



REGULAR MEETING AGENDA

Date: 11/3/2025
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

How to participate in the meeting

- Access the live meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:
zoom.us/join – Meeting ID# 846 9472 6242
- Access the meeting real-time via telephone (listen only mode) at:
(669) 900-6833
Regular Meeting ID # 846 9472 6242
Press *9 to raise hand to speak
- Submit a written comment online up to 1-hour before the meeting start time:
planning.commission@menlopark.gov*
Please include the agenda item number related to your comment.

*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

Subject to change: The format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the city website menlopark.gov. The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information (menlopark.gov/agendas).

Regular Meeting

- A. Call To Order**
- B. Roll Call**
- C. Reports and Announcements**
- D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The

Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the October 20, 2025 Planning Commission meeting ([Attachment](#))

F. Public Hearing Items

- F1. Use Permit/Anthony Ho/835 Arbor Rd.:
Consider and adopt a resolution to approve a use permit to construct exterior and interior modifications and additions, including a basement and second story, to an existing nonconforming single-story residence located on a substandard lot with regard to lot width and area in the R-1-S (Single Family Suburban Residential) zoning district at 835 Arbor Road. The proposal includes use permit requests for excavation within a side setback as part of the new basement and for the proposed work to exceed 50 percent of the replacement value of the existing nonconforming structure over a 12-month period. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. Determine this action is categorically exempt under CEQA Guidelines Section 15301, Class 1 exemption for existing facilities. ([Staff report #25-050-PC](#))

G. Regular Business

- G1. Review of draft 2025 Planning Commission meeting dates. Not a CEQA project. ([Staff report #25-051-PC](#)).

H. Informational Items

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: November 17, 2025
 - Regular Meeting: December 1, 2025

I. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and

applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or before, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.gov. Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Cal. Gov. Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the city website at menlopark.gov/agendas and can receive email notifications of agenda postings by subscribing at menlopark.gov/subscribe. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 10/29/2025)



REGULAR MEETING AGENDA

Date: 10/20/2025
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Andrew Ehrich called the meeting to order at 7:50 p.m.

B. Roll Call

Present: Andrew Ehrich (Chair), Ross Silverstein (Vice Chair), Katie Behroozi, Linh Dan Do, Katie Ferrick, Jennifer Schindler, Misha Silin

Staff: Matthew Ball, Assistant Planner; Edress Rangeen, Associate Engineer; Corinna Sandmeier, Principal Planner

C. Reports and Announcements

Principal Planner Corinna Sandmeier said the City Council's October 21, 2025 agenda included the Building Code and revisions to the Below Market Rate Housing Guidelines.

D. Public Comment

Chair Ehrich opened public comment and closed it as no persons requested to speak.

E. Consent Calendar

Chair Ehrich opened public comment for the Consent Calendar and closed it as no persons requested to speak.

Commissioner Do asked that the items be considered separately as she was absent for one meeting.

E1. Approval of minutes from the September 8, 2025 Planning Commission meeting ([Attachment](#))

ACTION: Motion and second (Silverstein/Silin) to approve the item as presented; passes 6-0-1 with Commissioner Do abstaining.

E2. Approval of minutes from the September 29, 2025 Planning Commission meeting ([Attachment](#))

ACTION: Motion and second (Schindler/Ferrick) to approve the item as presented; passes 7-0.

F. Public Hearing Items

F1. Use Permit/Anthony Ho/835 Arbor Rd:

Consider and adopt a resolution to approve a use permit to construct exterior and interior modifications and additions, including a basement and second-story, to an existing non-conforming one-story residence on a substandard lot with regard to minimum lot width and area in the R-1-S (Single Family Suburban Residential) zoning district. The proposed work would exceed 50 percent of the replacement value of the existing structure and the addition would exceed 50 percent of the existing floor area, both of which require use permit approval. **Continue and re-notice**

Chair Ehrich opened the public hearing and closed it as no persons requested to speak.

ACTION: Motion and second (Behroozi/Do) to continue the item; passes 7-0.

F2. Public Right-of-Way Abandonment/Adjacent to 100 Terminal Ave.:

Consider and adopt a resolution determining that the abandonment of public right of way adjacent to 100 Terminal Avenue is consistent with the General Plan and recommending the City Council approve the requested abandonment; determine this action is categorically exempt under CEQA Guidelines Section 15305, Class 5 exemption for minor alterations in land use limitations. ([Staff report #25-049-PC](#))

Edress Rangeen, Associate Engineer, said staff had no additions to the published staff report.

Chair Ehrich opened the public hearing and closed it as no persons requested to speak.

ACTION: Motion and second (Ferrick/Schindler) to adopt a resolution determining that the abandonment of public right of way adjacent to 100 Terminal Avenue is consistent with the General Plan and recommending the City Council approve as submitted; passes 7-0.

Commissioner Behroozi asked if staff might be able to provide an update to the Commission on the potential connection between Chilco Street and the Belle Haven Community Campus. Planner Sandmeier indicated that staff might be able to provide a future response on that.

G. Informational Items

G1. Future Planning Commission Meeting Schedule

- Regular Meeting: November 3, 2025

Planner Sandmeier said the 835 Arbor Road item that needed to be re-noticed would be on the November 3 meeting and potentially the draft 2026 meeting calendar.

Chair Ehrich and Commissioner Behroozi each said they would be absent at that meeting

- Regular Meeting: November 17, 2025

H. Adjournment

Chair Erhich adjourned the meeting at 8:10 p.m.

Staff Liaison: Corinna Sandmeier, Principal Planner

Reporting Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date:

11/3/2025

Staff Report Number:

25-050-PC

Public Hearing:

Consider and adopt a resolution to approve a use permit to construct exterior and interior modifications and additions, including a basement and second story, to an existing nonconforming single-story residence located on a substandard lot with regard to lot width and area in the R-1-S (Single Family Suburban Residential) zoning district at 835 Arbor Road. The proposal includes use permit requests for excavation within a side setback as part of the new basement and for the proposed work to exceed 50 percent of the replacement value of the existing nonconforming structure over a 12-month period. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure; determine this action is categorically exempt under CEQA Guidelines Section 15301, Class 1 exemption for existing facilities.

Recommendation

Staff recommends that the Planning Commission adopt a resolution approving a use permit to construct exterior and interior modifications and additions, including a basement and second story, to an existing nonconforming single-story residence on a substandard lot with regard to minimum lot width and area in the R-1-S (Single Family Suburban Residential) zoning district, at 835 Arbor Road. The proposed work includes use permit requests for excavation within a side setback as part of the new basement and for the proposed work to exceed 50 percent of the replacement value of the existing structure over a 12-month period. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

Background

Site location

The subject property is located south of downtown, close to Jack W. Lyle Park, St. Raymond Catholic Church, and Santa Cruz Avenue. Adjacent residences to the right, left, and rear of the property are located

in the R-1-S zoning district which consists of single- and two-story residences with a variety of architectural styles such as ranch, traditional, and contemporary. Across Arbor Road, properties are located in the R-3 (Apartment) zoning district and developed with a mix of single-family, duplex, and apartment developments. A location map is included as Attachment B.

Analysis

Project description

The lot is presently occupied by a 1,344-square-foot single-story, single-family residence with an attached, two-car garage, originally built in 1951. The rectangular lot is considered substandard for the R-1-S zoning district, with a lot area of 6,000 square feet where 10,000 square feet is the minimum, and a lot width of 60 feet where 80 feet is the minimum. The existing residence exhibits nonconformities with regard to setbacks. The residence has a nonconforming right side (west) setback of approximately 4.8 feet, where a 10-foot side setback is required. The residence also has a nonconforming rear (south) setback of 18.7 feet, where a 20-foot rear setback is required.

The applicant proposes a comprehensive exterior and interior remodel and additions to the single-story residence while maintaining the existing nonconforming right side (west) and rear (south) setbacks. The Building Division has preliminarily reviewed the application for constructability of a basement beneath the existing residence without affecting the existing nonconforming walls to remain (additional review would occur with a building permit application). Staff has also discussed and confirmed with the applicant that existing nonconformities cannot be replaced if they are removed. The proposed scope includes the addition of a second story and a partial basement near the center of the residence, partially within the required setbacks. At the basement level, a theater, play area, and half-bathroom are proposed. The proposed project would enlarge the existing three-bedroom and two-bathroom residence to become a five-bedroom and four-and-one-half-bathroom residence. The existing site includes a 63.7-square-foot shed and 132-square-foot trellis that are proposed to be removed; this would reduce existing building coverage to balance out the proposed additions and their added coverage. In addition, window modifications and exterior work are proposed and further discussed in this report.

The remodeled residence would meet all Zoning Ordinance requirements for floor area limit (FAL), building coverage, setbacks, daylight plane, height, and parking, with the exception of the existing nonconformities on the right side (west) and rear (south) setbacks. Of particular note with regard to Zoning Ordinance requirements:

- The proposed FAL would be at the maximum of 2,800 square feet. The proposed FAL does not include the 900-square-foot basement, which is permitted to be excluded from the FAL calculation per the Zoning Ordinance.
- The proposed building coverage would be at the maximum of 2,100 square feet.
- The proposed height would be 26.7 feet, where a maximum building height of 28 feet is permitted. The existing residence is 13.1 feet tall.

The applicant's project plans and project description letter are included as Attachment A, Exhibits A and B, respectively. A data table summarizing parcel and project attributes is included as Attachment C.

Parking and circulation

The existing, attached two-car garage (18.3 feet by 17.6 feet) is proposed to remain, along with the existing concrete driveway. The interior garage dimensions are nonconforming with regard to the City's Parking Stall

and Driveway Design Guidelines, however, the residence has historically used the garage to park two vehicles and the current parking plan is proposed to be maintained. No modifications to parking or circulation are proposed.

Design and materials

The applicant describes the design of the project as complementing the character of the contemporary Spanish style residence to the right (west) at 845 Arbor Road. Proposed features include smooth stucco and vertical wood plank siding, standing seam metal roof, decorative wrought iron railings, and vinyl windows and doors. The neighborhood consists of single- and two-story residences with a variety of architectural styles such as ranch, traditional, and contemporary and the proposed residence's design would be complementary.

Nonconforming new work value

For projects involving existing nonconforming structures, the City uses standards established by the Building Division to calculate the replacement and new construction costs on which the use permit threshold is based. For context, the use permit threshold differs between 75 percent for a single-story structure and 50 percent for a two-story structure. Since the proposed residence would be a two-story structure, the 50 percent threshold applies. The City has determined that the value of the proposed work for the project would be approximately 208 percent of the replacement value, and therefore requires use permit approval by the Planning Commission. A use permit is also required as the proposed addition would create a two-story home that exceeds 50 percent of the existing floor area.

Proposed excavation

The applicant proposes to excavate from the front of the house and utilize steel beams to support the interior while the soil is being removed. The proposed basement wall is located four feet within the existing non-conforming wall to allow for construction of the basement foundation and new retaining wall without impacting the non-conforming wall's current foundation. The existing floor joints would be sistered to new joists so they can span to the entire foundation. The new retaining wall would be L-shaped so as not to interfere with the foundation of the non-conforming wall. Once construction is completed, the excavation would not be visible.

Trees and landscaping

The project site contains no heritage trees and one non-heritage tree in the front yard, outside of the proposed construction area, would remain. Several other small trees recently planted along the left (east) property line would also remain. The site includes an existing hedge at the front of the property on the right (west) side adjacent to the garage that would be trimmed to meet the Zoning Ordinance maximum height of four feet within the front setback area (Menlo Park Municipal Code section 16.04.020(a)). This requirement is ensured as draft condition of approval 2a. No new trees or landscaping are proposed at this time.

Correspondence

The applicant states in their project description letter that they have made efforts to inform and engage neighboring property owners and the proposal has received neutral to positive responses. As of the completion of this report, staff has not received any correspondence.

Conclusion

The proposed project would update and improve the housing condition of the existing residence originally

constructed in 1951. Staff believes the design and materials of the proposed residence are compatible with the surrounding neighborhood, which features a mixture of single- and two-story residences in a variety of architectural styles. The proposed project would feature a consistent, harmonious architectural style. There would be no visual impact resulting from the proposed basement excavation following construction and the construction methods have been preliminarily reviewed by the Building Division and would be further reviewed during a building permit application. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Section 15301, Class 1 ("Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Draft Planning Commission resolution approving the use permits
 - Exhibits to Attachment A
 - A. Project plans
 - B. Project description letter
 - C. Conditions of approval
- B. Location map
- C. Data table

Report prepared by:
Calvin Chan, Senior Planner

Report reviewed by:
Tom Smith, Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2025-0XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK (1) APPROVING A USE PERMIT TO CONSTRUCT EXTERIOR AND INTERIOR MODIFICATIONS AND ADDITIONS, INCLUDING A BASEMENT AND SECOND STORY, TO AN EXISTING NONCONFORMING SINGLE-STORY RESIDENCE LOCATED ON A SUBSTANDARD LOT WITH REGARD TO LOT WIDTH AND AREA IN THE R-1-S (SINGLE FAMILY SUBURBAN RESIDENTIAL) ZONING DISTRICT, (2) APPROVING A USE PERMIT FOR EXCAVATION WITHIN A SIDE SETBACK, AND (3) APPROVING A USE PERMIT TO CONDUCT MODIFICATIONS TO AN EXISTING NONCONFORMING STRUCTURE WHERE THE VALUE OF THE WORK EXCEEDS 50 PERCENT OF THE REPLACEMENT VALUE OF THE EXISTING NONCONFORMING STRUCTURE OVER A 12-MONTH PERIOD, AT 835 ARBOR ROAD.

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit to construct exterior and interior modifications and additions, including a basement and second story, to an existing nonconforming single-story residence located on a substandard lot with regard to lot width and area in the R-1-S (Single Family Suburban Residential) zoning district. The proposal also includes use permit requests for excavation within a side setback as part of the new basement and for the proposed work to exceed 50 percent of the replacement value of the existing nonconforming structure over a 12-month period. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure (collectively, the “Project”) and is submitted by Anthony Ho of LPMD Architects (“Applicant”) on behalf of Bryan Shepherd (“Owner”), at 835 Arbor Road (APN 071-261-010) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the Single Family Suburban Residential (R-1-S) district. The R-1-S district supports single-family residential uses; and

WHEREAS, the Property is substandard with regard to minimum lot width and area in the R-1-S zoning district; and

WHEREAS, the existing residence is nonconforming with regard to the right side (west) setback, rear (south) setback, and building coverage; and

WHEREAS, the Project includes excavation within a side setback as part of a new basement; and

WHEREAS, the additions would exceed 50 percent of the existing floor area of the main residence and are therefore considered equivalent to a new structure; and

WHEREAS, the value of the proposed Project would exceed 50 percent of the existing replacement value in a 12-month period; and

WHEREAS, the proposed Project otherwise complies with all objective standards of the R-1-S district; and

WHEREAS, the proposed Project was found to be in compliance with City standards; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act ("CEQA," Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project's environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is exempt from environmental review pursuant to CEQA Guidelines section 15301, Class 1 ("Existing Facilities"); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on October 20, 2025, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit to construct exterior and interior modifications and additions to an existing nonconforming residence is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-S zoning district and the General Plan because nonconforming two-story residences are allowed to be modified and expanded beyond 50 percent of the value of the proposed new work in any 12-month period, subject to granting of a use permit. The proposed project includes excavation within a side setback for a new basement, which is permitted subject to granting of a use permit.
 - b. The proposed Project would update and improve the housing condition of the existing residence originally constructed in 1951. The residence would meet front (north) and left side (east) setbacks and would continue to maintain the nonconforming right side (west) setback of 4.8 feet where 10 feet is required and the nonconforming rear (south) setback of 18.7 feet where 20 feet is required.
 - c. The proposal would be compliant with all parking requirements providing two covered garage parking spaces.
 - d. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed residence would be located in a single-family neighborhood and has been designed in a way to complement the existing scale of surrounding homes.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2025-00015, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The use permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit C.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (Existing Facilities).

Section 5. SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on November 3, 2025, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

RECUSED:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this ____ day of November 2025.

PC Liaison Signature

Kyle Perata
Assistant Community Development Director
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Conditions of approval

835 ARBOR ROAD MENLO PARK, CA USE PERMIT FOR RENOVATION

LPMD Architects
1288 Kifer Road, Unit 206,
Sunnyvale, CA 94089
Telephone : 408-992-0280
Fax : 408-992-0281

PROJECT DIRECTORY			LOCATION AND VICINITY MAP	PROJECT SCOPE
OWNER	BRYAN SHEPHERD 825 ARBOR ROAD, MENLO PARK, CA 94025	831-400-0872 bryanshep@gmail.com	 	PROJECT IS TO: REMODEL THE EXISTING SINGLE FAMILY RESIDENCE BY RETAINING THE LEFT, REAR AND RIGHT SIDES OF THE FIRST FLOOR FOOTPRINT, CHANGING THE INTERIOR LAYOUT, AND ADDING A SECOND STORY AND A PARTIAL, GARMENT.
ARCHITECT	ANTHONY HO LPMD ARCHITECTS 1288 KIFER ROAD, UNIT 206 SUNNYVALE, CA 94089	408-858-0810 anthony@lpmd-architects.com		PROJECT DATA
CIVIL ENGINEER	ALBERT PATRICK UPRIGHT ENGINEERING 1004 W. JENSEN BLVD, UNIT 8 LAJOLLA, CA 92033	858-525-0204 aupat@upright.com	STREET ADDRESS: 835 ARBOR ROAD APN #: 07-381-010 LOT SIZE: 6,000 SF TYPE OF CONSTRUCTION: V-B TYPE OF OCCUPANCY: S-1 HOUSE BUILDING CODE: 2021 CBC BASED ON 2021 IBC 2021 CBC BASED ON 2021 IBC MAXIMUM FLOOR AREA LIMIT ALLOWED = 3,400 SF EXISTING FLOOR AREA LIMIT = 1,174 SF PROPOSED FLOOR AREA LIMIT = 3,794.7 SF MAXIMUM BUILDING COVERAGE ALLOWED = 3,200 SF (50%) EXISTING BUILDING COVERAGE = 3,214.5 SF (53%) PROPOSED BUILDING COVERAGE = 3,092.2 SF (51%)	ANY RENOVATED WALL IS NOT TO BE DEMOLISHED, AND IF DEMOLISHED IT CANNOT BE REBUILT IN ITS CURRENT LOCATION. Section PLANNING COMMENTS 10/20/25 PLANNING COMMENTS 10/20/25 PLANNING COMMENTS 10/20/25 PLANNING COMMENTS 10/20/25
SHEET INDEX			71-26 	GENERAL NOTES
A0 COVER SHEET A01 AREA PLAN A02 BOUNDARY & TOPOGRAPHIC SURVEY A03 ARCHITECTURAL SITE PLAN A04 EXISTING FLOOR PLAN & ELEVATIONS A05 EXISTING FLOOR PLAN A06 2ND FLOOR PLAN A07 ROOF PLAN A08 BUILDING SECTION A09 BUILDING ELEVATIONS A10 BUILDING ELEVATIONS A11 STREETSCAPE PLAN A12 AREA CALCULATIONS A13 EXISTING AREA CALCULATIONS A14 COLOR & MATERIAL				1. ANY PRESTIGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL PRESTIGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS. 2. AN ENCROACHMENT PERMIT FROM THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.

HOUSE ADDITION

835 ARBOR RD,
MENLO PARK, CA

Project No: 2475 / 2475-01
Sheet No:

COVER SHEET

Revision No:
Sheet No:

A0.0

of Sheets



LPMD
Architects

1288 Kifer Road, Unit 206,
Sunnyvale, CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281

ANY MODIFICATION WILL BE NOT
TO BE REMOVED, AND IF
OCCURRED IT CANNOT BE PERMIT
IN ITS CURRENT LOCATION

Revised:

PLANNING COMMENTS & NOTES

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AREA PLAN
3/32" = 1'-0"

0 5'-4" 10'-8" 21'-6"
SCALE: 3/32" = 1'-0"



Window Key

Sheet No.

HOUSE ADDITION

825 ARBOR RD.
MILBURN PARK, CA

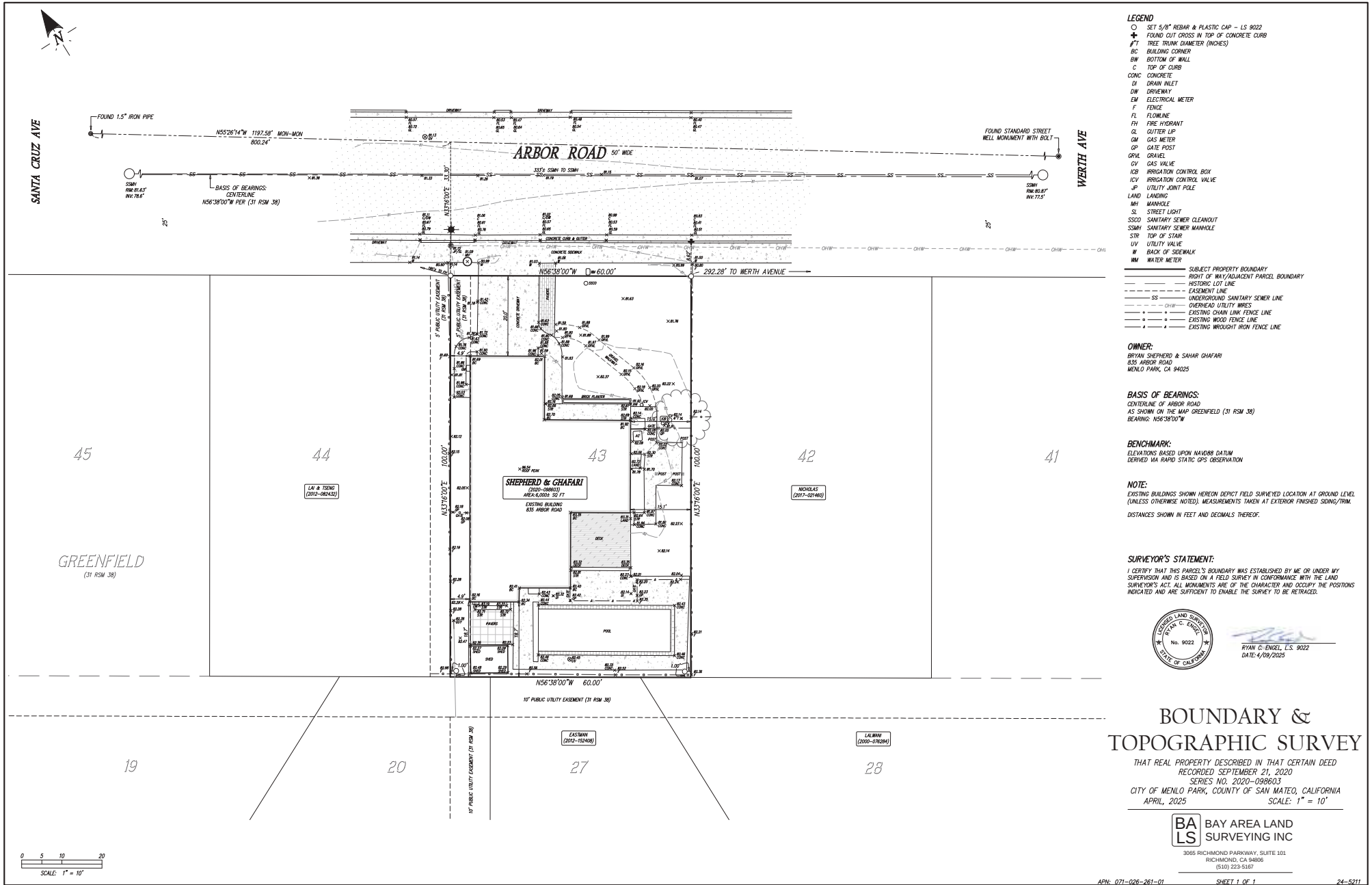
Project No. DATE 03/05/09

Sheet Title:

**AREA
PLAN**

A0.a

of Sheets



- LEGEND**
- SET 5/8" REBAR & PLASTIC CAP - LS 9022
 - ✚ FOUND CUT CROSS IN TOP OF CONCRETE CURB
 - #T TREE TRUNK DIAMETER (INCHES)
 - BC BUILDING CORNER
 - BM BOTTOM OF WALL
 - C TOP OF CURB
 - CONC CONCRETE
 - DI DRAIN INLET
 - DM DRIVEWAY
 - EM ELECTRICAL METER
 - F FENCE
 - FL FLOWLINE
 - PH FIRE HYDRANT
 - GL GUTTER LIP
 - GM GAS METER
 - GP GATE POST
 - GRVL GRAVEL
 - GV GAS VALVE
 - ICB IRRIGATION CONTROL BOX
 - ICV IRRIGATION CONTROL VALVE
 - JP UTILITY JOINT POLE
 - LAND LANDING
 - MH MANHOLE
 - SL STREET LIGHT
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - STR TOP OF STAIR
 - UV UTILITY VALVE
 - W BACK OF SIDEWALK
 - WM WATER METER
 - SUBJECT PROPERTY BOUNDARY
 - RIGHT OF WAY/ADJACENT PARCEL BOUNDARY
 - HISTORIC LOT LINE
 - EASEMENT LINE
 - SS UNDERGROUND SANITARY SEWER LINE
 - CHFF OVERHEAD UTILITY WIRES
 - CHFF EXISTING CHAIN LINK FENCE LINE
 - CHFF EXISTING WOOD FENCE LINE
 - CHFF EXISTING WROUGHT IRON FENCE LINE

OWNER:
BRYAN SHEPHERD & SAHAR GHAFARI
835 ARBOR ROAD
MENLO PARK, CA 94025

BASIS OF BEARINGS:
CENTERLINE OF ARBOR ROAD
AS SHOWN ON THE MAP GREENFIELD (31 RSM 38)
BEARING: N56°38'00"W

BENCHMARK:
ELEVATIONS BASED UPON NAD83 DATUM
DERIVED VIA RAPID STATIC GPS OBSERVATION

NOTE:
EXISTING BUILDINGS SHOWN HEREON DEPICT FIELD SURVEYED LOCATION AT GROUND LEVEL
(UNLESS OTHERWISE NOTED). MEASUREMENTS TAKEN AT EXTERIOR FINISHED SIDING/TRIM.
DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.

SURVEYOR'S STATEMENT:
I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY
SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND
SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS
INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



RYAN C. ENGEL, L.S. 9022
DATE: 4/09/2025

BOUNDARY & TOPOGRAPHIC SURVEY

THAT REAL PROPERTY DESCRIBED IN THAT CERTAIN DEED
RECORDED SEPTEMBER 21, 2020
SERIES NO. 2020-098603
CITY OF MENLO PARK, COUNTY OF SAN MATEO, CALIFORNIA
APRIL, 2025 SCALE: 1" = 10'

BAY AREA LAND SURVEYING INC
3065 RICHMOND PARKWAY, SUITE 101
RICHMOND, CA 94806
(510) 223-5187

ANY NONCONFORMING WALL IS NOT TO BE DEMOLISHED, AND IF DEMOLISHED IT CANNOT BE REBUILT IN ITS CURRENT LOCATION.



References

PLANNING COMMENT: 6/28/26

FLANNIKO COMMENTS 8/23/25

PLANNING COMMENTS 9/23/25

PLANNING COMMENTS 10/26/23

835 ARBOR RD.
MENLO PARK, CA

Project No: DATE: 2/26/20

Street Title:ARCHITECTURAL
SITE PLAN

Flavonoid Syn

Figure 1

A10


$$1/4^* = 1-0^*$$


-  **PROPOSED FIRST FLOOR ADDITION**
 **PROPOSED SECOND FLOOR ADDITION**
 **PROPOSED FIRST FLOOR RENOVATION**

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TO BE DEMOLISHED, AND IF
DEMOLISHED IT CANNOT BE REBUILT
IN ITS CURRENT LOCATION.

Revisions:
PLANNING COMMENTS 8/28/05
PLANNING COMMENTS 8/28/05

HOUSE ADDITION
885 ARBOR RD,
MILPITAS, CA

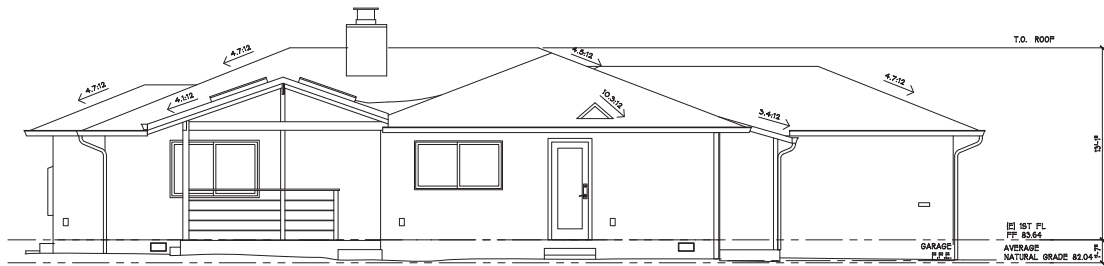
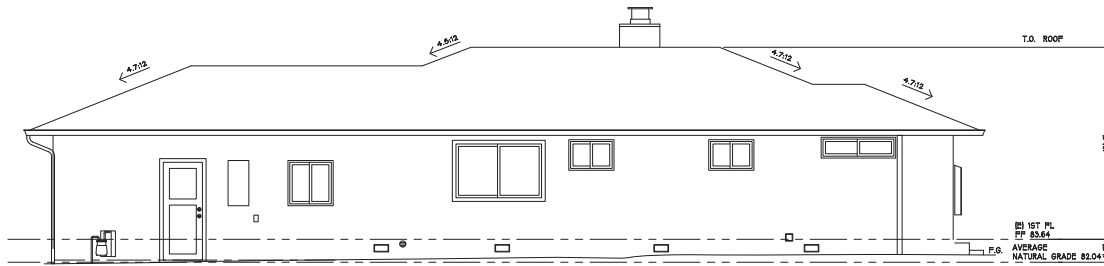
Project No: DATE: 8/28/05
Sheet Title:

**EXISTING
FLOOR PLAN
ELEVATIONS**

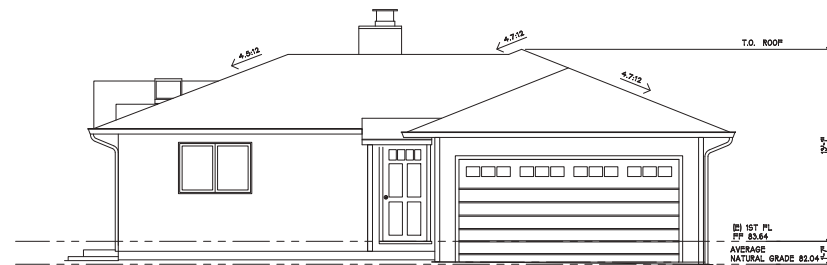
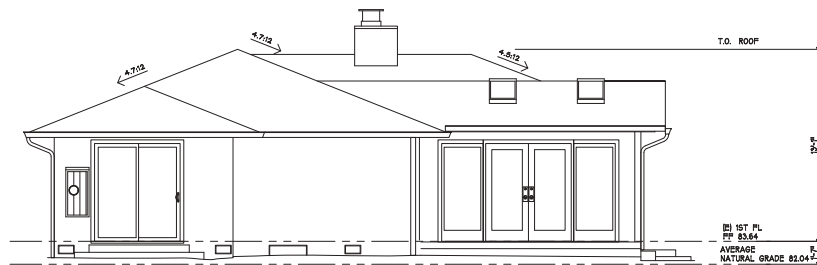
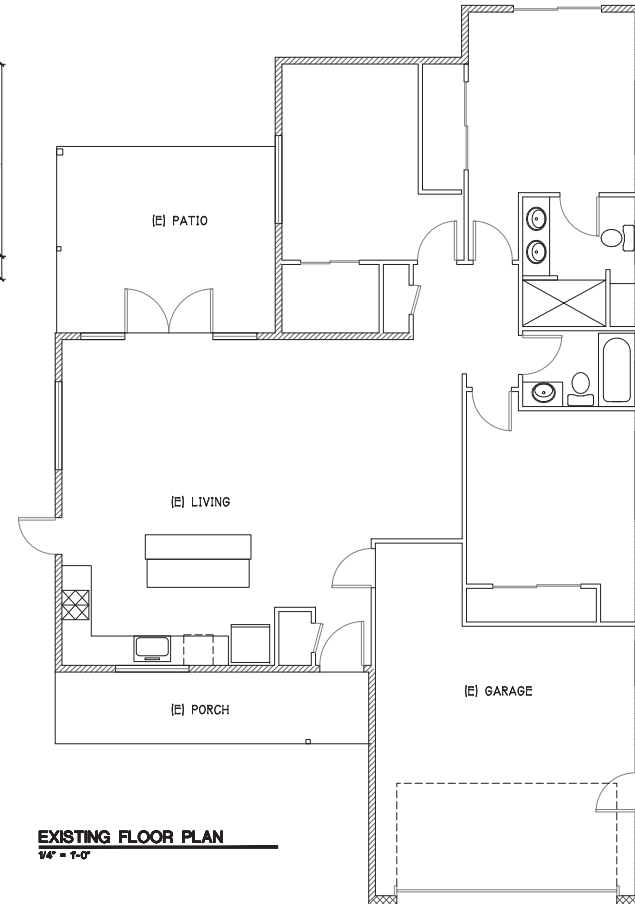
Revisions By: ☐
Sheet No:

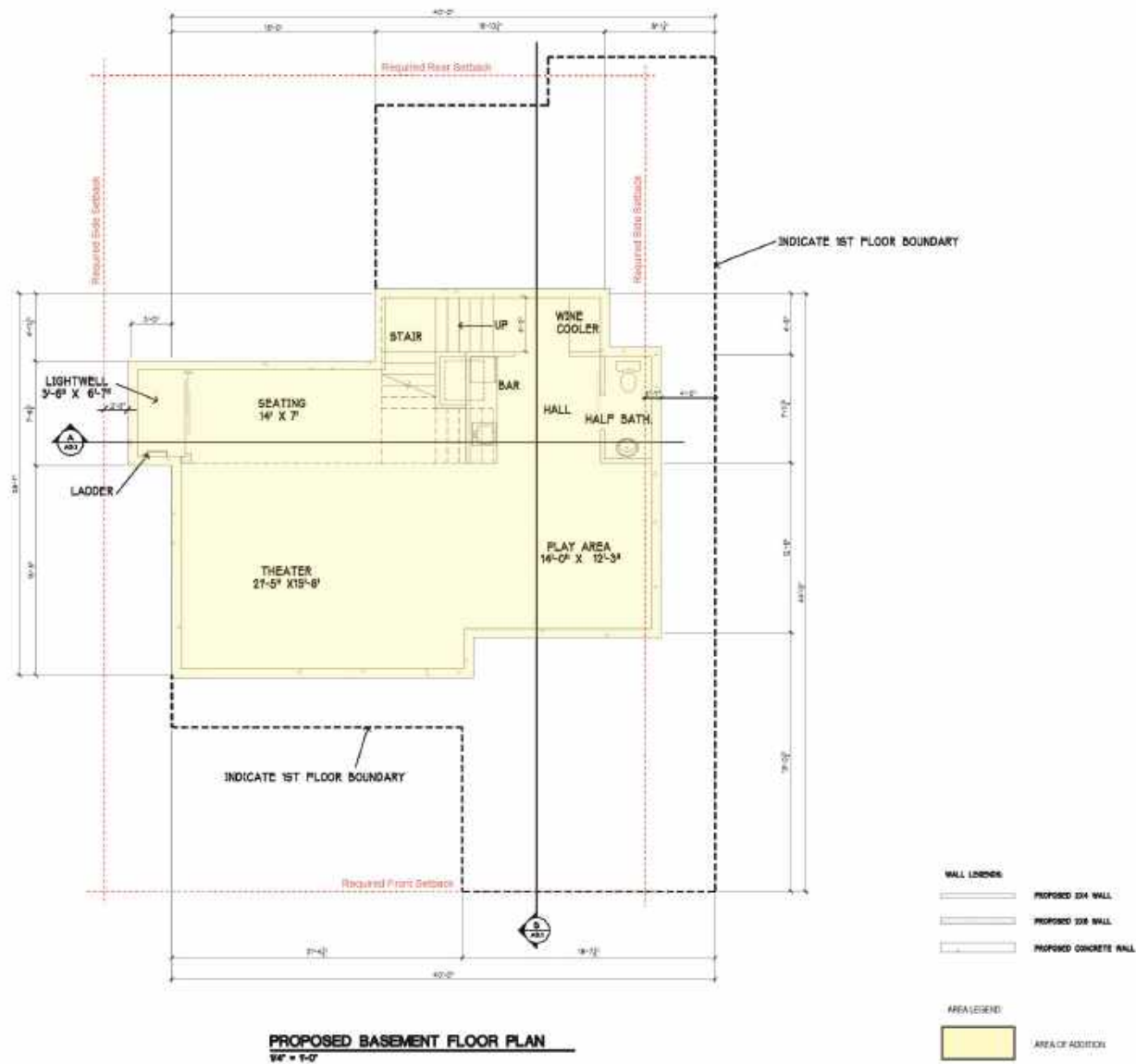
A11

of Sheets



AVERAGE NATURAL GRADE = (81.69 + 81.92 + 82.40 + 82.16) / 4 = 82.04





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Revisions
 PLANNING COMMENTS 8/28/08
 PLANNING COMMENTS 8/28/08
 PLANNING COMMENTS 10/28/08

HOUSE ADDITION
 100 JEFFERSON RD,
 MILPITAS, CA

Project No: DATE: 8/28/08
 Sheet Title:

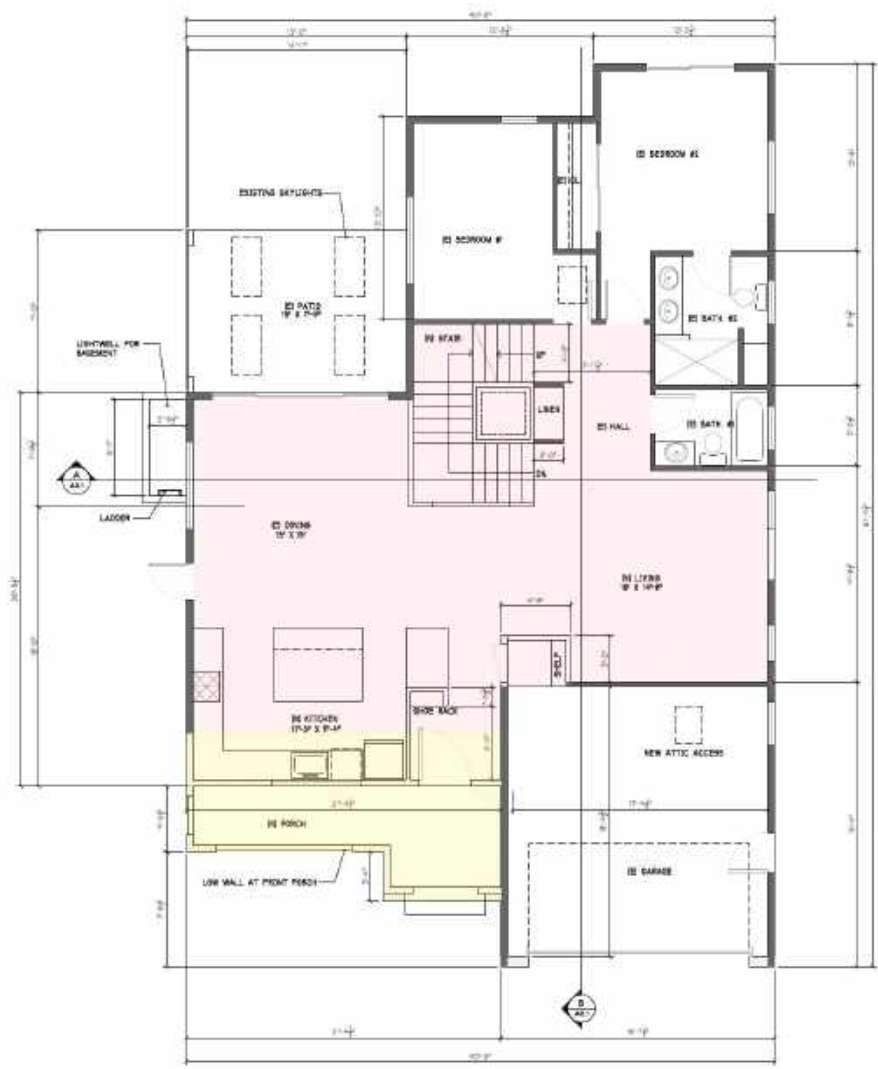
BASEMENT FLOOR PLAN

Revision No: ☐
 Sheet No:

A2.0

of Sheets

ANY NONCONFORMING WALL IS NOT
 TO BE REMOVED, AND IF
 ENCLOSURE IT CANNOT BE REBUILT
 IN ITS CURRENT LOCATION.



PROPOSED 1ST FLOOR PLAN
 34' x 7'-0"

- WALL LEGEND:**
- PROPOSED 2x4 WALL
 - PROPOSED 2x6 WALL
 - EXISTING 2x4 WALL
 - EXISTING 2x6 WALL
 - EXISTING 2x8 WALL
- WALL FINISHES:**
- AREA OF ADDITION
 - AREA OF PRESERVATION

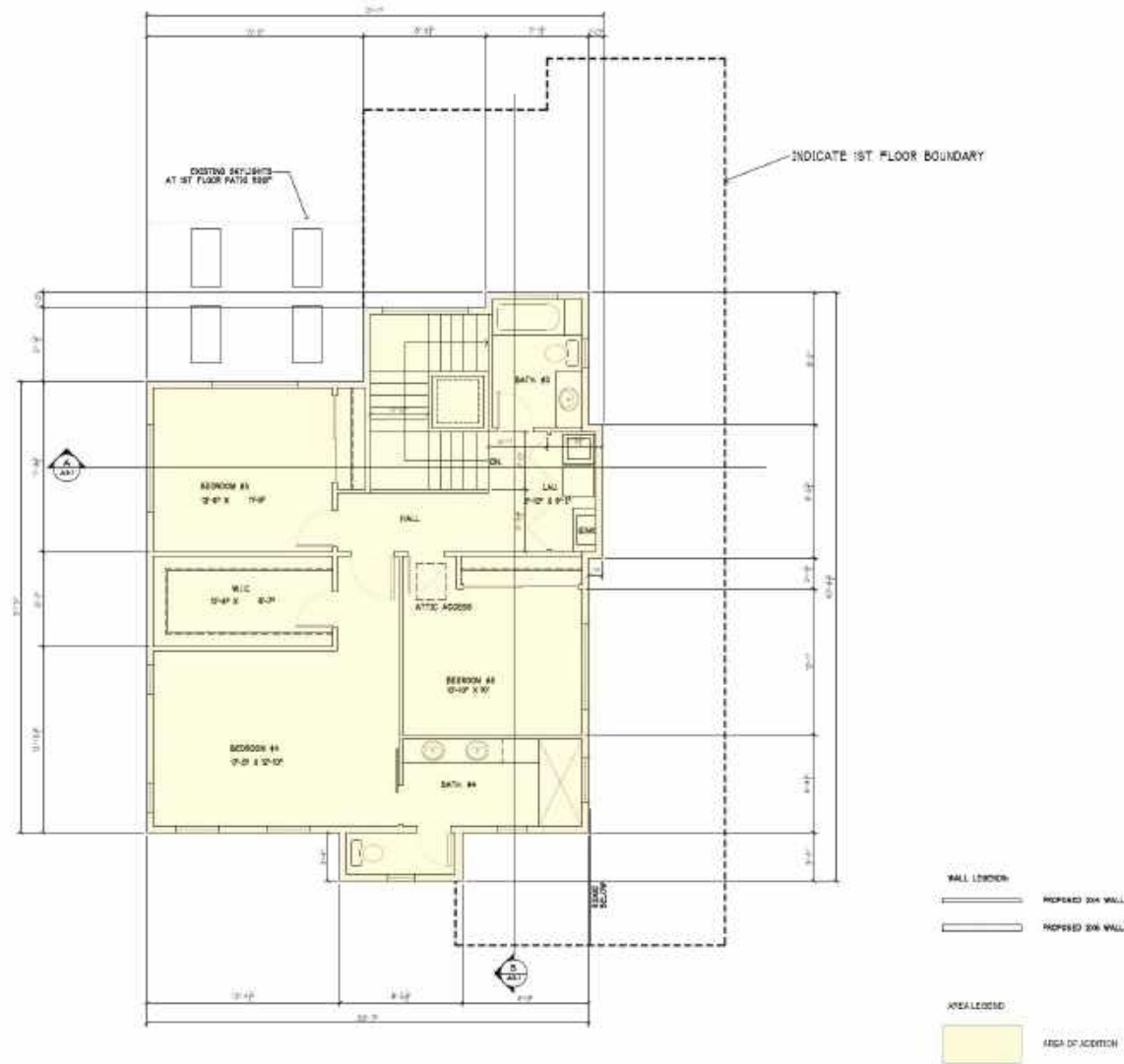
Revisions:
 PLANNING COMMITTEE REVIEW
 PLANNING COMMITTEE REVIEW

HOUSE ADDITION
 333 AVENUE HIL
 BERKELEY, CA
 Project No: DATE: 01/01/2010
 Sheet Title:
1ST FLOOR PLAN

Revision No: ☐
 Sheet No:

A2.1

ANY NONCONFORMING WALL IS NOT
TO BE DEMOLISHED, AND IF
DEMOLISHED IT CANNOT BE REBUILT
IN ITS CURRENT LOCATION.



PROPOSED NEW 2ND FLOOR PLAN
 1/4" = 1'-0"

Notes:
 PLANNING COMMENTS 6/10/08
 PLANNING COMMENTS 6/10/08

HOUSE ADDITION
 330 ARDEN BL.
 BERKELEY, CA

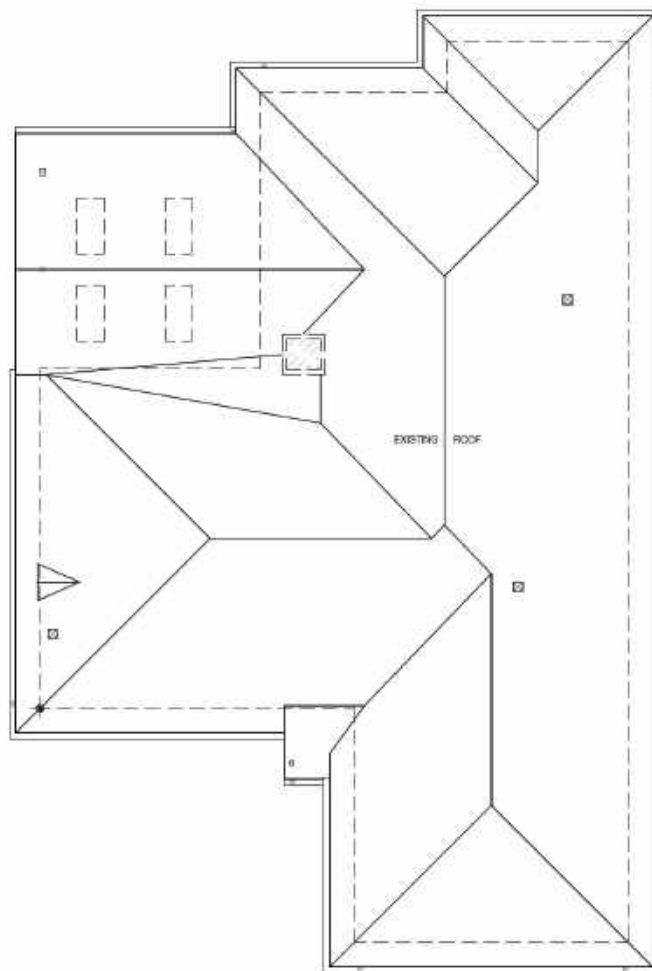
Project No. DATE: 06/08/08
 Sheet Title

**2ND
FLOOR PLAN**

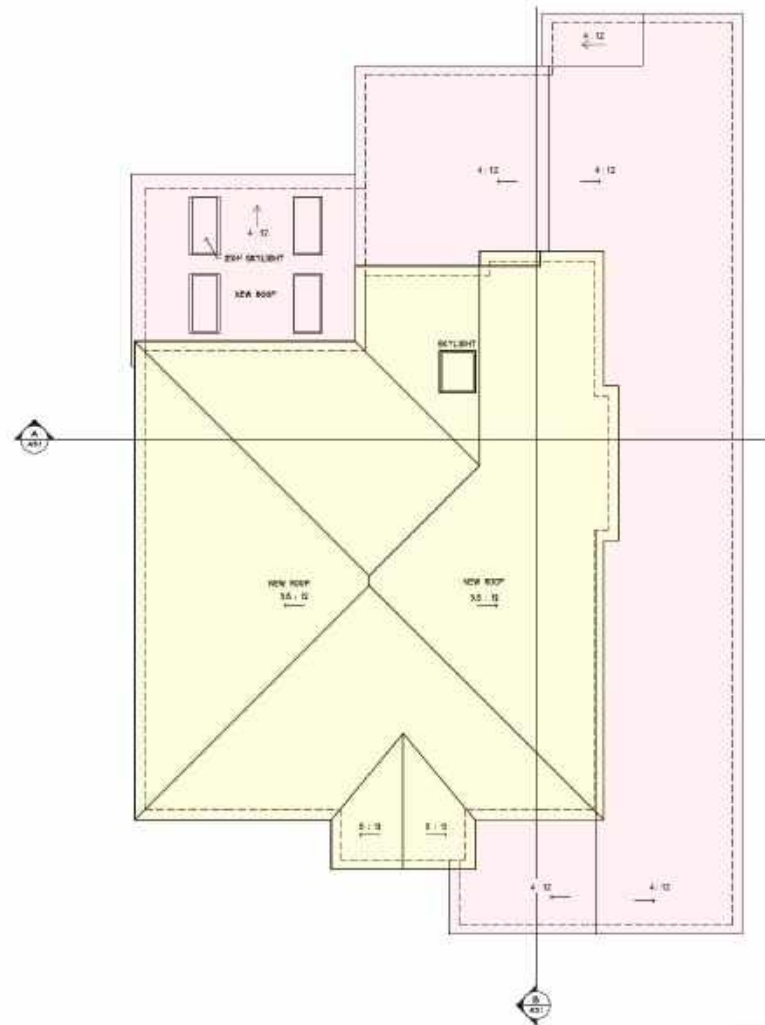
Revision No. _____
 Sheet No.

A2.2

of _____ Sheets



EXISTING ROOF PLAN
1/4" = 1'-0"



PROPOSED ROOF PLAN
1/4" = 1'-0"

ROOF LEGEND:

- AREA OF NEW ROOF
- AREA OF RE-ROOF

ANY NONCONFORMING WALL IS NOT
TO BE DEMOLISHED, AND IF
DEMOLISHED IT CANNOT BE REBUILT
WITH CURRENT LOCATION

Revised: _____
PLANNING COMMENTS: APPROVE _____
PLANNING COMMENTS: REVISION _____

HOUSE ADDITION
882 WOODRIDGE
MILPITAS, CA

Project No: 0478 / 040808
Drawn Title:

ROOF PLAN

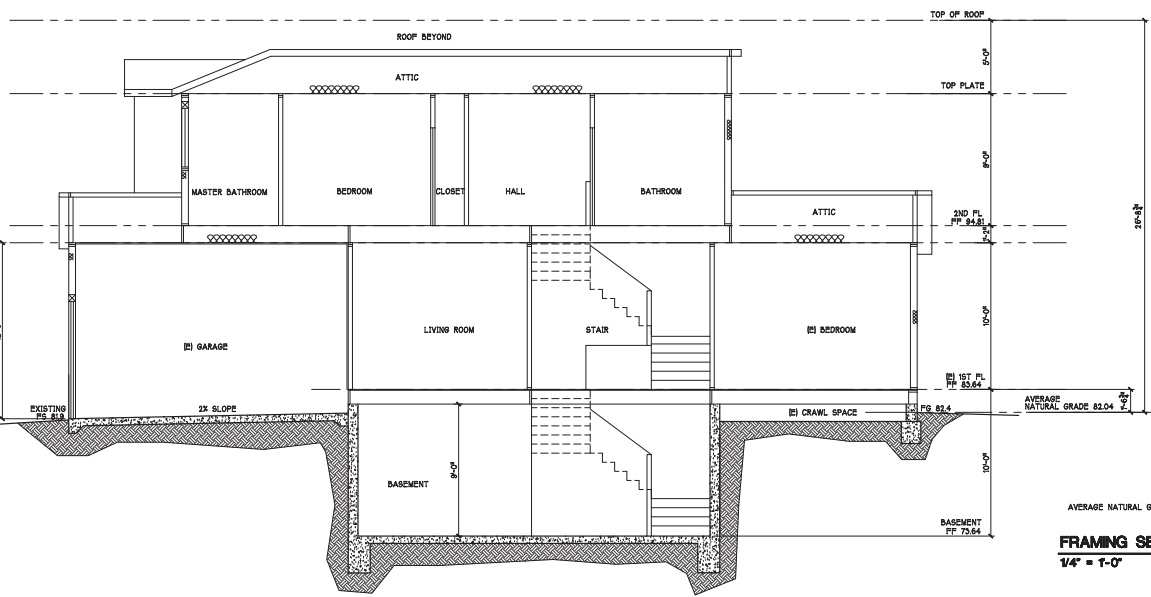
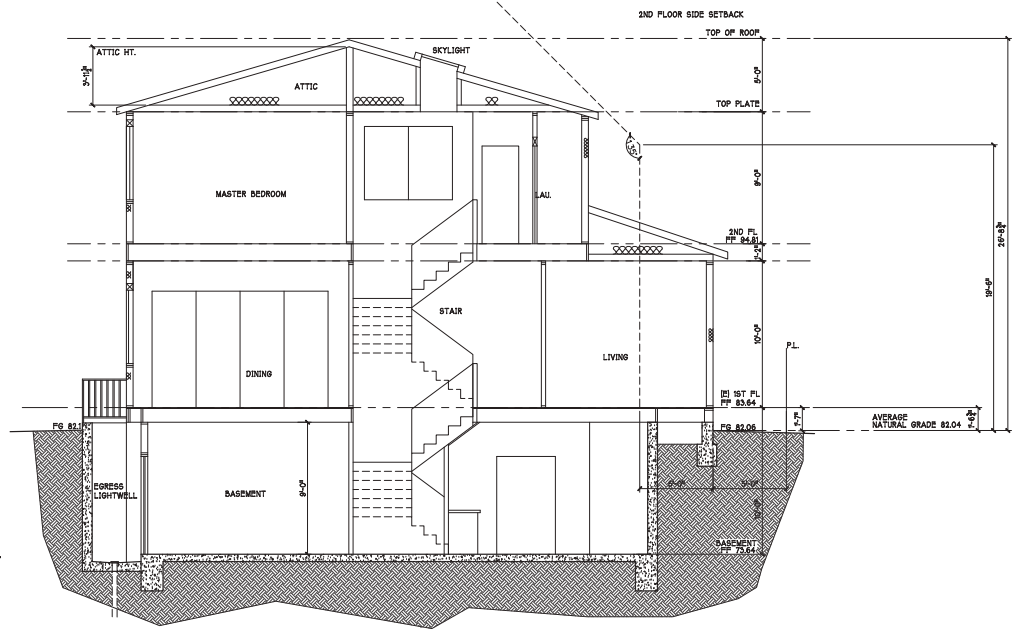
Revised by: _____
Drawn by:

A23

Sheet

ANY NONCONFORMING WALL IS NOT
TO BE DEMOLISHED, AND IF
DEMOLISHED IT CANNOT BE REBUILT
IN ITS CURRENT LOCATION.

FRAMING SECTION A
1/4" = 1'-0"



AVERAGE NATURAL GRADE = (81.69 + 81.92 + 82.40 + 82.16) / 4 = 82.04

FRAMING SECTION B
1/4" = 1'-0"

Revised:
PLANNING COMMENTS 8/28/95
PLANNING COMMENTS 8/28/95

HOUSE ADDITION
835 ARBOR RD,
MILPITAS, CA

Project No: 0478 8/28/95
Sheet Title:

SECTIONS

Revised By: _____
Sheet No:

A3.1

of Sheets

PLANNING COMMENTS 8/28/25

Project No:	DATE: 2/25/25
Sheet Title:	

Review By:	
Sheet No:	

of **Shade**

AVERAGE NATURAL GRADE = $(81.69 + 81.92 + 82.40 + 82.16) / 4 = 82.04$

PLANNING COMMENTS 5/20/25

Project No:	DATE: 2/25/25
Sheet Title:	

Review By: _____
Sheet No: _____

of **Shade**

AVERAGE NATURAL GRADE = $(81.68 + 81.92 + 82.40 + 82.16) / 4 = 82.04$



ANY NONCONFORMING WALL IS NOT
TO BE DEMOLISHED, AND IF
DEMOLISHED IT CANNOT BE REBUILT
IN ITS CURRENT LOCATION.



825 ARBOR RD.

835 ARBOR RD. - PROPOSED BUILDING ELEVATION
AVERAGE NATURAL GRADE = (81.69 + 81.92 + 82.40 + 82.36) / 4 = 82.04

STREETSCAPE ELEVATION
15' x 54'

845 ARBOR RD.



825 ARBOR RD. FRONT ELEVATION
15' x 54'



845 ARBOR RD. FRONT ELEVATION
15' x 54'

Revisions:
PLANNING COMMENTS 8/28/25
PLANNING COMMENTS 8/28/25

HOUSE ADDITION
835 ARBOR RD.,
HILLO PARK, CA

Project No: DATE: 8/28/25
Sheet Title:

STREETSCAPE

Revisions By: ☐
Sheet No:

ANY NONCONFORMING WALL IS NOT
TO BE DEMOLISHED AND IF
DEMOLISHED IT CANNOT BE REBUILT
IN ITS CURRENT LOCATION

Notes

PLANNING COMMENTS: APPROVE

PLANNING COMMENTS: APPROVE

PLANNING COMMENTS: APPROVE

HOUSE ADDITION

285 ARDEN RD,
MENLO PARK, CA

Project No: DATE: 8/25/08

Sheet Title: PROPOSED

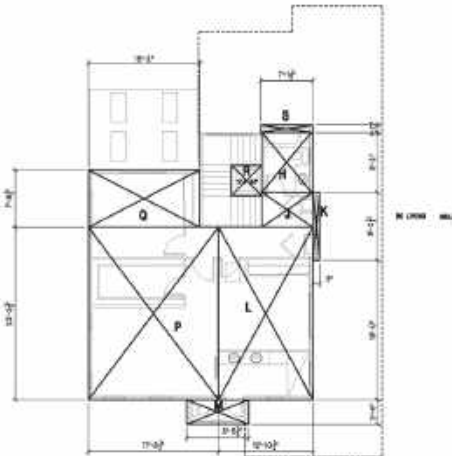
AREA CALCULATIONS

Revision To: ☐

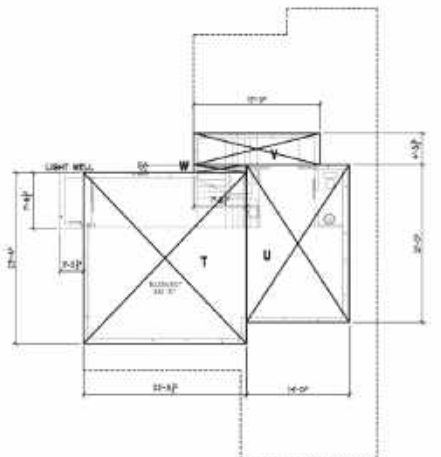
Sheet No:

A4.1

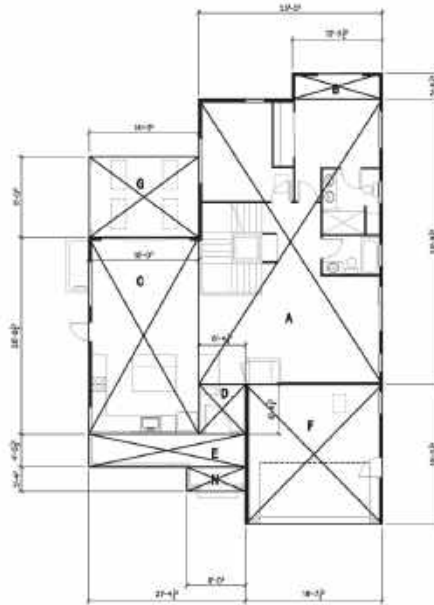
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2ND FLOOR
SF = 5,000



BASEMENT FLOOR
SF = 1,000



1ST FLOOR
SF = 1,000

NOTE:
SQUARE FOOTAGE CALCULATIONS ARE
TAKEN FROM EXTERIOR FACE OF WTUS

FLOOR AREA CALCULATIONS

AREA	CONVERSION	SQ. FT.
1ST FLOOR		
A	12'-0" X 12'-0"	144.00 SQ. FT.
B	12'-0" X 12'-0"	144.00 SQ. FT.
C	12'-0" X 12'-0"	144.00 SQ. FT.
D	12'-0" X 12'-0"	144.00 SQ. FT.
TOTAL		576.00 SQ. FT.

COVERED PORCH	E	12'-0" X 12'-0"	144.00 SQ. FT.
COVERED PORCH	F	12'-0" X 12'-0"	144.00 SQ. FT.
COVERED GARAGE	G	12'-0" X 12'-0"	144.00 SQ. FT.
COVERED PATIO	H	12'-0" X 12'-0"	144.00 SQ. FT.

2ND FLOOR		
I	12'-0" X 12'-0"	144.00 SQ. FT.
J	12'-0" X 12'-0"	144.00 SQ. FT.
K	12'-0" X 12'-0"	144.00 SQ. FT.
L	12'-0" X 12'-0"	144.00 SQ. FT.
M	12'-0" X 12'-0"	144.00 SQ. FT.
N	12'-0" X 12'-0"	144.00 SQ. FT.
O	12'-0" X 12'-0"	144.00 SQ. FT.
P	12'-0" X 12'-0"	144.00 SQ. FT.
Q	12'-0" X 12'-0"	144.00 SQ. FT.
R	12'-0" X 12'-0"	144.00 SQ. FT.
S	12'-0" X 12'-0"	144.00 SQ. FT.
TOTAL		1,728.00 SQ. FT.

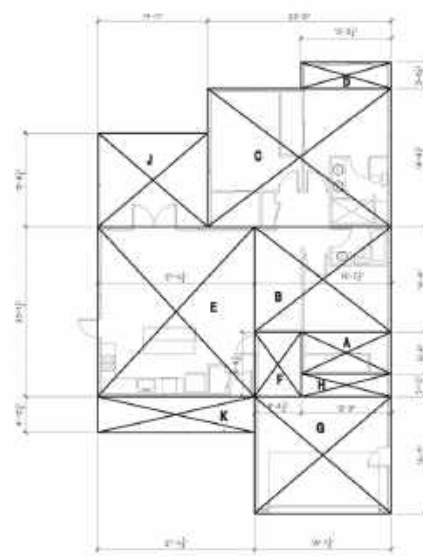
BASEMENT FLOOR		
T	12'-0" X 12'-0"	144.00 SQ. FT.
U	12'-0" X 12'-0"	144.00 SQ. FT.
V	12'-0" X 12'-0"	144.00 SQ. FT.
W	12'-0" X 12'-0"	144.00 SQ. FT.
TOTAL		576.00 SQ. FT.

FLOOR AREA LIMIT

MAX FLOOR AREA LIMIT:	SIDE-SP ALLOWED
EXISTING FLOOR AREA:	EXISTING LIVING + COVERED GARAGE + SHED = 1,728 SF
PROPOSED FLOOR AREA:	1ST FLOOR + COVERED GARAGE + 2ND FLOOR = 3,744 SF

BUILDING COVERAGE

MAX BUILDING COVERAGE LIMIT:	50% ALLOWED	6,000 SF LOT X 50% = 3,000 SF
EXISTING BUILDING COVERAGE:		2,224.5 SF / 6,000 SF = 0.37
PROPOSED BUILDING COVERAGE:		1ST FLOOR + 2ND FLOOR + 3RD FLOOR = 3,744 SF / 6,000 SF = 0.62



1 EXISTING FLOOR
1/8" = 1'-0"

NOTE:
SQUARE FOOTAGE CALCULATIONS ARE
TAKEN FROM EXTERIOR FACE OF STUD

FLOOR AREA CALCULATIONS

AREA	DIMENSION	SQ. FT.
EXISTING FLOOR LIVING AREA		
A	12'-0" x 8'-0"	96.0 SQ. FT.
B	10'-0" x 10'-0"	100.0 SQ. FT.
C	12'-0" x 10'-0"	120.0 SQ. FT.
D	12'-0" x 10'-0"	120.0 SQ. FT.
E	27'-0" x 12'-0"	324.0 SQ. FT.
TOTAL		640.0 SQ. FT.

COVERED GARAGE	F	8'-0" x 12'-0"	96.0 SQ. FT.
	G	10'-0" x 12'-0"	120.0 SQ. FT.
	H	12'-0" x 12'-0"	144.0 SQ. FT.
TOTAL			360.0 SQ. FT.

COVERED PATIO	J	10'-0" x 12'-0"	120.0 SQ. FT.
COVERED PORCH	K	12'-0" x 12'-0"	144.0 SQ. FT.

EXISTING TRELLIS AT LEFT SIDE YARD: 12'-0" x 12'-0" = 144 SQ. FT.
8'-0" HEIGHT WITH SOLID ROOF

EXISTING BED AT REAR YARD: 12'-0" x 12'-0" = 144 SQ. FT.
8'-0" HEIGHT WITH SOLID ROOF

EXISTING FLOOR AREA: EXISTING LIVING + COVERED GARAGE = 1,000.0 SQ. FT.
EXISTING BUILDING COVERED: 1,200.0 SQ. FT. / 6,000 SQ. FT. = 0.20

ANY NONCONFORMING WALL IS NOT
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IN ITS CURRENT LOCATION.

Revisions:
PLANNING COMMENTS: 05/05/08
PLANNING COMMENTS: 05/05/08
PLANNING COMMENTS: 05/05/08
PLANNING COMMENTS: 05/05/08

HOUSE ADDITION
1000 WILSON RD,
SUNNYVALE, CA

Project No: DATE: 05/05/08
Sheet Title:

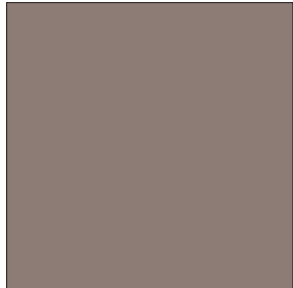
**EXISTING
AREA CALCULATIONS**

Revised By: ☐
Revised No:

A4.2

of Sheets

ANY NONCONFORMING WALL IS NOT
TO BE DEMOLISHED, AND IF
DEMOLISHED IT CANNOT BE REBUILT
IN ITS CURRENT LOCATION.



WOOD FASCIA BOARD - SHERWIN WILLIAMS SW6060

A WOOD FASCIA BOARD
NTA



VERTICAL SIDING - WOODPLANK COMPOSITE CLADDING, LIGHT OAK

B VERTICAL SIDING
NTA



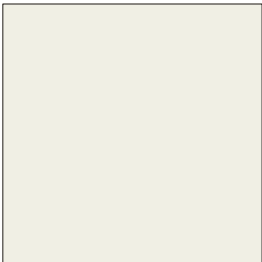
VINYL WINDOWS/DOORS - MILGARD VINYL WINDOWS/DOORS, LIGHT BROWN

C VINYL DOORS & WINDOWS
NTA



METAL ROOF AND SUNSHADE - AEP SPAN METAL ROOF, COOL WALNUT

D METAL ROOF
NTA



SMOOTH STUCCO - SHERWIN WILLIAMS SW7008

E SMOOTH STUCCO
NTA



ITALIAN 10 WORKSHOP CUSTOM WROUGHT IRON BALCONY

F WROUGHT IRON BALCONY
NTA



SECTIONAL STEEL GARAGE DOOR - CHI. DOOR

G SECTIONAL STEEL GARAGE DOOR
NTA



FRONT DOOR - WOODPLANK FRONT DOOR, LIGHT OAK

H FRONT DOOR
NTA

Revisions:
PLANNING COMMENTS 8/28/25
PLANNING COMMENTS 8/28/25

HOUSE ADDITION
885 ARBOR RD,
MILPITAS, CA

Project No: 04755/25
Sheet Title:

**COLOR &
MATERIAL**

Revisions By: ☐
Sheet No:

A4.3

of Sheets

835 Arbor Road

Project Description

- **Purpose of the proposal:** To accommodate the size of his family and their desired uses, property owner would like to add a second floor and a partial basement to the existing house in order to gain living space.
- **Existing and proposed uses:** Existing use is a one-story single-family with an attached garage. Proposed use will be a 2-story single-family with an attached garage.
- **Scope of work:** Project will add a partial basement and a second floor to the existing single-story residence. Floor Area, including garage, will be at 2,800 sf, and site coverage will be at 2,099 sf. Both the floor area limit and site coverage will be within the allowable in the R1S zone.
- **Basis for site layout:** Property owner respects the urban fabric of the neighborhood (lot pattern and placement of structures) and wants to maintain the existing open space. As such, the project will retain the location and footprint of the existing house. The vast majority of the added square footage will occur on the second floor. Curb cut will remain unchanged.
- **Architectural style, materials, colors, and construction methods:** The architecture of this neighborhood is of mixed style. The neighbor on the right is of a contemporary Spanish style, with metal roof and stucco siding. The proposed project will match the character of this neighbor. To further blend into the neighborhood, this house will use gentle sloped roof, earth tone colors and a touch of wood siding, echoing the other houses on this block.

Proposed exterior wall will be a combination of smooth stucco painted in SW7008 color,
and Woodplank Composite Cladding vertical siding in Light Oak color

Proposed roof will be standing seam AEP Span Metal Roof, in Cool Walnut color

Proposed windows will be Milgard Vinyl, in light brown color

Proposed front door will be Woodplank, in Light Oak color

Proposed garage door will be C.H.I. Door, in steel, sectional, with wood cladding

- **Outreach to neighboring properties:**

Bryan Shepherd (Owner of 835 Arbor) spoke on the phone with Kerry Eastman, the owner of the home behind (**1130 Sexton Way**), in April 2025. She was interested to know his remodel plans and if he was selling his property. He confirmed that he was not selling and he was looking to expand and add a 2nd story. She had no concerns about his proposed plans.

Bryan spoke to the neighbors to the right (**845 Arbor Rd**), Alex and Jesse, in April 2025. They built a brand-new home on their lot a couple years ago and were supportive of his project and the expansion. They even gave him some tips on what to expect in terms of timeline and recommended him to go with a metal roof. They have a few informal check-in's regarding progress on the project.

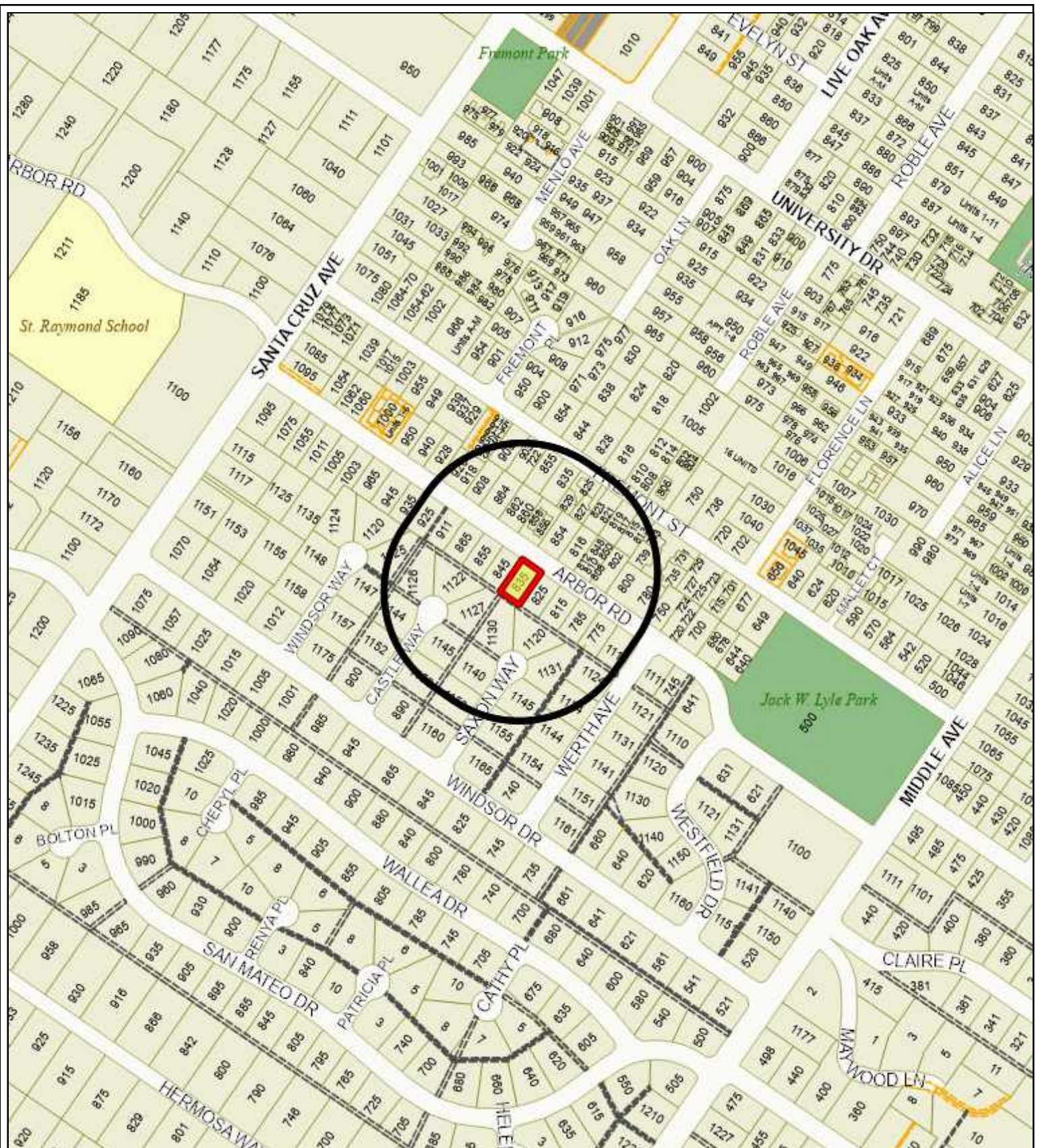
Bryan has been checking in constantly with Mike, the owner at **856 Arbor Rd**. They discussed the remodel project. Bryan has not heard any objections from Mike.

Bryan often checks in with Adreane of **865 Arbor** while walking in the neighborhood. They have briefly talked about the plans and the progress. Bryan has not noticed any objections.

The neighbor to the left (**825 Arbor**) is a renter. Bryan has not formally met with her about his project, but they have a good relationship. Bryan has not yet been able to meet the owner of this property.

LOCATION: 835 Arbor Road	PROJECT NUMBER: PLN2025-00015	APPLICANT: Anthony Ho, LPMD Architects	OWNER: Bryan Shepherd
PROJECT CONDITIONS: 1. The use permit shall be subject to the following standard conditions: a. The applicant shall be required to apply for a building permit within one year from the date of approval (by November 3, 2026) for the use permit to remain in effect. b. Development of the project shall be substantially in conformance with the plans prepared by LPMD Architects consisting of 16 plan sheets, dated October 20, 2025 and approved by the Planning Commission on November 3, 2025, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. h. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application. i. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings. j. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of			

LOCATION: 835 Arbor Road	PROJECT NUMBER: PLN2025-00015	APPLICANT: Anthony Ho, LPMD Architects	OWNER: Bryan Shepherd
PROJECT CONDITIONS: approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application. 2. The use permit shall be subject to the following standard conditions: a. The existing hedge at the front of the property on the right (west) side shall be trimmed and maintained to meet the Zoning Ordinance maximum height of four feet within the front setback area.			



City of Menlo Park
Location Map
835 Arbor Road (PLN2025-00015)



Scale: 1:4,000

Drawn By: CC

Checked By: TAS

Date: 11/3/2025

Sheet: 1

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	6,000 sf	6,000 sf	10,000 sf min
Lot width	60 ft	60 ft	80 ft min
Lot depth	100 ft	100 ft	100 ft min
Setbacks			
Front (north)	20 ft	20 ft	20 ft min
Rear (south)	18.7 ft	18.7 ft	20 ft min
Side-left (east)	15-15.1 ft	15-15.1 ft	10 ft min
Side-right (west)	4.9 ft	4.9 ft	10 ft min
Building coverage	2,099.2 sf 35 %	2,224 sf 37 %	2,100 sf max 35 % max
Floor area limit (FAL)	2799.7 sf	1,798 sf	2,800 sf max total
Square footage by floor	1,458.5 sf-first level 354.6 sf-garage 986.6 sf-second level 899.5 sf-basement 164.1 sf-patio 122 sf-porch	1,344 sf-first level 390.7 sf-garage 63.7 sf-shed 132 sf-trellis 189.4 sf-patio 104.5 sf-porch	
Square footage of buildings	3,985.3 sf	2,224 sf	
Building height	26.7 ft	13.1 ft	28 ft max
Parking	2 covered spaces	2 covered spaces	2 spaces (1 covered space min)
Trees	Heritage trees 0 Heritage trees 0 proposed for removal	Non-Heritage trees 1 Non-Heritage trees 0 proposed for removal	New trees 0 Total Number of trees 1
Notes	1. Areas shown highlighted indicate a substandard or nonconforming situation. The maximum building coverage for the existing single-story development is 40%. 2. The proposed basement floor area is excluded from FAL (MPMC 16.04.313(c)(1)).		



STAFF REPORT

Planning Commission

Meeting Date:

11/3/2025

Staff Report Number:

25-051-PC

Regular Business:

Review of draft 2026 Planning Commission meeting dates

Recommendation

Staff recommends that the Planning Commission provide feedback on the proposed 2026 Planning Commission calendar, included as Attachment A.

Policy Issues

Review of the draft Planning Commission calendar does not raise any particular policy issues.

Background

Each year, the Planning Commission reviews the Planning Commission calendar for the upcoming year.

Analysis

Attachment A identifies the proposed 2026 Planning Commission meeting dates. The proposed meeting dates were selected with consideration of the following factors:

- Typical schedule of two meetings per month on Mondays;
- City holidays and other noted celebrations and religious holidays;
- Reduction of scheduling conflicts with other City Commission meetings; and
- Avoidance of back-to-back meetings when possible.

At times, the Planning Commission may also need to schedule study sessions or special meetings. These meetings can be scheduled on an as needed basis, and therefore, have not been identified on the calendar.

In addition to the above listed factors, the draft 2025 Planning Commission calendar takes into account Columbus Day/Indigenous Peoples' Day, which while not a City holiday, is observed by the local school districts and some government and private sector organizations. At the November 3 meeting, the Commissioners should be prepared to discuss their schedules to determine if any modifications are needed to the draft schedule. Staff recognizes that schedule conflicts may arise in the future, but if the Commission can determine if any meeting dates would result in a lack of a quorum, these dates should be avoided now. For example, if a Planning Commissioner is aware of a particularly problematic conflict with a local school break, that can be discussed at this meeting.

The Planning Commission may make a formal motion/second and vote to approve the draft calendar (with or without revisions), or Commissioners may provide individual input for staff to review and finalize administratively. Once the Commission has approved the 2026 meeting dates or provided direction to staff,

staff will provide the City Clerk with the information and update the City's webpage.

Impact on City Resources

Review of the draft Planning Commission calendar does not affect City resources.

Environmental Review

Review of the draft Planning Commission calendar is not a "project" under the California Environmental Quality Act (CEQA), and thus no environmental review is required.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

A. Draft 2026 Planning Commission Calendar

Report prepared by:
Corinna Sandmeier, Principal Planner

Report reviewed by:
Kyle Perata, Assistant Community Development Director

PLANNING COMMISSION

DRAFT MEETING DATES FOR 2026

January						
S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

February						
S	M	T	W	T	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28

March						
S	M	T	W	T	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

April						
S	M	T	W	T	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

May						
S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

June						
S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

July						
S	M	T	W	T	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

August						
S	M	T	W	T	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

September						
S	M	T	W	T	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

October						
S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

November						
S	M	T	W	T	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30					

December						
S	M	T	W	T	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

PC MEETINGS

CITY HALL CLOSED

SPECIAL MEETINGS WILL BE SCHEDULED AS NEEDED