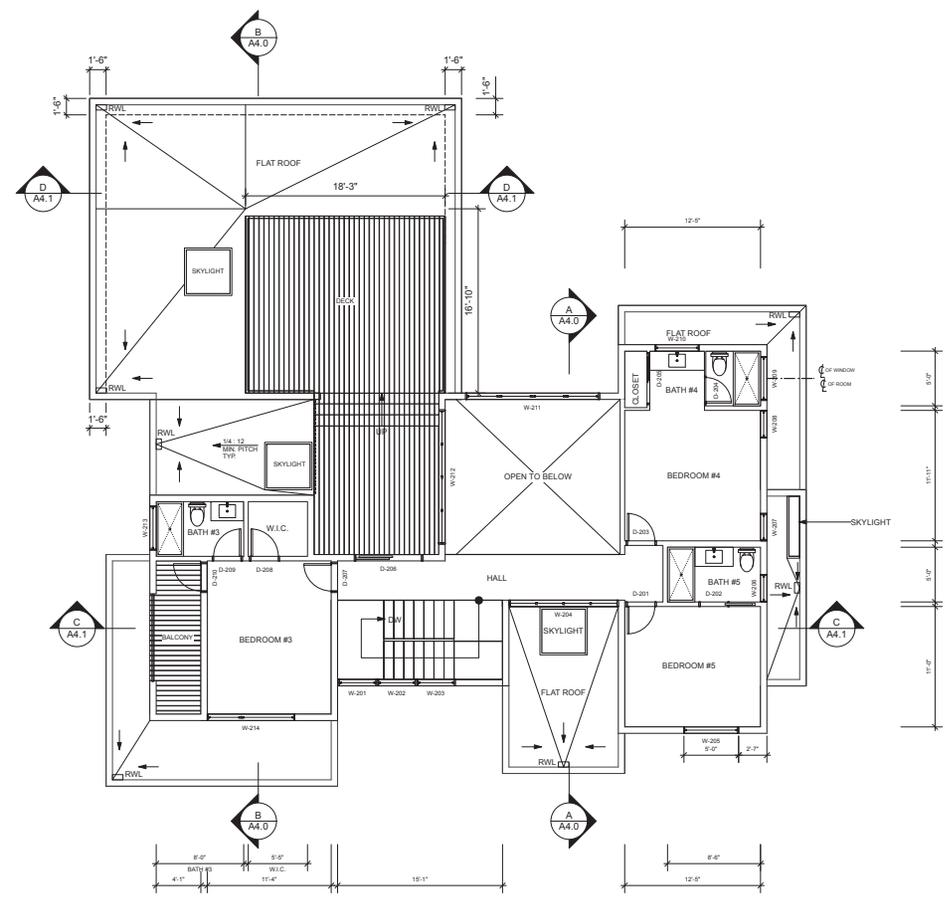
1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

FOR	_____
PLANNING PERMIT	_____
DATE	23 DEC 2024
SCALE	AS NOTED
DRAWN BY	HW & SJ
JOB NUMBER	23116
REVISIONS	_____

(N) FLOOR PLAN

A2.2

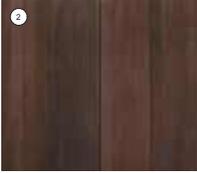


1 **2ND FLOOR PLAN**
Scale: 3/16" = 1'-0"



1

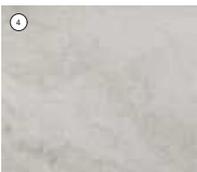
STUCCO
 NAME: DOVE GREY
 FINISH: SANTA BARBARA
 SIZE: ---
 MANUF.: LAHABRA STUCCO
 PRICE: ---
 LEAD TIME: ---



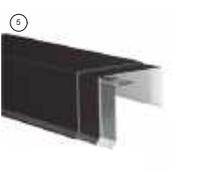
WOOD SIDING
 NAME: MYNAH: ABODO VULCAN CLADDING
 FINISH: SMOOTH
 SIZE: 6" W x 6'-0" - 16'-0" MAX. H
 MANUF.: reSAWN TIMBER
 PRICE: ---
 LEAD TIME: ---



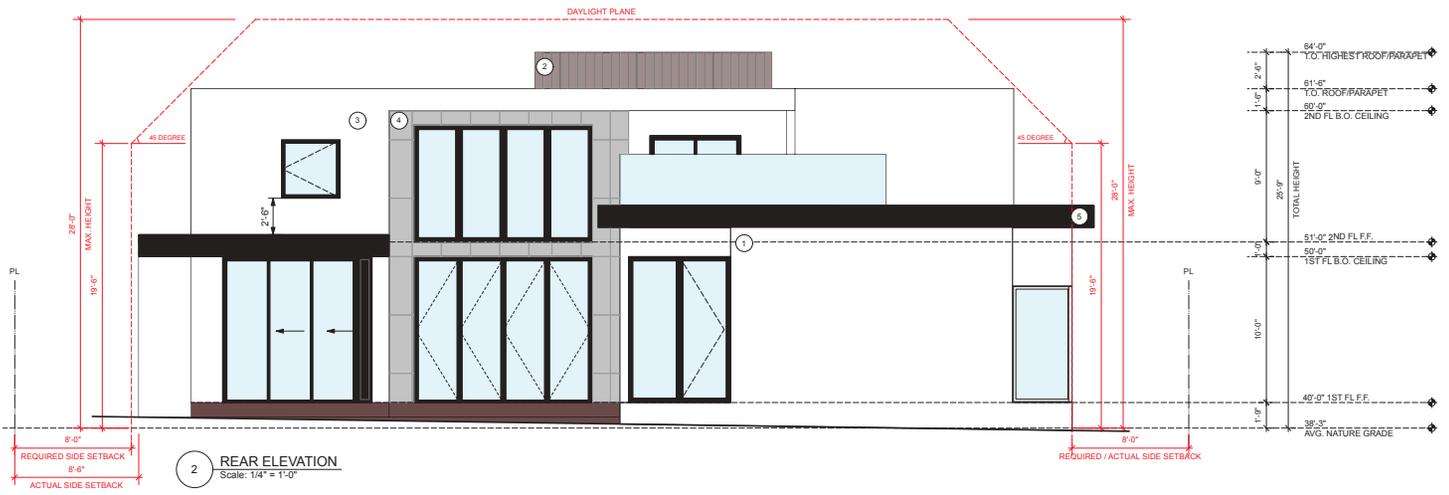
LARGE STONE PANELS
 NAME: WHITE SANDS
 FINISH: ULTRASOFT, DECOR POLISHED, OR SILK
 SIZE: 126"W x 63"H
 MANUF.: NEOLITH



LARGE STONE PANELS
 NAME: KOVIK, DEKTON
 FINISH: ---
 SIZE: 126.38"W x 56.69"H
 MANUF.: COSENTINO



LARGE STONE PANELS
 NAME: CONTINUOUS CLEAT COPING
 FINISH: ALUMINUM
 SIZE: FRONT @ 12" MAX.; WALL SIZE @ 24" MAX.
 MANUF.: HICKMAN



20111 STEVENS CREEK BLVD.
 CUPERTINO, CA 95014
 haowang@hw-arch.com
 925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
 ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE CONSULTANT AND INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS SERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



1908 MENALTO
 1908 MENALTO AVE
 MENLO PARK CALIFORNIA
 94025

PROPERTY OWNERS
 CHANGXU & YAYING
 1908 MENALTO AVE
 MENLO PARK CALIFORNIA
 94025

FOR PLANNING PERMIT
DATE: 23 DEC 2024
SCALE: AS NOTED
DRAWN BY: HW & SJ
JOB NUMBER: 23114
REVISIONS:

ELEVATION
A3.0

1

STUCCO
NAME: DOVE GREY
FINISH: SANTA BARBARA
SIZE: ---
MANUF.: LAHABRA STUCCO
PRICE: ---
LEAD TIME: ---



WOOD SIDING
NAME: MYNAH: ABODO VULCAN CLADDING
FINISH: SMOOTH
SIZE: 6" W x 6'-0", 16'-0" MAX. H
MANUF.: reSAWN TIMBER
PRICE: ---
LEAD TIME: ---



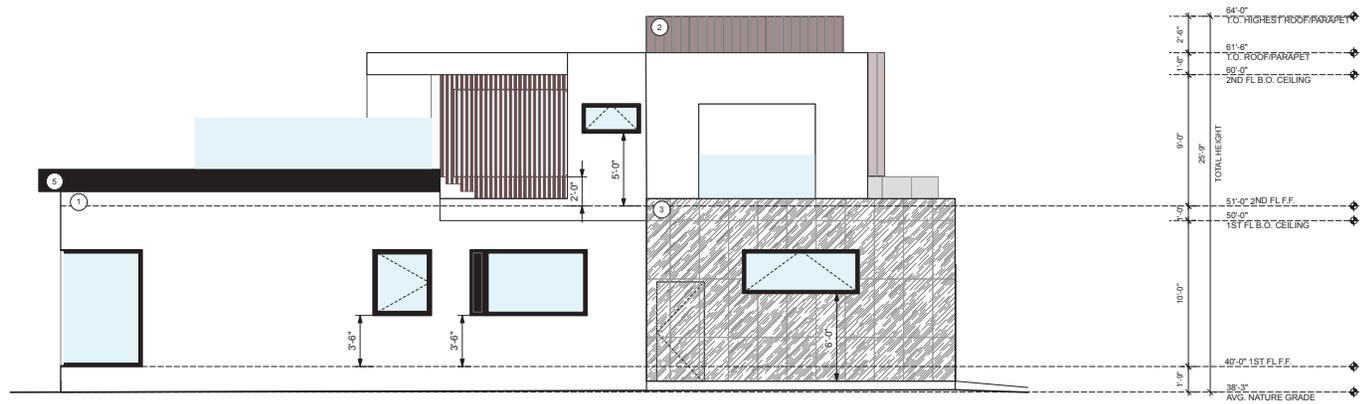
LARGE STONE PANELS
NAME: WHITE SANDS
FINISH: ULTRASOFT, DECOR POLISHED, OR SILK
SIZE: 126"W x 63"H
MANUF.: NEOLITH



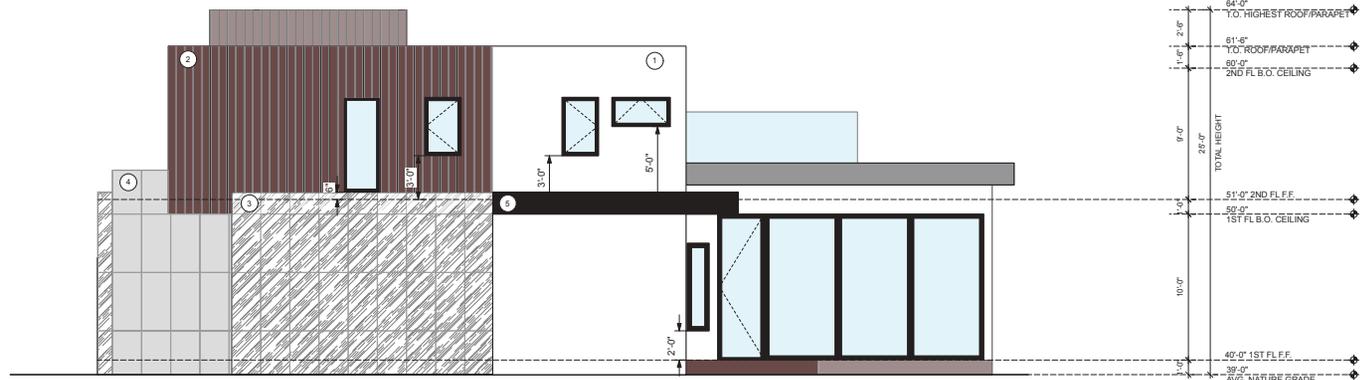
LARGE STONE PANELS
NAME: KOVIK, DEKTON
FINISH: ---
SIZE: 126.38"W X 56.69"H
MANUF.: COSENTINO



LARGE STONE PANELS
NAME: CONTINUOUS CLEAT COPING
FINISH: ALUMINUM
FRONT @ 12" MAX.; WALL SIZE @ 24" MAX.
MANUF.: HICKMAN



2 LEFT ELEVATION
Scale: 1/4" = 1'-0"



1 RIGHT ELEVATION
Scale: 1/4" = 1'-0"



2011 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE CONSULTANT ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS SERVED RIGHTS, INCLUDING THE COPYRIGHT HEREIN.



1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

FOR
PLANNING PERMIT
DATE:
23 DEC 2024
SCALE:
AS NOTED
DRAWN BY:
HW & SJ
JOB NUMBER:
23118
REVISIONS:

ELEVATION

A3.1



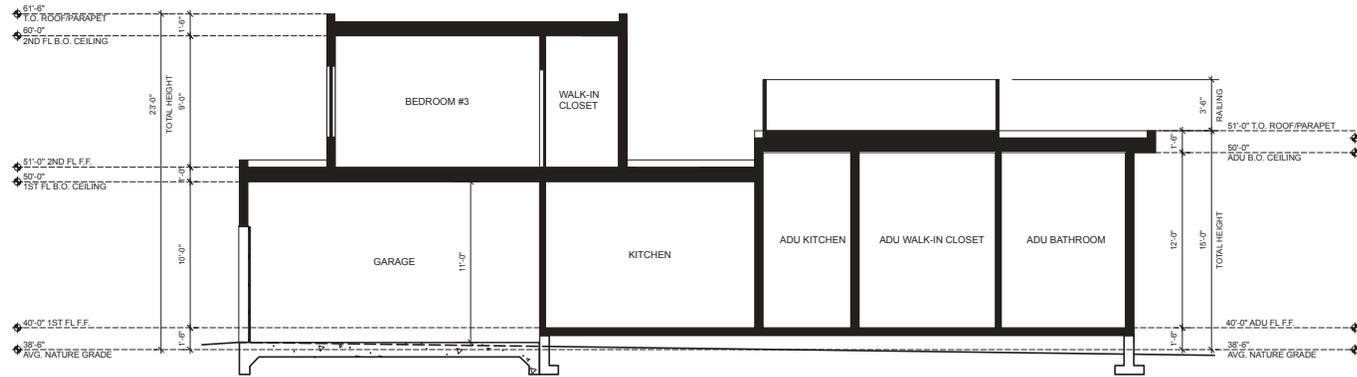
1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

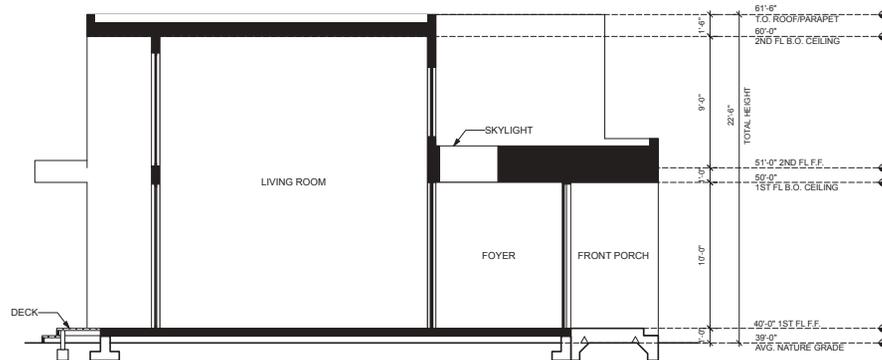
FOR	_____
PLANNING PERMIT	_____
DATE	23 DEC 2024
SCALE	AS NOTED
DRAWN BY	HW & SJ
JOB NUMBER	23116
REVISIONS	_____

(N) SECTIONS

A4.0



2 (N) SECTION B
Scale: 1/4" = 1'-0"



1 (N) SECTION A
Scale: 1/4" = 1'-0"



20111 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS,
COMPUTER FILES, FIELD DATA, NOTES AND
OTHER DOCUMENTS AND INSTRUMENTS
PREPARED BY THE CONSULTANT AND
INSTRUMENT OF SERVICE SHALL REMAIN
THE PROPERTY OF THE CONSULTANT. THE
CONSULTANT SHALL RETAIN ALL COMMON
LAW, STATUTORY AND OTHER RIGHTS SERVED
THEREON.



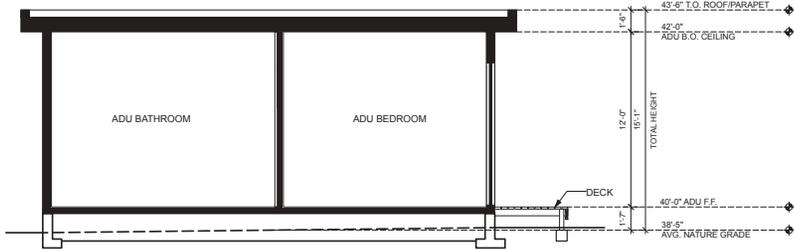
1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

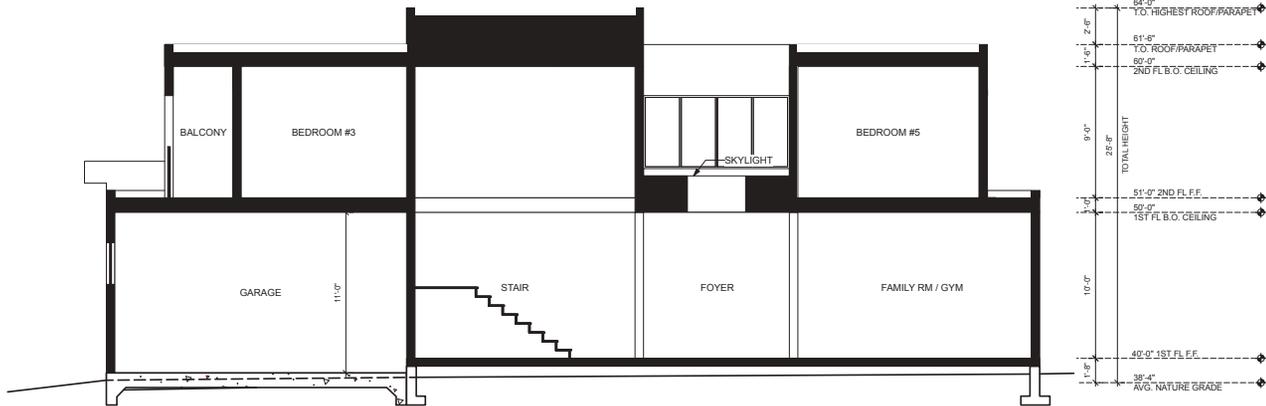
FOR PLANNING PERMIT	_____
DATE	23 DEC 2024
SCALE	AS NOTED
DRAWN BY	HW & SJ
JOB NUMBER	23116
REVISIONS	_____

(N) SECTIONS

A4.1



4 (N) SECTION D
Scale: 1/4" = 1'-0"



3 (N) SECTION C
Scale: 1/4" = 1'-0"



2011 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE CONSULTANT AND INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER SERVED RIGHTS, INCLUDING THE COPYRIGHT RIGHTS.



1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

FOR _____
PLANNING PERMIT
DATE: 23 DEC 2024
SCALE:
AS NOTED
DRAWN BY: HW & SJ
JOB NUMBER:
2018
REVISIONS:

TREE PROTECTION
RECOMMENDATION

T1.0

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 16 of 25

Project Arborist Supervision

I recommend the Project Arborist meet with the builder on-site:

- Soon after excavation
- During any root pruning
- Monthly tree protection monitoring inspections: As requested by the property owner or builder to document tree condition and verify on-going compliance with tree protection plan. Recommendations for any necessary maintenance and impact mitigation should also be included in monthly reports for City Arborist Review (required every 4 weeks by the City).

Any time development-related work is recommended to be supervised by a Project Arborist, a follow-up letter shall be provided, documenting the mitigation has been completed to specification.

POST-CONSTRUCTION

Ensure any mitigation measures to ensure long-term survival including but not limited to:

Continued Tree Care

Provide adequate and appropriate irrigation. As a rule of thumb, provide 1-2 inches of water per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of the tree roots. Native oaks usually should not be provided supplemental water during the warm, dry season (June – September) as this activates oak root fungus. Therefore, native oaks should only be watered October – May when rain has been scarce.

Mulch insulates the soil, reduces weeds, reduces compaction, and promotes myriad benefits to soil life and tree health. Apply four inches of wood chips (or other mulch) to the surface of the soil around trees, extending at least to the drip-line when possible. Do not pile mulch against the trunk.

Do not fertilize unless a specific nutrient deficiency has been identified and a specific plan prescribed by the project arborist (or a consulting arborist).

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 14 of 25

DURING CONSTRUCTION

Special Tree Protection Measures – Trees #10 and #13H (neighboring fig and oak)

- 1) **Demolition of existing hardscape (Tree #10)** should be performed in a manner that avoids tearing roots. Using the smallest effective machinery, break up pieces of the concrete and lift pieces up and away from trees. Cut roots embedded in paving rather than tearing them (see instructions on root cuts).
- 2) **Hardscaping (walkway) – Tree #10:** When excavating within 5 feet of this tree, use hand tools. Leave roots encountered undisturbed if possible. Excavation depth for installation of new landscape materials within 5 feet of tree should be no more than four inches (4") into existing soil grade. Do not compact native soil under paving materials. If roots must be cut, please see section titled "Root Pruning." No paving materials or any excavation or grading within three feet (3') of trunks.
- 3) **Guidelines for installation of planter wall footings (Tree #13H):** Use hand tools only when excavating within 18 feet of the trunk of this tree within the top 36 inches of soil depth. If roots of one-inch diameter or larger must be cut, they should be cut cleanly with a sharp, clean sawblade perpendicular to the direction of growth (a "square cut"). The cut should be made where the bark of the root is undamaged and intact. Root pruning should be supervised by the Project Arborist.

TRUNK WRAP SPECIFICATIONS:

- Securely bind wooden slats at the lowest 2-inch-thick around the trunk (preferably on a closed-cell foam pad). Secure and wrap at least one layer of orange plastic construction fencing around the outside of the wooden slats for visibility.
- Do NOT drive fasteners into the tree.
- Install trunk protection immediately prior to work within the TPZ and remove protection from the trees as soon as work moves outside the TPZ.
- Protect major scaffold limbs as determined by the City Arborist or Project Arborist, and if necessary, install wooden barriers at an angle so that the trunk flare and buttress roots are also protected.

Preventing Root Damage

Bare ground within the TPZ should have material applied over the ground to reduce soil compaction and retain soil moisture. Place a 6-inch layer of coarse mulch or woodchips covered with 1/2-inch plywood or alternative within the TPZ prior to construction activity. Mulch in excess of four inches would have to be removed after work is completed. Mulch should be spread manually so as not to cause compaction or damage.

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 12 of 25

TPZ FENCING SPECIFICATIONS:

- 1) Establish tree protection fencing radius by installing six (6)-foot tall chain link fencing mounted on eight (8)-foot tall, 1.5-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart.
- 2) Post signs on the fencing (in English and Spanish) printed on 11"x17" yellow-colored paper (signage attached at end of report) with Project Arborist's contact information. Signage should be on each protection fence in a prominent location.
- 3) Movable barriers of chain link fencing secured to cement blocks may be substituted for fixed fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.

TRUNK WRAP SPECIFICATIONS:

- Securely bind wooden slats at the lowest 2-inch-thick around the trunk (preferably on a closed-cell foam pad). Secure and wrap at least one layer of orange plastic construction fencing around the outside of the wooden slats for visibility.
- Do NOT drive fasteners into the tree.
- Install trunk protection immediately prior to work within the TPZ and remove protection from the trees as soon as work moves outside the TPZ.
- Protect major scaffold limbs as determined by the City Arborist or Project Arborist, and if necessary, install wooden barriers at an angle so that the trunk flare and buttress roots are also protected.

Preventing Root Damage

Bare ground within the TPZ should have material applied over the ground to reduce soil compaction and retain soil moisture. Place a 6-inch layer of coarse mulch or woodchips covered with 1/2-inch plywood or alternative within the TPZ prior to construction activity. Mulch in excess of four inches would have to be removed after work is completed. Mulch should be spread manually so as not to cause compaction or damage.

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 10 of 25

Tree Protection Measures" section of this report for guidelines on working within 6x DBH of this tree.

- **Tree #13H (neighboring 35" oak):** This neighboring tree was approximately 20 feet from the proposed javier path and 16 feet from the proposed planter wall. It would be anticipated sustain "low" impacts from the proposed work (no more than 10% root loss). Please see "Special Tree Protection Measures" section of this report for guidelines on working within 6x DBH of this tree.

Tree Protection Recommendations

PRE-CONSTRUCTION

Establish Tree Protection Zones (TPZ)

The Tree Protection Zone (TPZ) shall be a fenced-off area where work and material storage is not allowed. They are established and inspected prior to the start of work. This barrier protects the critical root zone and trunk from compaction, mechanical damage, and chemical spills. The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits.

Tree protection fencing is required to remain in place throughout construction and may only be moved or removed with written authorization from the City Arborist. The Project Arborist may authorize modification to the fencing when a copy of the written authorization is submitted to the City.

The following activities are prohibited inside the Tree Protection Zone. DO NOT:

- Place heavy machinery for excavation
- Allow runoff or spillage of damaging materials
- Store or stockpile materials, tools, or soil
- Park or drive vehicles
- Trench, dig, or otherwise excavate without first obtaining authorization from the City Arborist or Project Arborist
- Change soil grade
- Trench with a machine
- Allow fires under and adjacent to trees
- Discharge exhaust into foliage
- Direct runoff towards trees
- Cut, break, skin, or bruise roots, branches, or trunks without authorization from the City Arborist
- Secure cable, chain, or rope to trees
- Apply soil sterilant under pavement near existing trees

Specific recommended protection for trees is as follows:

- **Tree #1 (15.5" elm, Street tree):** Establish standard TPZ fencing radius to five feet (5') or to the greatest extent possible as limited by the street, existing driveway, and sidewalk.
- **Tree #7H (16.5" Grecian laurel):** Establish standard TPZ fencing radius to 17 feet, or to the greatest extent possible as limited by the proposed work.
- **Tree #10 (9.5" neighboring fig):** Establish standard TPZ fencing radius to 10 feet, or to the greatest extent possible as limited by the existing home and proposed hardscaping.
- **Tree #13H (35" neighboring oak):** This neighboring tree would be protected adequately by the existing wooden fence at the property line. Due to the location of the work, an additional chain link fence at this location would not be practical.

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 17 of 25

Post-Construction Monitoring

Monitor trees for changes in condition. Check trees at least once per month for the first year post-construction. Expert monitoring should be done at least every 6 months or if trees show signs of stress. Signs of stress include unreasonably sparse canopy, leaf drop, early fall color, browning of needles, and shoot die-back. Stressed trees are also more vulnerable to certain disease and pest infestations. Call the Project Arborist, or a consulting arborist if these, or other concerning changes occur in tree health.

City Arborist Inspection

A final inspection by the City Arborist is required at the end of the project. This is to be done before Tree Protection Fencing is taken down. Replacement trees should be planted by this time as well.

Conclusion

The home building project planned at 1908 Menalto Ave. appeared to be a valuable upgrade to the property. If any of the property owners, project team, or City reviewers have questions on this report, or require Project Arborist supervision or technical support, please do not hesitate to contact me at (408) 497-7158 or busara@bofirestone.com.

Signed,

Busara (Bo) Firestone | SA Board Certified Master Arborist #WE-8525B | ASCA Registered Consulting Arborist RCA #758 | SA Qualified Tree Risk Assessor | ASCA Tree and Plant Appraisal Qualification | Member - American Society of Consulting Arborists | Wildlife-Trained Arborist.

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 15 of 25

Root Pruning

As required by the City of Menlo Park:

- To avoid injury to tree roots, only excavate carefully by hand, compressed air, or high-pressure water within the drip-line of trees.
- When the Contractor encounters roots smaller than 2-inches, hand-trim the wall of the trench adjacent to the trees to make even, clean cuts through the roots. Cleanly cut all damaged and torn roots to reduce the incidence of decay.
- Fill trenches within 24 hours. When it is infeasible to fill trenches within 24 hours, shade the side of the trench adjacent to the trees with four layers of dampened, untreated burlap. Wet burlap as frequently as necessary to maintain moisture.
- When the Contractor encounters roots 2 inches or larger, report immediately to the Project Arborist. The Project Arborist will decide whether the Contractor may cut roots 2 inches or larger. If a root is retained, excavate by hand or with compressed air under the root. Protect preserved roots with dampened burlap.

Irrigation

Water moderately and highly impacted trees during the construction phase. As a rule of thumb, provide one to two inches per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of tree roots. Do not water native oaks during the warm dry season (June – September) as this activates oak root fungus. Instead, make sure that the soil is sufficiently insulated with mulch (where possible). Remember that unsevered tree roots typically extend three to five times the distance of the canopy.

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 13 of 25

Pruning Branches

I recommend that trees be pruned only as necessary to provide minimum clearance for proposed structures and the passage of workers, vehicles, and machines, while maintaining a natural appearance. Any large dead branches should be pruned out for the safety of people working on the site.

Pruning should be specified in writing adhering to ANSI A300 Pruning Standards and performed according to Best Management Practices endorsed by the International Society of Arboriculture. Any pruning (trimming) of branches should be supervised by an ISA-certified arborist.

Any property owner wanting to prune heritage tree more than one-fourth of the canopy and/or roots, must have permission from the City.

Arborist Inspection

The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits. Tree protection fencing to be inspected by City Arborist before demo and/or building permit issuance.

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM

1908 Menalto Ave. • Zhang Residence • 12/19/25
ARBORIST REPORT
Page 11 of 25

The following activities are prohibited inside the Tree Protection Zone. DO NOT:

- Place heavy machinery for excavation
- Allow runoff or spillage of damaging materials
- Store or stockpile materials, tools, or soil
- Park or drive vehicles
- Trench, dig, or otherwise excavate without first obtaining authorization from the City Arborist or Project Arborist
- Change soil grade
- Trench with a machine
- Allow fires under and adjacent to trees
- Discharge exhaust into foliage
- Direct runoff towards trees
- Cut, break, skin, or bruise roots, branches, or trunks without authorization from the City Arborist
- Secure cable, chain, or rope to trees
- Apply soil sterilant under pavement near existing trees

Specific recommended protection for trees is as follows:

- **Tree #1 (15.5" elm, Street tree):** Establish standard TPZ fencing radius to five feet (5') or to the greatest extent possible as limited by the street, existing driveway, and sidewalk.
- **Tree #7H (16.5" Grecian laurel):** Establish standard TPZ fencing radius to 17 feet, or to the greatest extent possible as limited by the proposed work.
- **Tree #10 (9.5" neighboring fig):** Establish standard TPZ fencing radius to 10 feet, or to the greatest extent possible as limited by the existing home and proposed hardscaping.
- **Tree #13H (35" neighboring oak):** This neighboring tree would be protected adequately by the existing wooden fence at the property line. Due to the location of the work, an additional chain link fence at this location would not be practical.

PREPARED BY: BO FIRESTONE, SA BOARD CERTIFIED MASTER ARBORIST #WE-8525B
BO FIRESTONE TREES & GARDENS | WWW.BOFIRESTONE.COM | BUSARA@BOFIRESTONE.COM



WARNING TREE PROTECTION AREA

ONLY AUTHORIZED PERSONNEL MAY ENTER THIS AREA

No excavation, trenching, material storage, cleaning, equipment access, or dumping is allowed behind this fence.

Do not remove or relocate this fence without approval from the project arborist. This fencing must remain in its approved location throughout demolition and construction.

Project Arborist contact information:

Name: Bo Firestone
Business: Bo Firestone Trees & Gardens
Phone number: 408-497-7158

ADVERTENCIA: ÁREA DE PROTECCIÓN DE ÁRBOLES

SÓLO EL PERSONAL AUTORIZADO PUEDE INGRESAR A ESTA ÁREA

No se permite la excavación, zanjas, almacenamiento de materiales, limpieza, acceso de equipos, o vertido de residuos detrás de esta cerca.

No retire ni reubique esta cerca sin la aprobación del arborista del proyecto. Esta cerca debe permanecer en su ubicación aprobada durante todo el proceso de demolición y construcción.

Información de contacto del arborista de este proyecto:

Nombre: Bo Firestone
Empresa: Bo Firestone Trees & Gardens
Número de teléfono: 408-497-7158



2011 STEVENS CREEK BLVD.
CUPERTINO, CA 95014
haowang@hw-arch.com
925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS,
COMPUTER FILES, FIELD DATA, NOTES AND
OTHER DOCUMENTS AND INSTRUMENTS
PREPARED BY THE CONSULTANT ARE
THE PROPERTY OF HW ARCHITECTURE. THE
CONSULTANT SHALL RETAIN ALL COMMON
LAW, STATUTORY AND OTHER RIGHTS SERVED
RIGHTS, INCLUDING THE COPYRIGHT
THEREIN.



1908 MENALTO
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

PROPERTY OWNERS
CHANGXU & YAYING
1908 MENALTO AVE
MENLO PARK
CALIFORNIA
94025

FOR _____
PLANNING PERMIT _____
DATE: 23 DEC 2024
SCALE _____
AS NOTED _____
DRAWN BY: HW & SJ
JOB NUMBER: 25118
REVISIONS _____

TREE PROTECTION SIGN

T2.0

TREE INVENTORY - 1908 Menalto Ave., Menlo Park, CA, 94025

pg. 24

Zhang Residence, 12/19/25

#	Heritage (H)	Common Name	Botanical Name	Protected Status	DBH (inches)	math. DBH (inches)	Height (feet)	Spread (feet)	TREE IMPACT ASSESSMENT										Removal Status	Appraisal Result
									Condition	Health, Structure, Form notes	Age	Species Tolerance	6X DBH* (feet)	Est. Root Loss**	TPZ mult. Factor	Ideal TPZ Radius (ft)	Impact Level ***	Suitability Rating		
1		Emerald Sunshine Elm	<i>Ulmus propinqua</i>	STREET	3.5	3.5	20	7	GOOD (75%)	full green canopy, pleasing form, good vigor	YOUNG	MODERATE	2	0% - 5%	8	2	VERY LOW	HIGH	PRESERVE	\$510
2		Red Maple	<i>Acer rubrum</i>	STREET	2.5	2.5	15	10	GOOD (75%)	full green canopy, pleasing form, good vigor	YOUNG	MODERATE	1	> 30%	8	2	SEVERE	LOW	REMOVE (X)	\$250
3		Black Walnut	<i>Juglans nigra</i>	(not heritage)	6.5, 4.5, (2) 4	10.5	35	25	FAIR (50%)	multi-trunk form, moderate vigor	MATURE	LOW	5	10% - 25%	15	13	MODERATE	MODERATE	PRESERVE	\$1,230
4		Plum	<i>Prunus domestica</i>	(not heritage)	6.5	6.5	15	15	FAIR (50%)	weedy form, topped under oak	MATURE	MODERATE	3	20% - 30%	12	7	HIGH	MODERATE	REMOVE (X)	\$500
5	H	Coast Live Oak	<i>Quercus agrifolia</i>	HERITAGE	20.5	20.5	50	55	GOOD (75%)	full green canopy, pleasing form, trunk against house	MATURE	HIGH	10	>30%	8	14	SEVERE	LOW	REMOVE (X)	\$11,400
6		Kohuhu	<i>Pittosporum tenuifolium</i>	(not heritage)	5.5, 3.5	6.5	20	20	FAIR (50%)	lion's tailed, asymmetrical canopy, multi-trunk form	MATURE	MODERATE	3	>30%	12	7	SEVERE	LOW	REMOVE (X)	\$890
7	H	Grecian Laurel	<i>Laurus nobilis</i>	HERITAGE	7.5, (2) 6.5, (2) 6, (2) 4.5, 4	16.5	40	40	FAIR (50%)	widespread chlorosis, pleasing form	MATURE	MODERATE	8	10% - 25%	12	17	MODERATE	MODERATE	PRESERVE	\$7,500
8		Glossy Privet	<i>Ligustrum lucidum</i>	(not heritage)	6	6	40	12	POOR (25%)	low live crown ratio, chlorotic	YOUNG	LOW	3	> 30%	12	6	SEVERE	LOW	REMOVE (X)	\$250
9		Lemonwood	<i>Pittosporum euginoides</i>	(not heritage)	7, 6.5	10	35	20	POOR (25%)	<30% live canopy, asymmetrical form	OVERMATURE	MODERATE	5	> 30%	15	13	SEVERE	LOW	REMOVE (X)	\$790
10		Fig	<i>Ficus carica</i>	(not heritage)	6.5, 6, 3	9.5	35	30	FAIR (50%)	spindly, asymmetrical form, moderate vigor	MATURE	MODERATE	5	10% - 25%	12	10	MODERATE	MODERATE	PRESERVE	\$2,220
11		Lemonwood	<i>Pittosporum eugenoides</i>	(not heritage)	10.5, 9	14	30	35	FAIR (50%)	15% dieback, asymmetrical form, under oak	OVERMATURE	MODERATE	7	20% - 30%	15	18	SEVERE	LOW	REMOVE (X)	\$3,090
12	H	Lemonwood	<i>Pittosporum eugenoides</i>	HERITAGE	13, 8, 4.5	16	40	40	FAIR (50%)	approximately 30% dieback, moderate vigor	OVERMATURE	MODERATE	8	20% - 30%	15	20	SEVERE	LOW	REMOVE (X)	\$4,040
13	H	Coast Live Oak	<i>Quercus agrifolia</i>	HERITAGE	est. 35	35	55	45	GOOD (75%)	full canopy, pleasing form, minor anthracnose	MATURE	HIGH	18	<10%	8	23	LOW	HIGH	PRESERVE	\$34,200
KEY:																				
#		Neighboring / City Street Tree																		
		Removal Request																		

SEE GLOSSARY FOR DEFINITION OF TERMS

* 6X DBH is recognized by tree care industry best practices as the distance from trunkface to a cut across the root plate that would result in a loss of approximately 25% of the root mass. Cuts closer than this may result in tree decline or instability.
 **Based on approximate distance to excavation and extent of excavation (as shown on plans).
 ***Impact level assuming all basic and special tree protection measures are followed.

Appraisal calculations summary available upon request.

Prepared by Butara Firestone
 ISA Board Certified Master Arborist #WE-8525B
 PCA #758



2011 STEVENS CREEK BLVD.
 CUPERTINO, CA 95014
 haowang@hw-arch.com
 925.464.9364

OWNERSHIP OF INSTRUMENTS OF SERVICE
 ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE CONSULTANT ARE THE PROPERTY OF HW ARCHITECTURE. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS RESERVED, INCLUDING THE COPYRIGHT THEREIN.



1908 MENALTO
 1908 MENALTO AVE
 MENLO PARK
 CALIFORNIA
 94025

PROPERTY OWNERS
CHANGXU & YAYING
 1908 MENALTO AVE
 MENLO PARK
 CALIFORNIA
 94025

FOR _____
 PLANNING PERMIT
 DATE: 23 DEC 2024
 SCALE: _____
 AS NOTED
 DRAWN BY: HW & SJ
 JOB NUMBER: 25118
 REVISIONS: _____

TREE INVENTORY

T3.0

TREE PROTECTION ZONE MAP

1908 MENALTO AVENUE, MENLO PARK, CA



DATE:
12/19/25

TPZ ELEMENTS DRAWN:
B. FIRESTONE
ISA BOARD CERTIFIED
MASTER ARBORIST
#WE-85255

BASE MAP: SITE PLAN L-1.1
By SQAURE & LANDSCAPE
STUDIO
(11/17/2025)

ARBORIST REPORT
pg. 25

