



REGULAR MEETING AGENDA

Date: 11/4/2020

Time: 6:30 p.m.

Regular Meeting Location: [Zoom.us/join](https://zoom.us/join) – ID #997-7506-7654

NOVEL CORONAVIRUS, COVID-19, EMERGENCY ADVISORY NOTICE

On March 19, 2020, the Governor ordered a statewide stay-at-home order calling on all individuals living in the State of California to stay at home or at their place of residence to slow the spread of the COVID-19 virus. Additionally, the Governor has temporarily suspended certain requirements of the Brown Act. For the duration of the shelter in place order, the following public meeting protocols will apply.

Teleconference meeting: All members of the Housing Commission, city staff, applicants, and members of the public will be participating by teleconference. To promote social distancing while allowing essential governmental functions to continue, the Governor has temporarily waived portions of the open meetings act and rules pertaining to teleconference meetings. This meeting is conducted in compliance with the Governor's Executive Order N-25-20 issued March 12, 2020, and supplemental Executive Order N-29-20 issued March 17, 2020.

- How to participate in the meeting
 - Access the meeting real-time online at:
[Zoom.us/join](https://zoom.us/join) – Regular Meeting ID #997-7506-7654
 - Access the regular meeting real-time via telephone (listen only mode) at:
(669) 900-6833 Regular Meeting ID 997-7506-7654

Subject to Change: Given the current public health emergency and the rapidly evolving federal, state, county and local orders, the format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the City's website www.menlopark.org. The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information (menlopark.org/agenda).

Regular Session ([Zoom.us/join](https://zoom.us/join) – ID# 997-7506-7654)

- A. **Call to Order**
- B. **Roll Call**
- C. **Public Comment**

Under "Public Comment," the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under Public Comment for a limit of three minutes. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

D. Regular Business

- D1. Approve minutes for the Housing Commission meetings of October 7, 2020 ([Attachment](#))
- D2. Recommendation of a below market rate agreement term sheet with Chase Rapp for 1162 El Camino Investors, LLC ([Staff Report 20-007-HC](#))
- D3. Recommendation to approve the Below Market Rate Housing Fund – Notice of Funding Availability ([Staff Report 20-008-HC](#))

E. Reports and Announcements

- E1. Ad hoc subcommittee reports
- E2. Commissioner updates
- E3. Recommend future agenda items
- E4. Staff updates and announcements

F. Adjournment

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.org. Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Government Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the City website at menlopark.org/agenda and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 10/30/2020)



REGULAR MEETING MINUTES – DRAFT

Date: 10/7/2020

Time: 6:30 p.m.

Regular Meeting Location: Zoom.us/join – ID #997-7506-7654

A. Chair Grove called the meeting to order at 6:41 p.m.

B. Roll Call

Present: Bigelow, Conroy, Grove, Horst, McPherson, Merriman, Pimentel

Absent: None

Staff: Deputy Community Development Director Rhonda Coffman,
Management Analyst II Mike Noce, Associate Planner Matt Pruter

C. Public Comment

None.

D. Regular Business

D1. Approve minutes for the Housing Commission meetings of September 2, 2020

ACTION: Motion and second (Bigelow/Conroy), to approve the Housing Commission meeting minutes of September 2, 2020, passed unanimously.

D2. Review of commission/committee policies and procedures, roles and responsibilities

City Clerk Judi Herren made the presentation (Attachment).

D3. Recommendation of a below market rate agreement with HuHanTwo, LLC for 201-211 El Camino Real and 612 Cambridge Avenue (Staff Report 20-006-HC)

Associate Planner Matt Pruter introduced the item.

- Steve Atkinson commented on his letter sent to the Housing Commission (Attachment).

ACTION: Motion and second (Horst/McPherson) to recommend the approval of a below market rate agreement with HuHanTwo, LLC for 201-211 El Camino Real and 612 Cambridge Avenue, passed unanimously.

D4. Review and finalize the development of the 2020-2021 Housing Commission workplan

Deputy Community Development Director introduced the item.

ACTION: Motion and second (Pimentel/Conroy) to recommend the approval of the Housing Commission workplan including the changes discussed by the commission and staff (Attachment).

E. Reports and Announcements

E1. Ad hoc subcommittee reports (10 minutes):

None.

E2. Commissioner updates

Commissioner Merriman reported that many developers organize their development process in a parallel track with a City's general plan review and timeline.

Bigelow spoke about the importance of voting and highlighted the upcoming November 3 election.

E3. Recommended future agenda items.

Commissioner suggested future agenda items:

- Emergency rental assistance
- Presentation on the development process

E4. Staff updates and announcements

Emergency rental assistance program administered by Samaritan House, reported the use of \$74,000 to support 26 households.

Two below market rate (BMR) rental units are available at 650 Live Oak Avenue to households within the 51-60% area median income (AMI) levels.

F. Adjournment

Chair Grove adjourned the meeting at 8:47 p.m.

Mike Noce, Management Analyst II, Community Development

COMMISSIONS/COMMITTEES POLICIES AND PROCEDURES, ROLES AND RESPONSIBILITIES

City Council Policy #CC-19-0004



AGENDA

- What is an advisory body
- Workplan
- Scope of authority
- Roles and responsibilities of the chair
- Questions



2

WHAT IS AN ADVISORY BODY

- What is "advisory in nature"?
- How can advisory bodies assist in achieving City Council priorities
 - hearing public testimony on the City Council's behalf
 - e.g., through public comment at meetings
 - study referred matters and return recommendations and advice to the City Council
 - forwarding recommendations to the City Council for its consideration
 - e.g., through the advisory body workplan or workplan amendments that better align with city council priorities



3

WORKPLAN

- City Council workplan
 - Lays foundation for the work to be conducted through the year
- Advisory body workplan
 - Supports the priorities set by the City Council
- Workplan process
 - Develop workplan
 - Approve workplan
 - Formally present to City Council
 - Report out quarterly



4

SCOPE OF AUTHORITY

- Clarity on scope of authority
 - Not involved in the administration or operation of City departments
- The staff liaisons role
 - Provide a schedule of meetings
 - Advise the advisory body on directions and priorities of the City Council
 - Informing the advisory body of events, activities, policies, programs, etc. occurring within the scope of the City Council approved workplan
 - Ensure that agenda items approved by the advisory body are brought forth in a timely manner
 - Take action minutes



5

ROLES AND RESPONSIBILITIES OF THE CHAIR

- Presiding officer
- Allow for adequate public participation
- Refrain members from conversations with the public
 - Hold members comments/questions until the close of public comment/public hearing
 - Must halt conversations between members and public
 - Either verbal or written
- In the absence of the chair, the vice chair shall act as the presiding officer



6



THANK YOU FOR YOUR SERVICE
TO THE MENLO PARK
COMMUNITY



QUESTIONS

Noce, Michael R

From: Coffman, Rhonda L
Sent: Wednesday, October 7, 2020 2:36 PM
To: Coffman, Rhonda L
Cc: Noce, Michael R
Subject: Letter to Housing Commission re BMR Term Sheet/Agreement for 201 ECR/612 Cambridge

Chair Grove and members of the Housing Commission,

Please see the letter below that was submitted regarding agenda item D.3.

Thank you,
Rhonda

Karen Grove, Chair, and Commissioners:
Menlo Park Housing Commission

Dear Chair Grove and Menlo Park Housing Commissioners:

We represent Hu-HanTwo, the property owner and applicant for the mixed use project at 201 El Camino Real and 612 Cambridge Avenue ("Project"). We are sending this letter concerning the proposed BMR Term Sheet and draft BMR agreement for the Project.

To be clear, we are in general agreement with both the Term Sheet and the draft BMR agreement. However, we were not given an opportunity to review the draft Term Sheet or draft BMR agreement before they were sent out to the Commission, and we have since identified two issues we would like the Commission to consider.

First, the Project includes two townhouses on a separate lot from the 12 unit multi-family, mixed-use building where the two BMR units are to be located. The two townhouses would be mapped as condos, as would the 12 multi-family units, though the intent is to operate them all as rentals for an indefinite period. Although the owner does not have specific plans for the sale of either the townhouses or multi-family unit condos, there is a possible scenario in which the townhouses could be sold as condos while the 12 units within the mixed-use building continued as rentals. To account for this scenario, we would like the BMR agreement to include language which specifically recognizes that the sale of a townhouse does not trigger the sale of any units, including BMR units, in the 12 unit building.

Second, both the Term Sheet and draft BMR Agreement state that when the BMR units are required to be sold, they are required to be sold at the low income level, despite the fact that the City's general policy is that BMR units should be sold at moderate income levels. Based on our discussion with staff over the past few days, we understand that the rationale for requiring the units to be sold at lower income is to increase the chance that a lower income resident who is renting a BMR unit at the time when the BMR would be sold would have a better chance of being able to purchase the unit. (Note, we have no information as to how often lower income renters are able to purchase their units in the event of a conversion.)

We can appreciate the desire to minimize the chance that a low income tenant would be displaced in the event a unit is sold. However, the difference between being able to sell a unit at a low income price versus a middle income price (which, to repeat, is the City's standard practice) represents a significant economic burden on the owner, for a Project which does not have a great expectation of profitability (as documented by BAE's "public benefit" analysis.)

We believe there is a simple change which represents a reasonable compromise between the City's desire to minimize displacement of a low income tenant and the owner's reasonable desire to be able to make a fair return. We are proposing that in the event of a sale of the BMR units, an existing low income tenant would be offered the right to purchase the unit at the low income price. However, if that lower income tenant does not elect to, or is unable to, purchase the unit at a low income price level, then the unit could be sold at a moderate income level. Under this approach, it is possible that both low income tenants could purchase their units at a low income price, or that neither low income tenant would purchase their units and both units would be sold at a moderate income price, or even that one unit would be sold at a low income price and the other sold at a moderate price. In all of these scenarios, the number of displaced tenants would be exactly the same, because any tenant that did not purchase their unit would necessarily be displaced when the unit was sold.

We introduced this alternative to City staff on Monday. Subsequently, at the Planning Commission hearing on Monday night, it was stated that the this alternative would cause a possible problem with the City's accounting of units for RHNA purposes, among other things. However, given that the City's standard policy is to allow BMR units to be sold at a moderate income price, we do not believe a complication in RHNA reporting is enough of a reason to reject our proposed compromise. Of course, it is possible that staff will have some other basis for rejecting our proposed compromise, which I assume they would share with you at tonight's meeting.

In conclusion, as the Term Sheet and draft BMR agreement are now written, they are inconsistent with the City's policy that BMRs can be sold at the moderate income price level. We believe our proposed compromise would allow the owner a chance to sell the units at a moderate income level, while minimizing the necessity for a lower income tenant to be displaced at the time of sale. We understand that the City has a need for both low income and moderate income for sale BMRs, so whether the units are sold at moderate income or low income, they still serve to meet an important need. Finally, we also believe that there is no reason why the owner's decision to sell the townhouses should trigger a need to sell the BMR units.

I plan to attend tonight's meeting and will be happy to address this issue further, but I wanted to submit this letter in advance so that you had an opportunity to prepare. I look forward to speaking with you all tonight. Thanks for your consideration.

Steve Atkinson
Counsel

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HOUSING COMMISSION

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DRAFT WORK PLAN 2020-21

Mission Statement	
<p>We are affordable housing advocates.</p> <p>We make recommendations to the City Council on issues related to housing policy, implement Council policy decisions, and represent the City where needed on housing matters.</p> <p>We are a conduit of information out to the community about affordable housing programs and a conduit of information back from the community regarding housing matters to the City Council.</p>	
Committee Members Listing and Term Expirations	
Lauren Bigelow	April 30, 2023
Curtis Conroy	April 30, 2021
Karen Grove - Chair	April 30, 2022
Rachel Horst – Vice Chair	April 30, 2021
Wendy McPherson	April 30, 2021
Nevada Merriman	April 30, 2021
John Pimentel	April 30, 2024
Priority List	
The Housing Commission has identified the following priorities to focus on during 2020-21:	
<p>Summary of common items:</p> <ul style="list-style-type: none"> • ADU's – (revise NOFA) near term goal • CLT – preservation of naturally affordable housing (revise NOFA to be over the counter) – near term goal • Develop a mix of affordable housing at all affordability levels including ELI near ECR – longer term goal 	
<p>Overarching</p> <p>Need more affordable housing in Menlo Park (west side of 101, west of Middlefield, west of ECR)</p>	

Work Plan Worksheet						
Step 1 - Review purpose of Commission as defined by Menlo Park Council Policy CC-01-0004						
<p>Each advisory body has a primary role of advising the City Council on policy matters or reviewing specific issues and carrying out assignments as directed by the City Council or prescribed by law. The Housing Commission is charged primarily with advising the City Council on housing matters. including housing supply and housing related problems. Specific focus areas include:</p> <ul style="list-style-type: none"> • Community attitudes about housing (range, distribution, racial, social-economic problems) • Programs for evaluating, maintaining, and upgrading the distribution and quality of housing stock in the City • Planning, implementing and evaluating City programs under the Housing and Community Development Act of 1974 • Review and recommend to the Council regarding the Below Market Rate (BMR) program • Initiate, review and recommend on housing policies and programs for the City • Review and recommend on housing related impacts for environmental impact reports • Review and recommend on State and regional housing issues • Review and recommend on the Housing Element of the General Plan 						
Step 2 - Develop or review a Mission Statement that reflects that purpose (<i>Who we are, what we do, who we do it for, and why we do it</i>)						
<p>We are affordable housing advocates.</p> <p>We make recommendations to the City Council on issues related to housing policy, implement Council policy decisions, and represent the City where needed on housing matters.</p> <p>We are a conduit of information out to the community about affordable housing programs and a conduit of information back from the community regarding housing matters to the City Council.</p>						
Step 3 - Discuss any priorities already established by Council						
Step 4 - Brainstorm goals, projects or priorities of the Committee						
<u>Brainstorm goals, projects or priorities of the Committee</u>	<u>Benefit, if completed</u>	<u>Mandated? by State/local law or by Council direction</u>	<u>Policy change? At Council level</u>	<u>Resources needed for completion</u> (Staff, subcommittees, funds)	<u>Estimated Completion Time</u>	<u>Measurement Criteria</u> (How will we know how we are doing?)
Increase production of Accessory Dwelling Units (ADUs): <ul style="list-style-type: none"> • Streamline and simplify by making process easier and less expensive • Provide funds to assist property owners to 	Increase supply of housing <ul style="list-style-type: none"> • Make ADU's accessible to wider range of people • Increase health and safety of current occupants (of 	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<ul style="list-style-type: none"> • Produce ADU development process navigation tools (resources: staff, ad-hoc, consultants) 	2021	<ul style="list-style-type: none"> • Navigation tools developed • ADU/JADU production increase (beyond baseline for past few years, tie to HE?)– can we say what is our baseline?

<p>develop (or convert unpermitted) ADU/JADU's through the BMR Housing Fund with grants and loans</p> <ul style="list-style-type: none"> Create incentives for property owners to deed restrict affordable housing units (long term affordability) 	<ul style="list-style-type: none"> unpermitted conversions) Help existing lower income households create ADU's to supplement income, produce more housing units and create opportunities for multi-generation living 			<ul style="list-style-type: none"> Develop ADU/JADU funding program for lower income homeowners (resources: staff, ad-hoc, non-profit organizations, community land trusts) 		<ul style="list-style-type: none"> Funding program developed and implemented, funds issued.
<p>Partner with and support Community Land Trusts (CLTs):</p> <ul style="list-style-type: none"> Provide funding support to CLT's to acquire units offered for sale for conversion to deed restricted affordable (in perpetuity) Look into community land trust in greater detail to consider additional opportunities for affordable housing preservation (develop expertise) Develop programs or process w/CLT to produce affordable housing (e.g. ADU's, rental, ownership) 	<ul style="list-style-type: none"> Promote community stability through affordable housing preservation activities (e.g. prevent foreclosure and displacement) Increase housing production through ADU development Program w/CLT will allow city to be competitive and agile in housing acquisition for preservation 	<p>Yes <input type="checkbox"/></p> <p>No <input type="checkbox"/></p>	<p>Yes <input type="checkbox"/></p> <p>No <input type="checkbox"/></p>	<ul style="list-style-type: none"> Development and partnerships (staff, ad-hoc, community land trusts) 	2020-2021	<ul style="list-style-type: none"> Provided access to BMR funds for acquisition of rental housing or other housing production activities (e.g. ADU/JADU loan program, home ownership program, etc.) Gained a better understanding of the CLT models and programs Mastery of CLT concept by staff and HC ad-hoc; scan of field for local-serving CLT organizations; evaluation and due diligence of local-serving CLT organizations; selection of a CLT to partner with; partnership agreement in place; program established and funded; preservation and/or production projects completed.

Increase Density/Zoning (density and height): <ul style="list-style-type: none"> • Downtown and west side of town, along ECR and Willow road (already have high density east of 101) • Allocate time and resources to big picture opportunities to create affordable housing (e.g. USGS site, school site) • Support housing production near transit • Prioritize production of ELI and VL income housing near ECR/transit corridor 	<ul style="list-style-type: none"> • Increase housing production dispersed throughout the City • Affordable housing production • AFFH (except for last bullet) • Traffic reduction • Achieve climate goals 	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Staff, HC ad-hoc, HC, PC, CC, consultants, City Attorney	2020-2021	<ul style="list-style-type: none"> • Zoning amended
Identify sites where affordable housing can be built on publicly owned land and high opportunity sites <ul style="list-style-type: none"> • Development of affordable housing on the downtown parking lots • Explore partnerships with school districts and faith based organizations. Help them rezone for affordable housing • Consider downtown library area as a site for affordable housing, potentially as part of a library renewal project 	<ul style="list-style-type: none"> • Affordable housing production • AFFH • Traffic reduction • Achieve climate goals 	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<ul style="list-style-type: none"> • Obtain site inventory of City/Publicly owned land (resources: staff, consultants) • Review current use and zoning (resources: staff, ad-hoc, consultants) • Make recommendations (resources: staff, HC, ad-hoc, consultants) 	2020-2021	<ul style="list-style-type: none"> • Site inventory complete, available to public • Study session or other public meeting to review current use and zoning • HC votes on recommendations
Administration/Strategies <ul style="list-style-type: none"> • Amend/updated NOFA (annual and over the counter) 	<ul style="list-style-type: none"> • OTC NOFA will allow us to fund project in a timely and opportunistic manner 	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<ul style="list-style-type: none"> • Amend NOFA (staff, ad hoc) • Update BMR Guidelines (staff, ad-hoc) 	<ul style="list-style-type: none"> • Fall 2020 	<ul style="list-style-type: none"> • NOFA issued • BMR update recommendations passed by HC

<ul style="list-style-type: none"> Update BMR Guidelines to include funding programs and administrative updates: <ul style="list-style-type: none"> ADU/JDU loan program Foreclosure prevention program First time homebuyer program Review BMR proposals and make recommendations to PC and CC 	<ul style="list-style-type: none"> ADU/JDU loan program will expand ADU opportunity to lower income, lower wealth residents. (AFFH) Foreclosure prevention – prevent displacement, community stability, improved health and equity 					<ul style="list-style-type: none"> Recommendations approved by PC/CC
Community Engagement <ul style="list-style-type: none"> Expand engagement with monolingual Spanish speaking community members Housing Element update – host/co-host educational events/workshops on the housing element process 	<ul style="list-style-type: none"> Increase diversity of community participation and input 	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<ul style="list-style-type: none"> Resources: staff, funding for community organization partners, interpreters, ad-hoc 	2020-2021	<ul style="list-style-type: none"> Three monolingual Spanish-inclusive community meetings by end of 2021
Step 5 - Prepare final work plan for submission to the City Council for review, possible direction and approval and attach the worksheets used to determine priorities, resources and time lines.						
Step 6 - Once approved, use this plan as a tool to help guide you in your work as an advisory body.						
Step 7 - Report out on status of items completed. Provide any information needed regarding additional resources needed or/and to indicate items that will need additional time in order to complete.						



STAFF REPORT

Housing Commission

Meeting Date:

11/4/2020

Staff Report Number:

20-007-HC

Regular Business:

Recommendation of a Below Market Rate Agreement Term Sheet with Chase Rapp for 1162 El Camino Investors, LLC

Recommendation

Staff recommends that the Housing Commission recommend approval of the draft Below Market Rate (BMR) Term Sheet ("Term Sheet") to the Planning Commission for three on-site BMR for-rent units as part of a proposed nine-unit three-story residential development with ground level parking, at 1162 El Camino Real, as described in the draft Term Sheet (Attachment A).

Policy Issues

Each BMR Housing Agreement is considered individually. The Housing Commission should consider whether the proposal would be in compliance with the BMR Housing Program Guidelines and the BMR Housing Ordinance.

Background

Site location

The project site consists of one parcel totaling approximately 8,374 square feet, located at 1162-1170 El Camino Real. Using El Camino Real in a north to south orientation, the subject parcel is located on the east side of El Camino Real, between Oak Grove Avenue and Santa Cruz Avenue, in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The surrounding properties are also located in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district.

The subject property is bounded by retail service buildings to each side along El Camino Real. These include a fairly large one-story building to the north, which extends to the Oak Grove Avenue intersection and is occupied by a FedEx Office Print and Ship Center, and a small, two-story commercial building to the south. The property to the east is developed with a residential condominium and commercial mixed-use development known as Menlo Square. The residential buildings in Menlo Square are two-to-three stories in height.

The subject parcel is located in the Station Area East (SA E) sub-district of the Specific Plan, which provides for higher densities with a focus on residential development given its location at the train station area and downtown. The SA E sub-district allows 50 residential units per acre at the base level and 60 residential units per acre at the public benefit bonus level. The subject property is approximately 8,374 square feet in size, meaning nine residential units would be allowed at the base density level and 11 units

would be allowed if the applicant provided a public benefit. The applicant has chosen base level density. The City's Below Market Rate (BMR) Housing Ordinance also allows a developer one additional market-rate unit for each BMR unit provided.

Analysis

Project description

The project site is currently developed with a two-story structure, occupied by a bookstore, and two one-story buildings used for commercial office uses. The applicant is proposing to demolish three existing structures and redevelop the site, at the base density level, with a three-story building consisting of nine pre-fabricated modular apartment units on two stories set over a one-story, ground-level, parking garage with a building entry/lobby facing El Camino Real. There would be a seating area at the lobby and a bike storage room as well as trash facilities in the garage. The residential units consist of two studio units, three one-bedroom units, and four two-bedroom units. The applicant's BMR proposal letter and select sheets from the project plans are included as Attachments C and D, respectively.

The proposal is subject to additional review and refinement prior to Planning Commission action on the overall project, which requires architectural control, in addition to the BMR agreement. The Planning Commission will take final action on all requested entitlements for the proposed project. As part of the proposed project, one heritage tree avocado tree would be removed. The Housing Commission should note that the proposal is still under staff review, and aspects of the design are subject to change before final project actions.

BMR Housing Program & related requirements

The applicant is required to comply with Chapter 16.96 of City's Municipal Code ("BMR Ordinance"), and with the BMR Housing Program Guidelines adopted by the City Council to implement the BMR Ordinance ("BMR Guidelines") since the project includes more than four residential units. In accordance with the City's BMR Guidelines, it is preferred for residential developments with five to nine units to provide one unit at below market rate to a very low, low, or moderate income household. The BMR Ordinance requires the applicant to submit a Below Market Rate Housing proposal for review by the Housing Commission.

Residential use of the property is allowed by the applicable zoning regulations, and the proposed project includes nine residential units. The applicant is proposing to satisfy the project's BMR obligation through the construction of three BMR rental units on-site, for very-low, low and moderate-income level households. Of the three BMR units, two are off-site requirements for the 506 Santa Cruz Avenue/556 Santa Cruz Avenue/1125 Merrill Street project.

On May 14, 2018, the Planning Commission approved entitlements for three linked, mixed-use projects at 506-540 Santa Cruz Avenue, 556-558 Santa Cruz Avenue and at 1125 Merrill Street as well as a comprehensive Below Market Rate (BMR) housing agreement for all three proposals. During the review process for these applications, the applicant stated that there are financial feasibility and operational challenges associated with providing an on-site BMR unit within the 506 Santa Cruz Avenue/556 Santa Cruz Avenue/1125 Merrill Street project and so he proposed providing two BMR units at the 1162-1170 El

Camino Real property, once it is redeveloped, to satisfy the 0.9 unit residential unit obligation of the 506 Santa Cruz Avenue/556 Santa Cruz Avenue/1125 Merrill Street project.

Two units would be provided instead of one due to the extended timeline for the provision of the off-site units versus the timing of a potential on-site unit. The BMR Housing Agreement also requires the payment of the in-lieu fee for the commercial component of the project, as well as the future BMR requirements for the 1162-1170 El Camino Real project, in addition to the two off-site BMR units. To ensure there aren't significant delays in the fulfillment of the residential BMR obligation for the 506 Santa Cruz Avenue/556 Santa Cruz Avenue/1125 Merrill Street project, the BMR Housing Agreement requires the two BMR units at 1162-1170 El Camino Real to be ready for occupancy by BMR households within two years of receipt of a certificate of occupancy or final inspection for the market rate residential units at the 506 Santa Cruz Avenue/556 Santa Cruz Avenue/1125 Merrill Street project, or the applicant would be required to pay a residential BMR in-lieu fee equal to the cost of providing two BMR units. Building permits have been issued 506 Santa Cruz Avenue/556 Santa Cruz Avenue/1125 Merrill Street project and construction is underway.

The proposed BMR units would both be on the second and third floor of the residential building, consisting of a studio, one-bedroom, one-bathroom unit, and a two-bedroom, two-bathroom unit. As stated earlier, all parking for the units would be accessed through the ground level parking garage. The BMR units would generally have the same floor plan and size as several of the other units within building. As shown on the proposed elevations, the exterior of the BMR unit would be indistinguishable from those of the market-rate units. Select plan sheets that include a site plan with project data illustrating the sizes of the units, and floor plans and elevation drawings of the proposed BMR units are provided in Attachment D. Since the BMR units would be equivalent in size as to several of the market-rate units, staff believes that the requirements for BMR unit characteristics, including the size, location, design, and materials as identified in the BMR Guidelines are met by the proposed project.

Summary

At this time, the Housing Commission should review the draft Term Sheet and provide guidance to staff, the applicant, and the Planning Commission. The draft Term Sheet would be used to inform the draft BMR Housing Agreement, which would subsequently be reviewed and acted on by the Planning Commission along with the main project actions. The draft BMR Housing Agreement may be modified before Planning Commission action to include updated building square footages or similar adjustments as the applicant continues to refine the project.

Correspondence

At the time of the preparation of this staff report, staff has not received any correspondence regarding the draft BMR Housing Agreement Term Sheet. Any correspondence received prior to the Housing Commission meeting will be disclosed during the review of this project at the meeting.

Conclusion

Staff believes that the applicant's proposal of three on-site BMR units meets the BMR Ordinance and BMR Guidelines requirements. Further, the size and location of these BMR units near the El Camino Real corridor and the Downtown area supports the City's goal of producing housing near transit corridors and community amenities. Staff recommends that the Housing Commission recommend to the Planning

Commission approval of the three on-site BMR units under the terms stated in the draft BMR Agreement Term Sheet.

Impact on City Resources

The project sponsor is required to pay Planning, Building, and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The proposed project will be evaluated with respect to compliance with the California Environmental Quality Act (CEQA) as part of the City Council action. BMR direction is not a project under CEQA, so environmental review is not required by the Housing Commission.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of courtesy notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

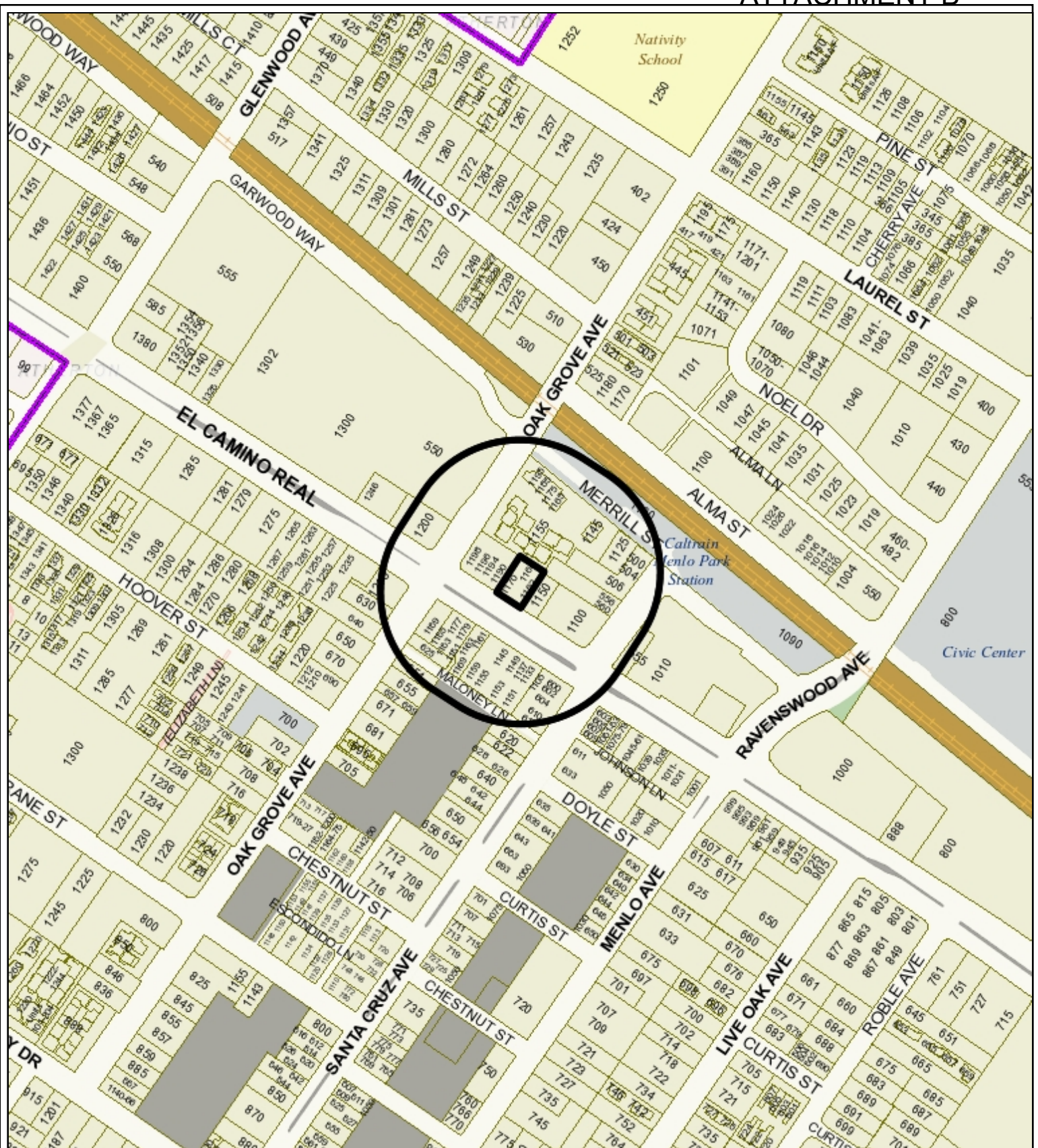
- A. Draft BMR Agreement Term Sheet
- B. Location Map
- C. 1162 El Camino Real BMR Proposal
- D. Excerpts of Project Plans

Report prepared by:
Fahteen Khan, Assistant Planner

Report reviewed by:
Rhonda Coffman, Deputy Community Development Director, Housing

1162 El Camino Real Draft Below Market Rate Housing (BMR) Agreement Term Sheet

1. Applicant owns property known as Assessor's Parcel Numbers: 061-441-100; ("Property"), more commonly known as 1162, 1166, 1170 El Camino Real, Menlo Park;
2. Applicant is proposing to demolish three (3) existing commercial buildings, 1162, 1166 and 1170 El Camino Real and constructing nine (9) apartment units at what will be known as 1162 El Camino Real. Of the nine (9) units three (3) will be BMR units. There will be two (2) studio units, three (3) one bed one bath units and four (4) two bed two bath units. They will range from 405 to 1278 square feet. The Applicant is requesting architectural control and environmental review approval under SB 330 for this project;
3. On January 1, 2020, Senate Bill 330 (Housing Crisis Act) went into effect. The bill is intended to streamline housing projects that are subject to discretionary review under local zoning laws. The bill establishes a two-step process by which an applicant can "lock in" applicable fees and development regulations;
4. The proposed project consists of more than four (4) residential units; therefore, Applicant is required to comply with Chapter 16.96 of City's Municipal Code ("BMR Ordinance") and with the Below Market Rate Housing Program Guidelines ("Guidelines") adopted by the City Council to implement the BMR Ordinance;
5. The development of six (6) new residential units would result in a requirement of one BMR housing unit;
6. Applicant has elected to satisfy the BMR requirement for the proposed project by constructing one on-site BMR unit. The two BMR units would be provided as off-site units from 1125 Merrill St./506 Santa Cruz Ave./556 Santa Cruz Ave. project as rental units to eligible to very low, low and moderate income households;
7. The three (3) BMR units will be rental;
8. The characteristics of the BMR units shall be in conformance with Section 5 of the BMR Guidelines;
9. The requirements for BMR rental/ for sale developments shall be in conformance with Section 11 of the BMR Guidelines;
10. Applicant shall enter into a BMR Agreement memorializing these terms in a form acceptable to the City Attorney, pursuant to the BMR Ordinance and BMR Guidelines.

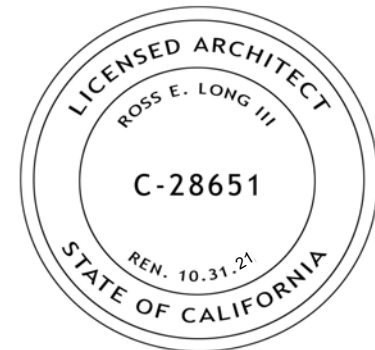


City of Menlo Park
Location Map
1162 El Camino Real



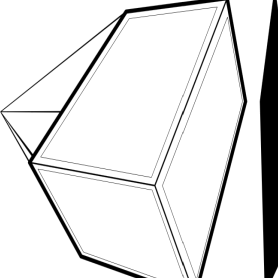


1 1 6 2 E L C A M I N O R E A L
M E N L O P A R K C A 9 4 0 2 5



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SB330 PLANNING RESUBMITTAL v2	08/04/2020
SB330 PLANNING RESUBMITTAL v3	10/27/2020

ARCHITECT



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prefab evolved
6114 LASALLE AVENUE #552 OAKLAND CA 94611
1081 LONG AVE - 415.905.9030 - 108@CHXTLD.COM

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APPROVAL STAMP:

PROJECT:
EL CAMINO REAL
APARTMENTS

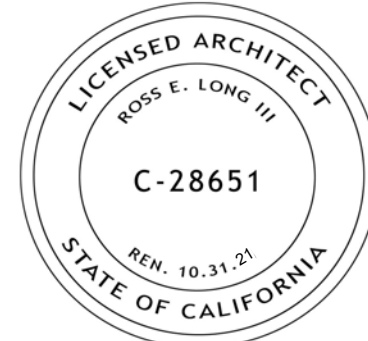
ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100
CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
COVER SHEET

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SCALE: NTS			

1 1 6 2 EL CAMINO REAL
MENLO PARK CA 94025



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SB330 PLANNING RESUBMITTAL v3 10/27/2020

ARCHITECT



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PROJECT:
**EL CAMINO REAL
APARTMENTS**

ADDRESS:

**1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100**

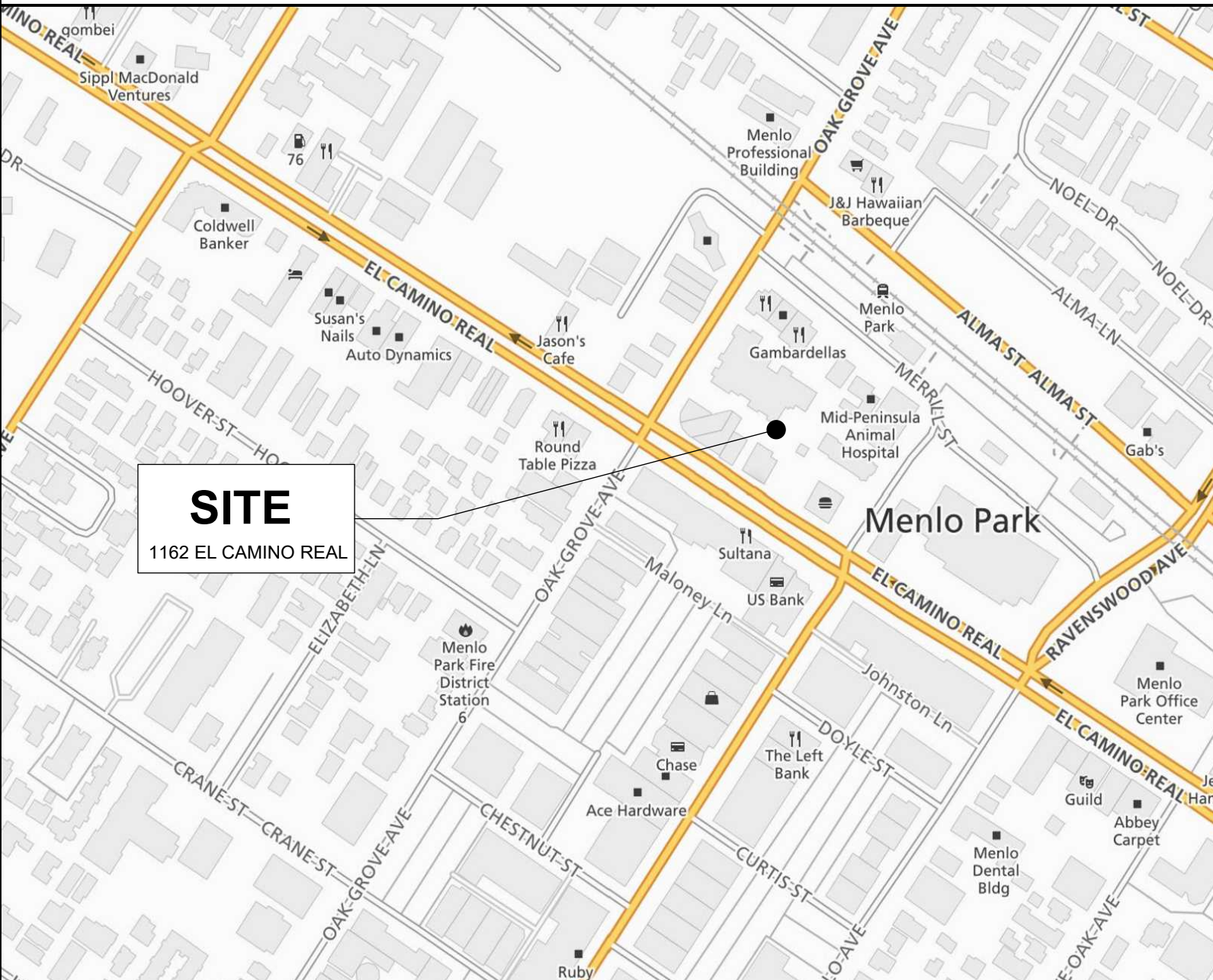
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265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
PROJECT INFO

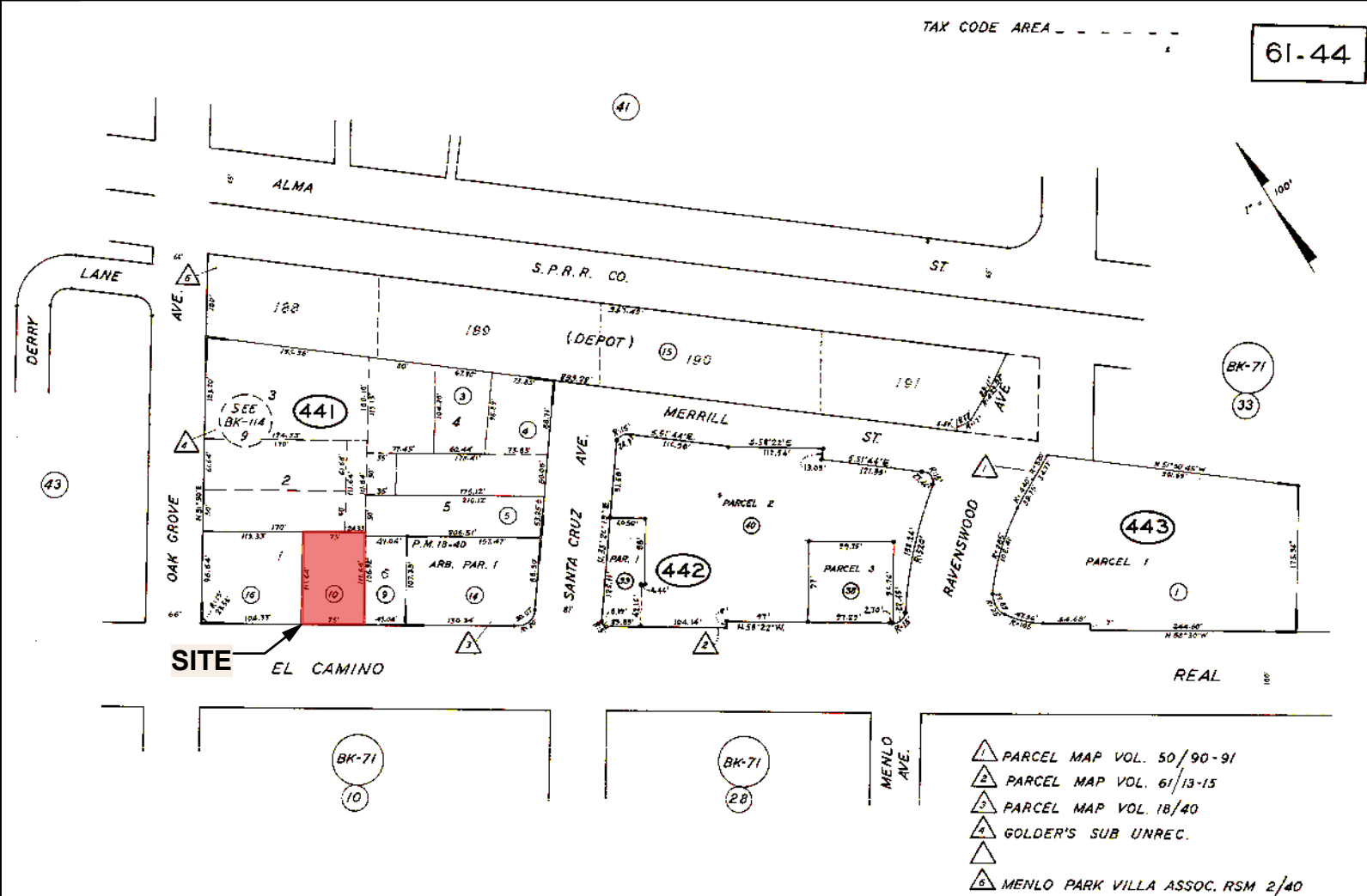
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US Arch D
SCALE: NTS
A-0.0

C TOBYLONGDESIGN 2020



6 VICINITY MAP



7 ASSESSOR'S PARCEL MAP

BUILDING CODE INFORMATION

OCCUPANCY TYPE: R-2, S-2

CONSTRUCTION TYPE: GROUND FLOOR
PODIUM - TYPE 1A, S-2
LEVELS 2-3 - TYPE VA

EXTERIOR WALLS: PODIUM - 3-HR
LEVELS 2-3 - 1-HR

SPRINKLERED: YES

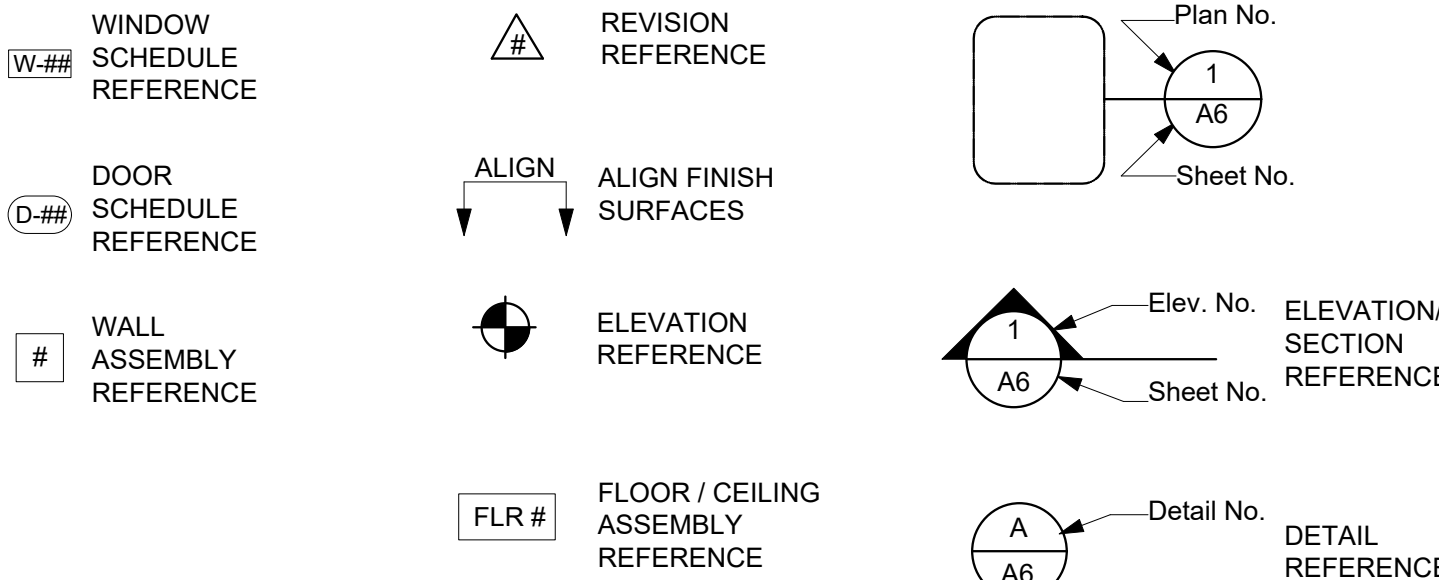
ELEVATOR: YES

2020 MENLO PARK REACH CODES
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN CODE

2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE

PROJECT IS DESIGNED IN COMPLIANCE WITH
CURRENT FEDERAL REGULATIONS
CONTAINED IN ADA AND FAIR HOUSING ACT.

8 BUILDING CODE INFORMATION & REFERENCES



9 SYMBOLS

PROJECT DATA

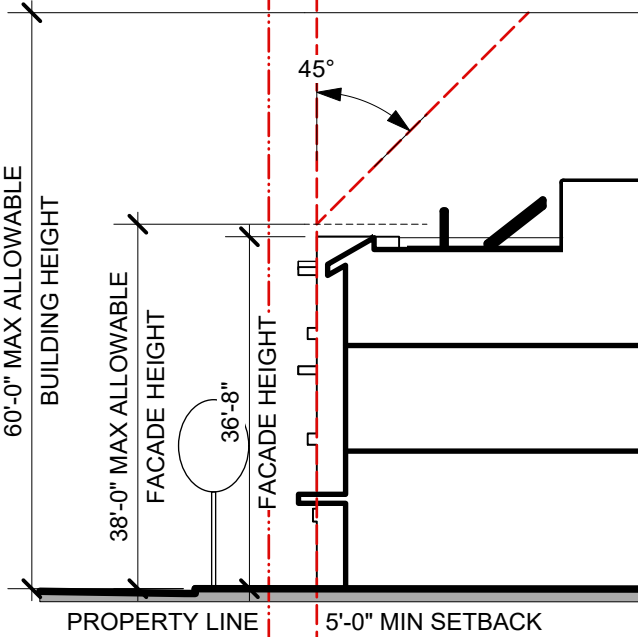
MENLO PARK SPECIFIC PLAN AREA ZONING:
EL CAMINO REAL
DOWNTOWN STATION AREA EAST

APN:
061 441 100

DENSITY:
50 DU/ACRE (60 WITH PUBLIC BENEFIT BONUS)

BELOW MARKET RATE HOUSING:
3 BMR UNITS (CONFIRM CARRY OVER FROM
PREVIOUS PROJECT APPROVALS)

BMR TO BE EQUAL MIX



DEVELOPMENT STANDARDS	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	8,374 sf	8,374 sf	N/A for ECR sf min.
Lot width	75 ft.	75 ft.	N/A for ECR ft. min.
Lot depth	111.65 ft.	111.65 ft.	N/A for ECR ft. min.
Setbacks			
Front	5'-0 1/2"	0 ft.	5 ft. min.
Rear	19'-3"	3'-2" MIN, 55'-10 MAX	0 ft. min.
Side (left)	0 ft	1'-2" MIN, 1'-11" MAX	0 ft. min.
Side (right)	3.75" MIN, 6.25" MAX	1'-8"	0 ft. min.
Building coverage	6,311 sf 75 %	4,339 sf 47 %	N/A for ECR sf max. % max.
FAR (Floor Area Ratio)*	11,288 sf 1.348	5,229 sf 0.62	11,305 sf max 1.35 max.
FAL (Floor Area Limit)**	N/A sf	N/A sf	N/A sf
Square footage by floor			
below grade	0 sf	204 sf	
1 ST	6,311 sf	retail: 1,332 sf	
2 ND	4,998 sf	office: 1,757 sf	
3 RD	4,886 sf	0 sf	
accessory building(s)	0 sf	784 sf	
other	0 sf	1-story building: 1,152 sf	
Square footage of buildings	16,195 sf	5,229 sf	N/A per ECR sf max.
Building height	35'-4" ft.	30'-10" ft.	38' facade 60 ft. max.
Landscaping***	at grade, on property 962 sf 12 %	1,279 sf 12 %	N/A for ECR sf min. % min.
Paving***	1,101 sf 13 %	3,777 sf 45 %	N/A for ECR sf min. % min.
Parking	9 spaces	7 spaces	9 spaces
Define Basis for Parking	(Example: 1 covered/1 uncovered per residential unit or # of spaces/X square feet) 1-1.5 Spaces per dwelling unit		
Trees		# of existing Heritage trees 1	# of new trees 15
		# of existing non- Heritage trees 1	Total # of trees 20
		# of non-Heritage trees to be removed	
		1	

BUILDING AREA SUMMARY

RESIDENTIAL AREA (9 UNITS) 8,085
PARKING (9 SPACES) 4,188
LOBBY 758
COMMON AREA 3,164

TOTAL AREA 16,195

UNIT COUNT SUMMARY

LOCATION	STUDIOS	1 BED	2 BED	TOTAL UNITS
LEVEL 2	2	1	2	5
LEVEL 3	0	2	2	4
TYPE TOTAL	2	3	4	9

AREA DETAILS

LEVEL 1	TYPE	AREA
PARKING		4,188
LOBBY		758
COMMON AREAS		1,365
TOTAL LEVEL 1		6,311

LEVEL 2			LEVEL 3		
UNIT	TYPE	AREA	UNIT	TYPE	AREA
201	2 BED / 2 BATH	1,255	301	2 BED / 2 BATH	1,255
202	2 BED / 2 BATH (BMR)	1,277	302	2 BED / 2 BATH	1,277
203	STUDIO / 1 BATH	417	303	1 BED / 1 BATH	725
204	1 BED / 1 BATH (BMR)	737	304	1 BED / 1 BATH (BMR)	737
205	STUDIO / 1 BATH	405			
RESIDENTIAL SUBTOTAL		4,091	RESIDENTIAL SUBTOTAL		3,994
COMMON AREAS		907	COMMON AREAS		892
TOTAL LEVEL 2		4,998	TOTAL LEVEL 3		4,886

5 PROJECT SUMMARY



1 RENDERING

THIS PROJECT CONSISTS OF A 9 UNIT APARTMENT BUILDING WITH GROUND FLOOR LOBBY AND ENCLOSED
PARKING GARAGE, INCLUDING 1 BMR UNIT & 2 CARRYOVER BMR UNITS FROM 506/556 SANTA CRUZ AVE.

2 PROJECT DESCRIPTION

ARCHITECTURAL

A-0 COVER SHEET
A-0.0 PROJECT INFORMATION
A-0.1 PROJECT RENDERINGS & MATERIALS
A-0.2 (E) PHOTOS, PROPOSED STREETScape
A-0.3 PROJECT AREA PLAN
A-0.4 ISOMETRIC MASSING DRAWINGS
A-0.5 MODULAR DIAGRAMS
A-0.6 LINE OF SIGHT DIAGRAM
A-0.7 MODULATION/TRANSPARENCY DIAGRAMS
A-0.8 FLOOR AREA & OPEN SPACE CALCS
A-0.9 BUILDING CODE DATA
A-0.10 LEED CHECKLIST
A-1 TOPOGRAPHIC SURVEY
A-1.0 EXISTING SITE PLAN
A-1.0.1 EXISTING FLOOR PLANS
A-1.0.2 EXISTING FACADE
A-1.0.3 EXISTING PLANS & FACADE
A-1.2 CONSTRUCTION PLAN
A-1.3 PROPOSED SITE PLAN
A-2.1 LEVEL ONE PLAN
A-2.2 LEVEL TWO PLAN
A-2.3 LEVEL THREE PLAN
A-2.4 ROOF PLAN
A-2.5 ENLARGED UNIT PLANS
A-3.0 BUILDING SECTION
A-3.1 BUILDING SECTION

ARCHITECTURAL (CONTINUED)

A-4.0 BUILDING ELEVATION- FRONT
A-4.1 BUILDING ELEVATION- SIDE
A-4.2 BUILDING ELEVATION- SIDE
A-4.3 BUILDING ELEVATION- REAR
A-5.0 WALL SECTIONS AND MATERIALS
A-6.0 ASSEMBLY DETAILS

CIVIL

C1 TITLE SHEET
C2 GRADING AND DRAINAGE PLAN
C3 UTILITY PLAN
C4 STORMWATER MITIGATION PLAN
C5 CONSTRUCTION DETAILS
C6 EROSION CONTROL PLAN

LANDSCAPE

L1-1 GENERAL NOTES AND LEGEND
L-1.2 PLANTING NOTES AND LEGEND
L-1.3 WATER EFFICIENT LANDSCAPE ORDINANCE
L-1.4 LANDSCAPE IMAGERY
L-2.1 CONCEPTUAL LANDSCAPE LAYOUT PLAN
L-3.1 TREE DEPOSITION PLAN
L-4.1 CONCEPTUAL PLANTING PLAN
L-5.1 IRRIGATION ZONE DIAGRAM
L-6.1 SCHEMATIC DESIGN DETAILS

TRANSPORTATION

T1 VEHICLE MANEUVERING SHEET

3 TABLE OF CONTENTS

CLIENT	ARCHITECT	STRUCTURAL	ABORIST	CONTRACTOR
PRINCE STREET PARTNERS 265 LYTTON AVE STE 303 PALO ALTO, CA 94301 CONTACT: T. 650.815.6969 (CHASEN RAPP) E. chase@princestreetpartners.com E. brady@princestreetpartners.com	TOBY LONG DESIGN 6114 LA SALLE AVE #552 OAKLAND, CA 94611 CONTACT: T. 415.905.9030 X1 C. 510.333.3447 CONTACT: TOBY LONG, AIA E. toby@tobydesign.com	INNOVATIVE STRUCTURAL ENGINEERING 29970 TECHNOLOGY DRIVE, STE 214 MURRIETA, CA 92563 T. 951.600.0032 F. 951.600.0036 CONTACT: SHANE LOTHROP E. shane@iseengineers.com	URBAN TREE MANAGEMENT PO BOX 971 LOS GATOS CA 95031 T. 650.321.0202 CONTACT: MICHAEL YOUNG E. Michael@urbantreemanagement.com	
GEOTECH	SURVEY	CIVIL	LANDSCAPE ARCHITECT	TRANSPORTATION
ROMIG ENGINEERS, INC 1390 EL CAMINO REAL 2ND FLR SAN CARLOS, CA 94070 T. 650.591.5224 F. 650.591.5251 CONTACT: GLEN ROMIG E. glen@romigengineers.com	TRIAD/HOLMES ASSOCIATES 777 WOODSIDE RD. #2A REDWOOD CITY, CA 94061 T. 650.366.0216 F. 650.366.0298 CONTACT: ANDREW HOLMES E. aholmes@thainc.com	TRIAD/HOLMES ASSOCIATES 873 NORTH MAIN ST. #150 BISHOP, CA 93514 T. 760.934.7588 CONTACT: MATT PETRONI E. mpetroni@thainc.com	THE GUZZARDO PARTNERSHIP 181 GREENWICH ST. SAN FRANCISCO CA 94111 T. 415.433.4672 EX 21 F. 415.433.5003 CONTACT: MARCO LEI E. MLei@tgp-inc.com	HEXAGON TRANSPORTATION CONSULTANTS, INC. 4 North Second Street, Suite 400 San Jose, California 95113 T. 408.971.6100 F. 408.971.6102 CONTACT: GARY BLACK E. gblack@hextrans.com

4 CONTACT INFORMATION

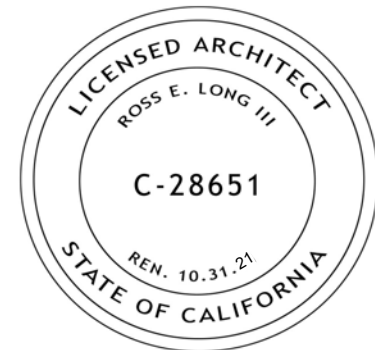
SOUTHEAST VIEW FROM EL CAMINO



STREET VIEW AT LOBBY ENTRY

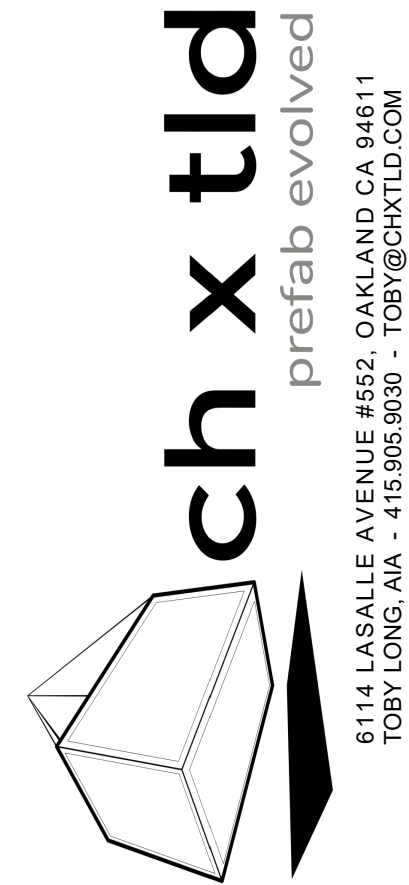


REAR FACADE AND GARDEN



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SB330 PLANNING RESUBMITTAL v3	10/27/2020

ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP

PROJECT:
**EL CAMINO REAL
APARTMENTS**

ADDRESS:
**1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100**

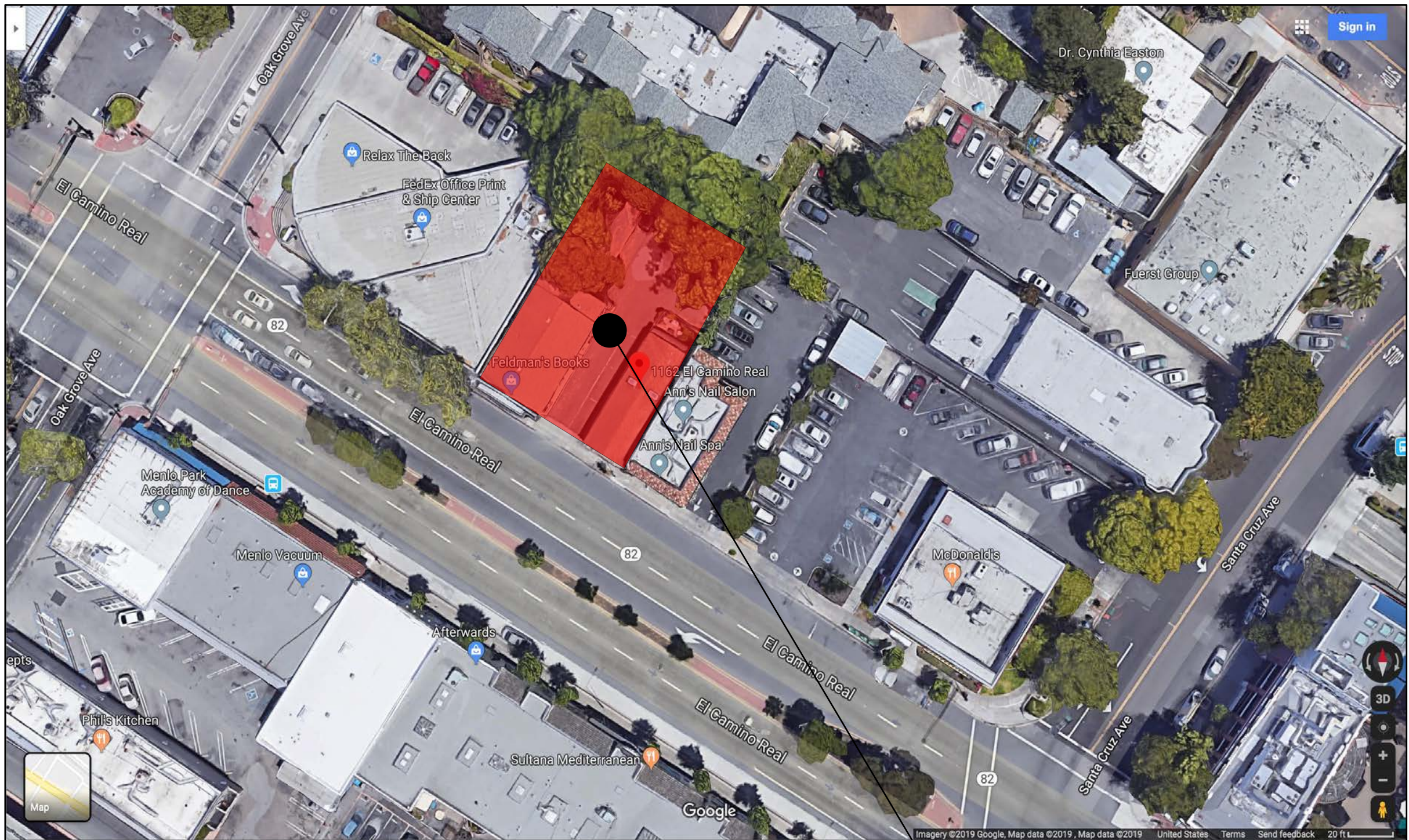
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265 LYTTON AVE STE 303
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PLOT DATE: 2/26/2020 REVISION:
ORIGINAL SHEET SIZE:
US Arch D
SCALE: NTS

A-0.1



1162 EL CAMINO
SUBJECT PROPERTY

AERIAL PHOTO



1194 EL CAMINO
ADJACENT PROPERTY

1162 EL CAMINO
SUBJECT PROPERTY

1150 EL CAMINO
ADJACENT PROPERTY

EXISTING STREET VIEW

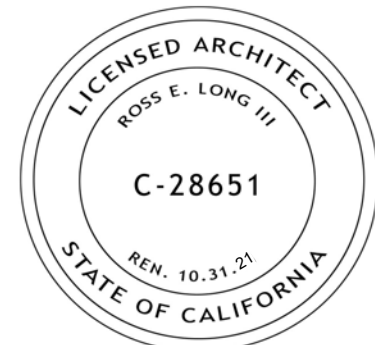


1194 EL CAMINO
ADJACENT PROPERTY

1162 EL CAMINO
SUBJECT PROPERTY

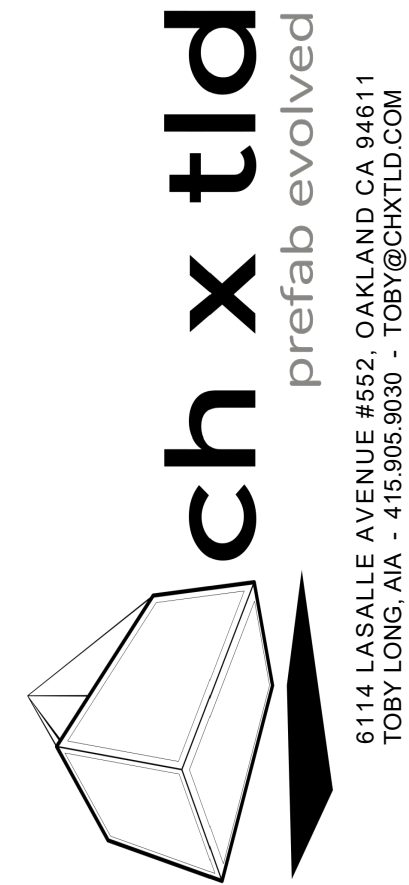
1150 EL CAMINO
ADJACENT PROPERTY

PROPOSED PROJECT STREET VIEW



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1081 LONG AVE - 415.935.9030 - 108@CHXTLD.COM

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**EL CAMINO REAL
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MENLO PARK, CA 94025
APN 061 441 100**

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265 LYTTON AVE STE 303
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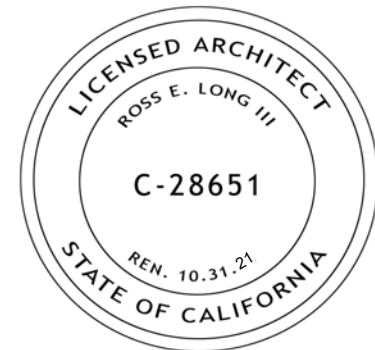
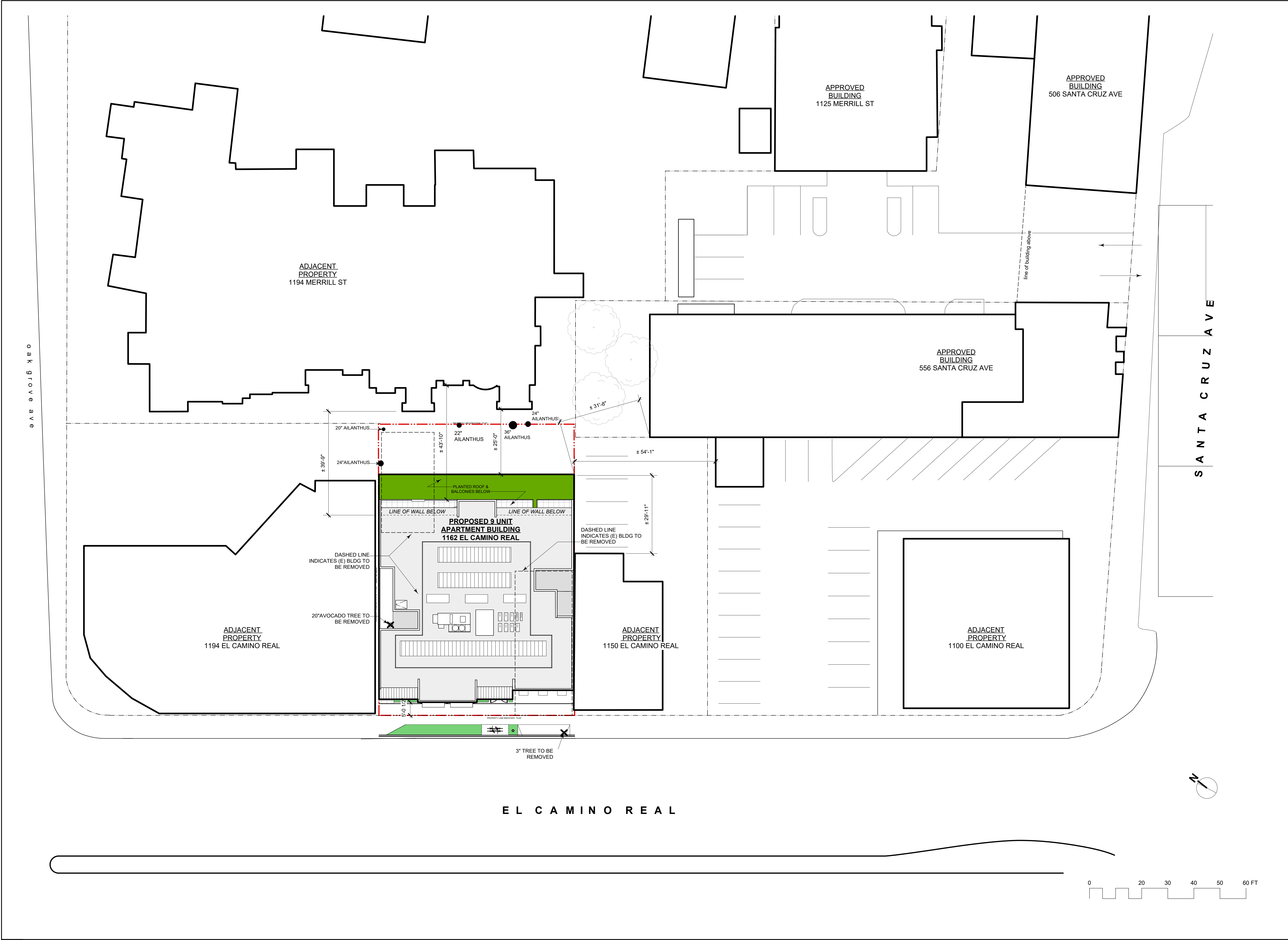
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EXISTING PHOTOS & PROPOSED STREET
VIEW

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ARCHITECT

ch x tld
prefab evolved

6114 LASALLE AVENUE #452 OAKLAND CA 94611
1081 LONG AVE - 415.905.9030 - 108@CHXTLD.COM

MODULAR FABRICATOR

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EL CAMINO REAL APARTMENTS

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MENLO PARK, CA 94025
APN 061 441 100**

CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
PROJECT AREA PLAN

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ORIGINAL SHEET SIZE: US Arch D
SCALE: NTS

A-0.3

An isometric line drawing of a multi-story building, likely a residential or commercial structure. The building features a flat roof with several internal partitions and a small courtyard area. The facade is characterized by multiple windows of varying sizes, some with awnings. A small entrance is visible on the ground floor. The drawing is a technical architectural sketch, showing the building's footprint, roof structure, and surrounding context like a sidewalk and street.

ISOMETRIC VIEW EAST CORNER

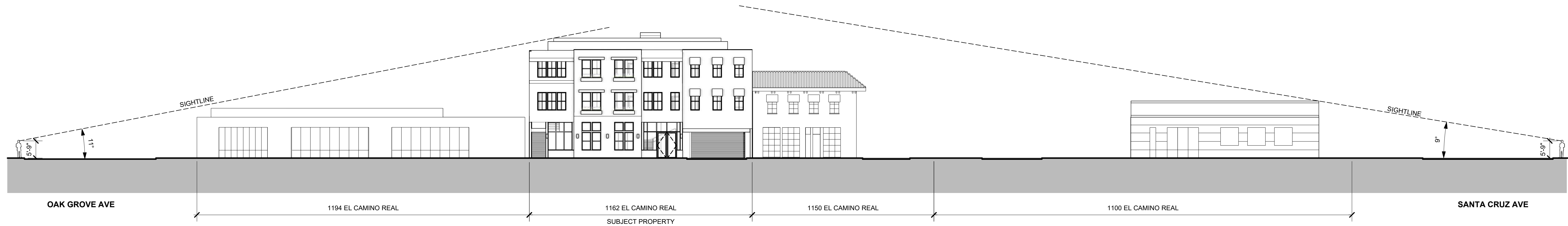
ISOMETRIC VIEW NORTH CORNER

This isometric line drawing shows the north corner of the building. The view is from an elevated perspective, looking down at the corner. The building has a flat roof with several rectangular structures, possibly HVAC units or skylights, and a central area with a grid of lines. The exterior facade is visible on the left and right sides, showing multiple windows and a series of dark, rectangular panels. The building is surrounded by a low wall and a paved area with some landscaping elements like trees and shrubs. The overall style is architectural and technical.

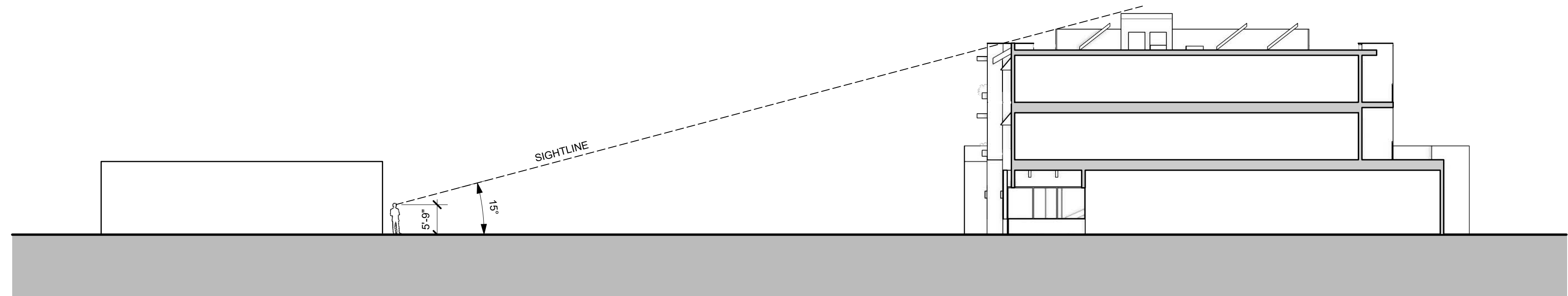




5 EL CAMINO REAL STREETSCAPE



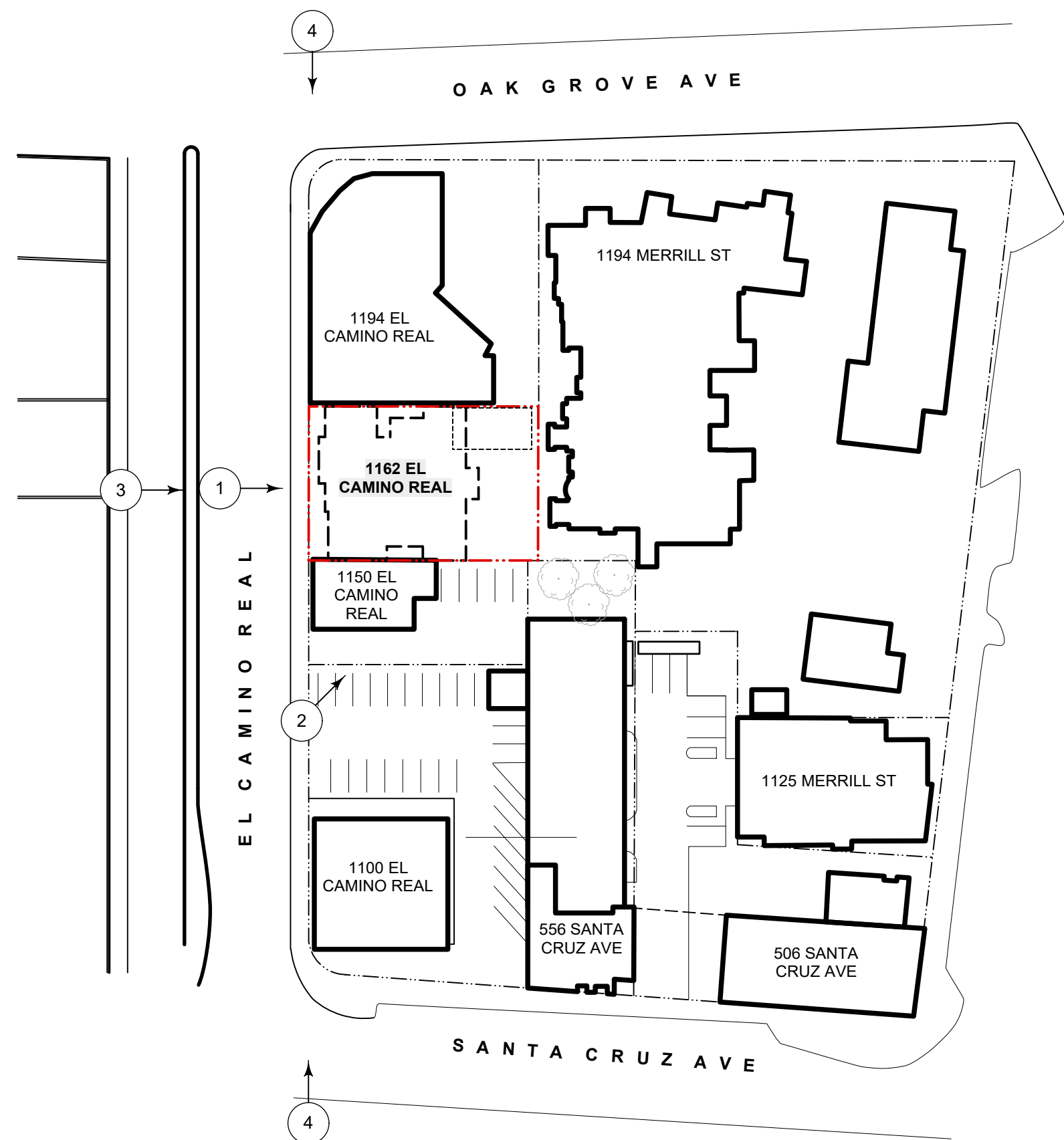
4 OAK GROVE AVE TO SANTA CRUZ AVE
SCALE: 1:210



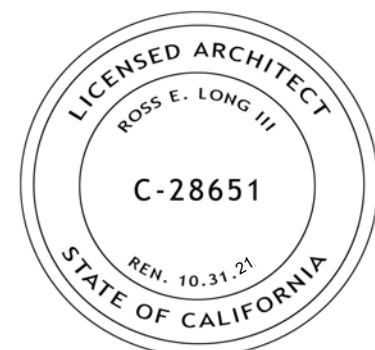
3 OPPOSITE SIDE OF STREET
SCALE: 1/16" = 1'-0"



2 45° ANGLE SAME SIDE OF STREET
SCALE: 1/16" = 1'-0"

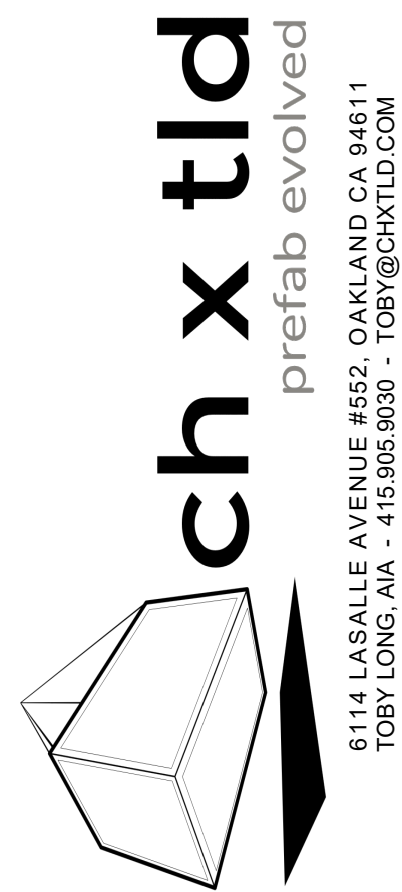


1 SIGHTLINE DIAGRAM KEY
SCALE: 1:150



ISSUE DATE: 03/03/2020
PLANNING SUBMITTAL
SB330 PLANNING RESUBMITTAL v2 08/04/2020
SB330 PLANNING RESUBMITTAL v3 10/27/2020

ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP:

PROJECT: EL CAMINO REAL APARTMENTS

ADDRESS: 1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100

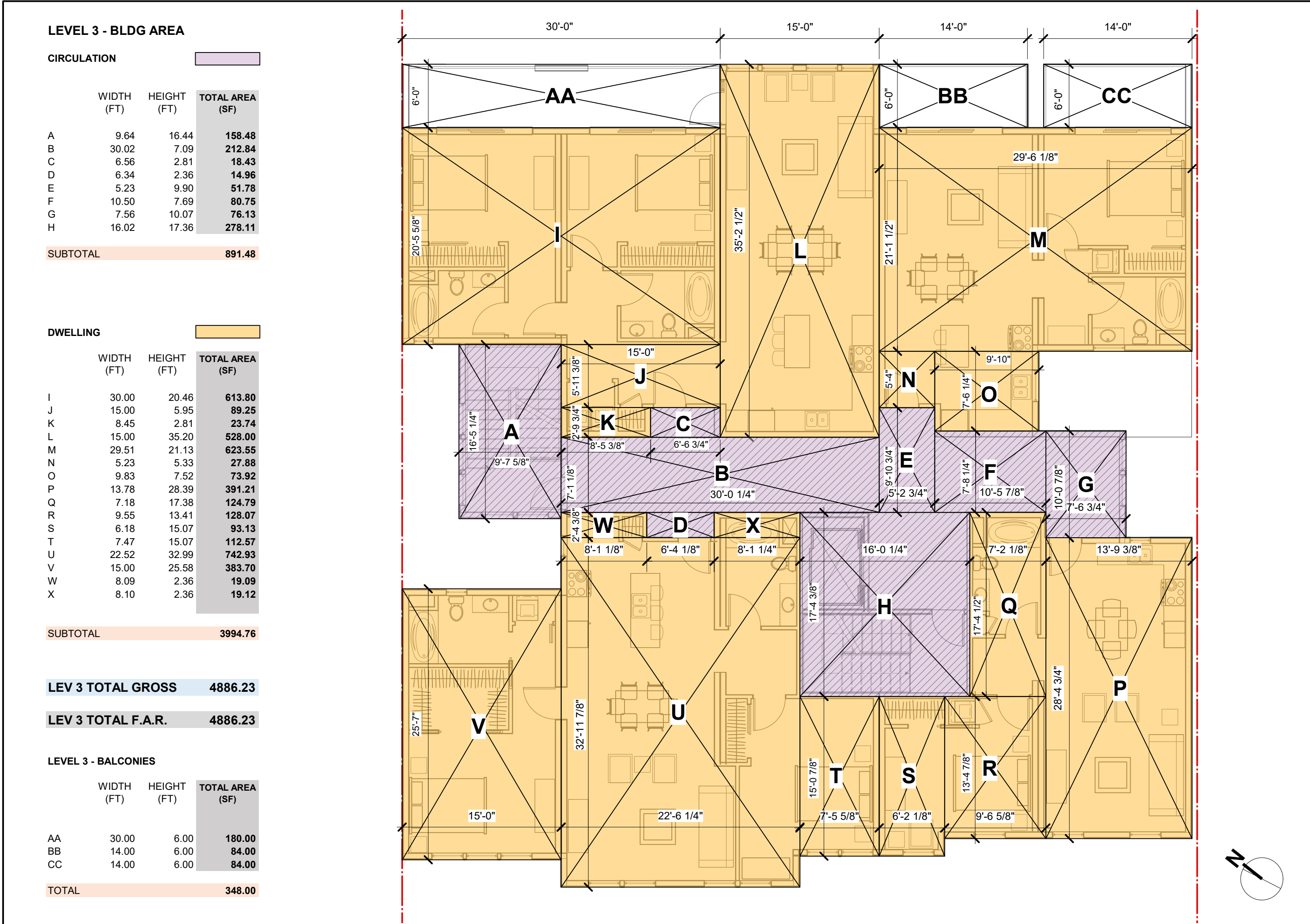
CLIENT: PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING: LINE OF SIGHT DIAGRAM

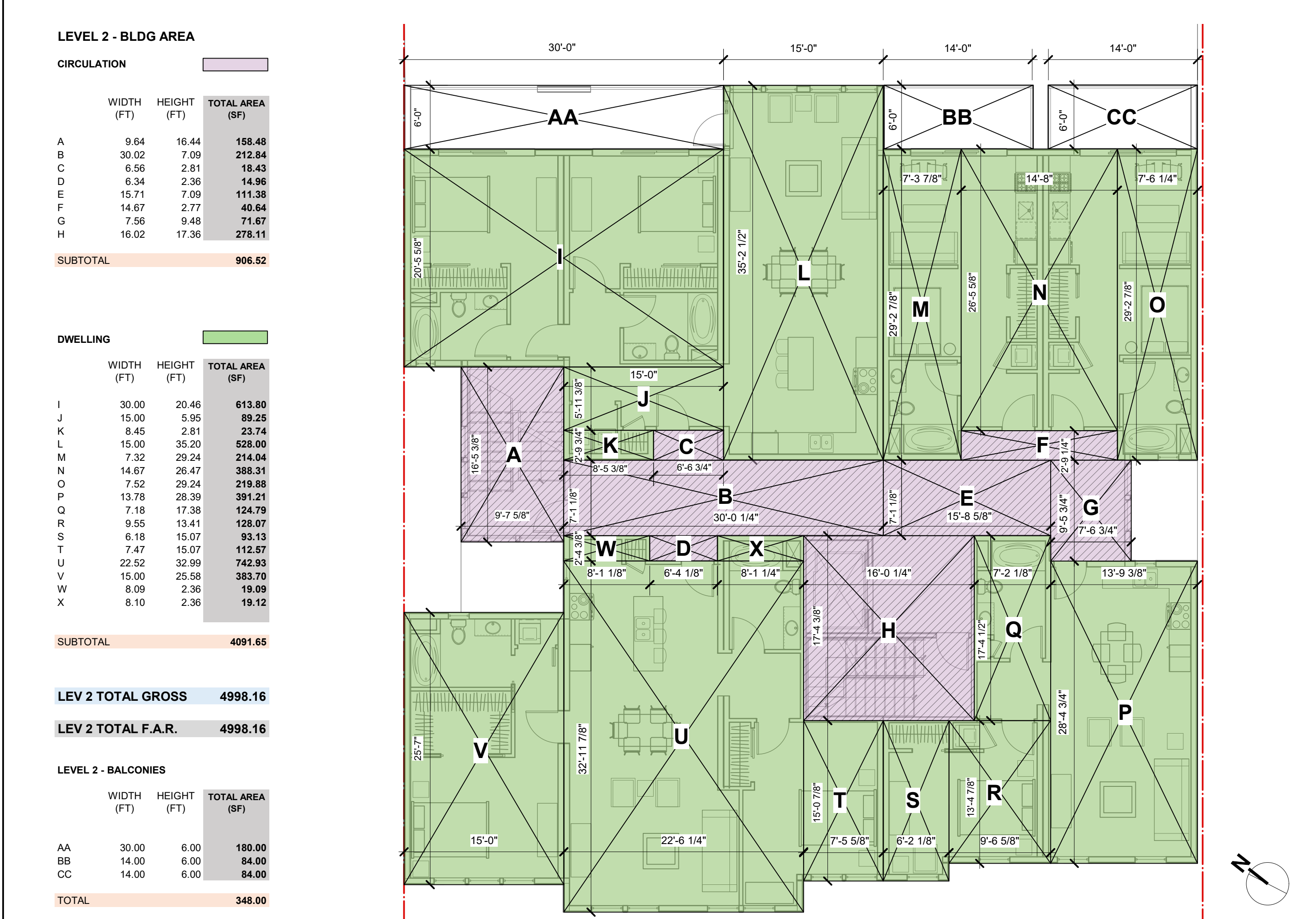
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PLOT DATE: 2/26/2020 REVISION:
ORIGINAL SHEET SIZE: US Arch D
SCALE: NTS

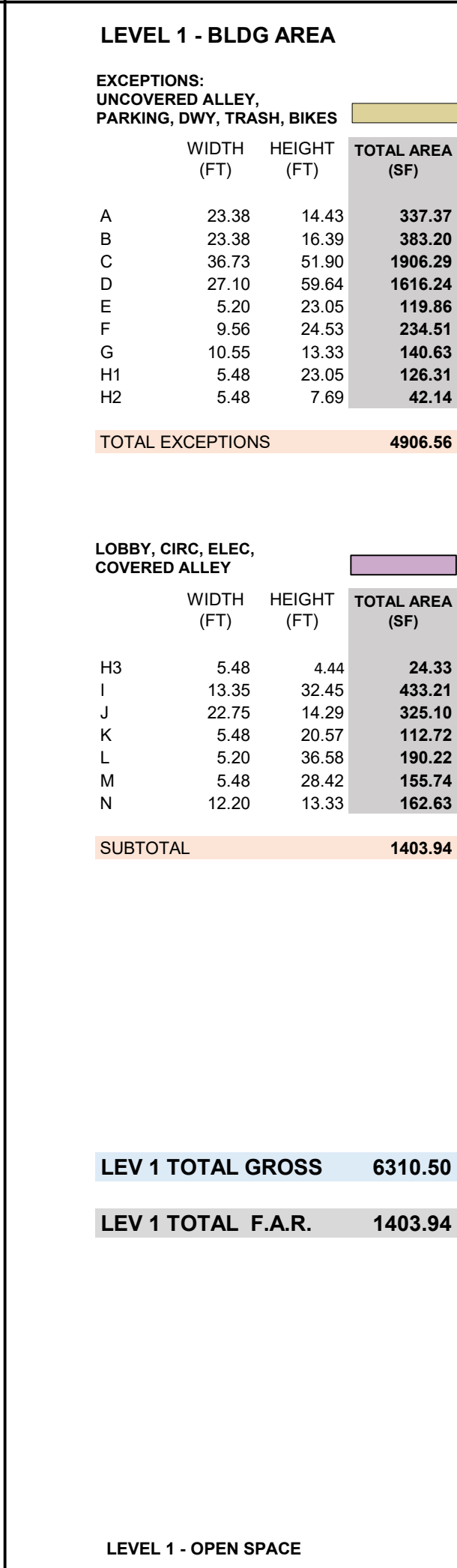
A-0.6



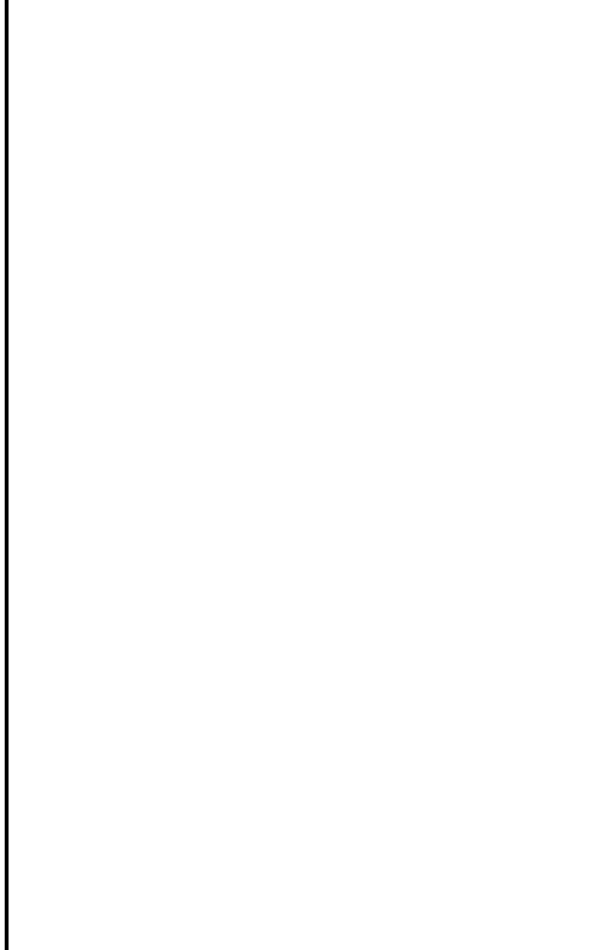
4 LEVEL 3 AREA CALCULATIONS



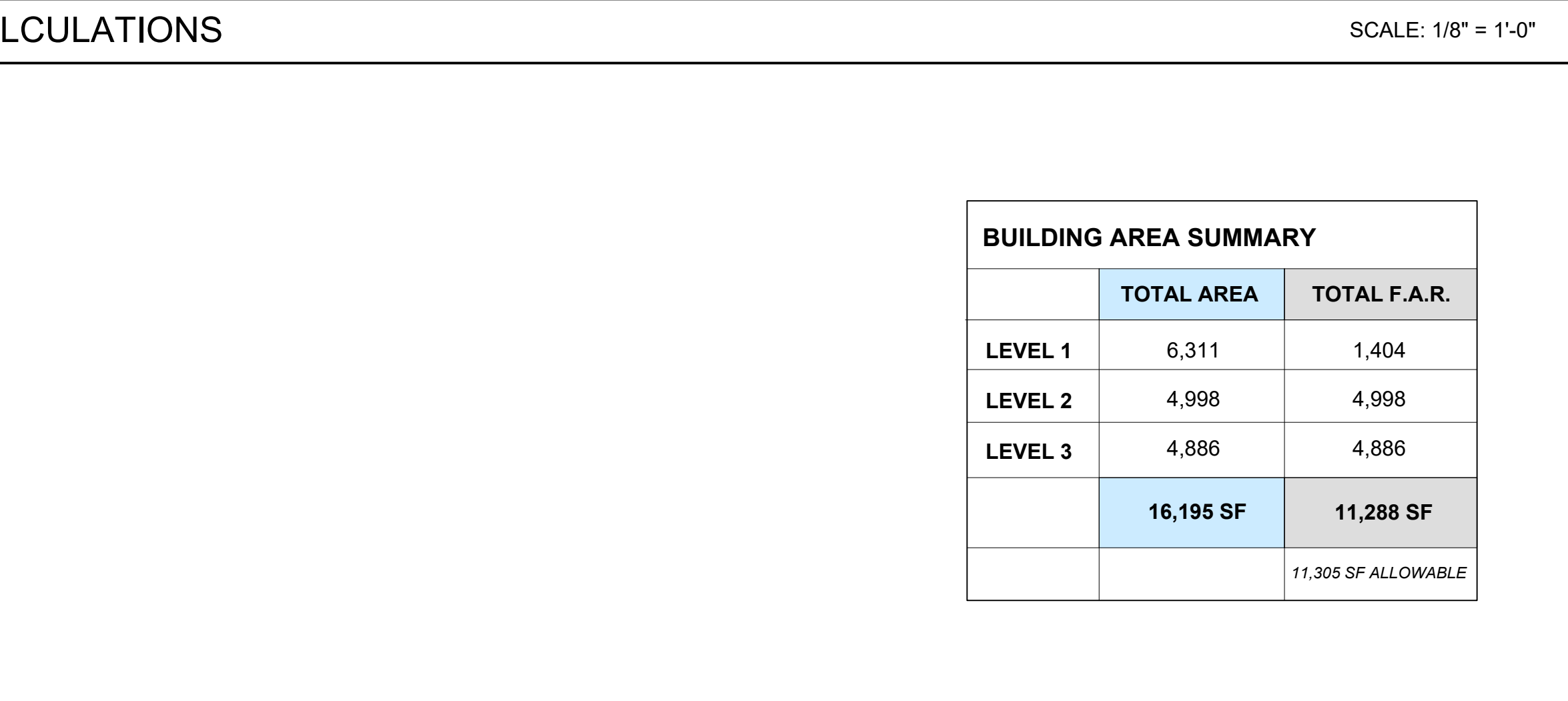
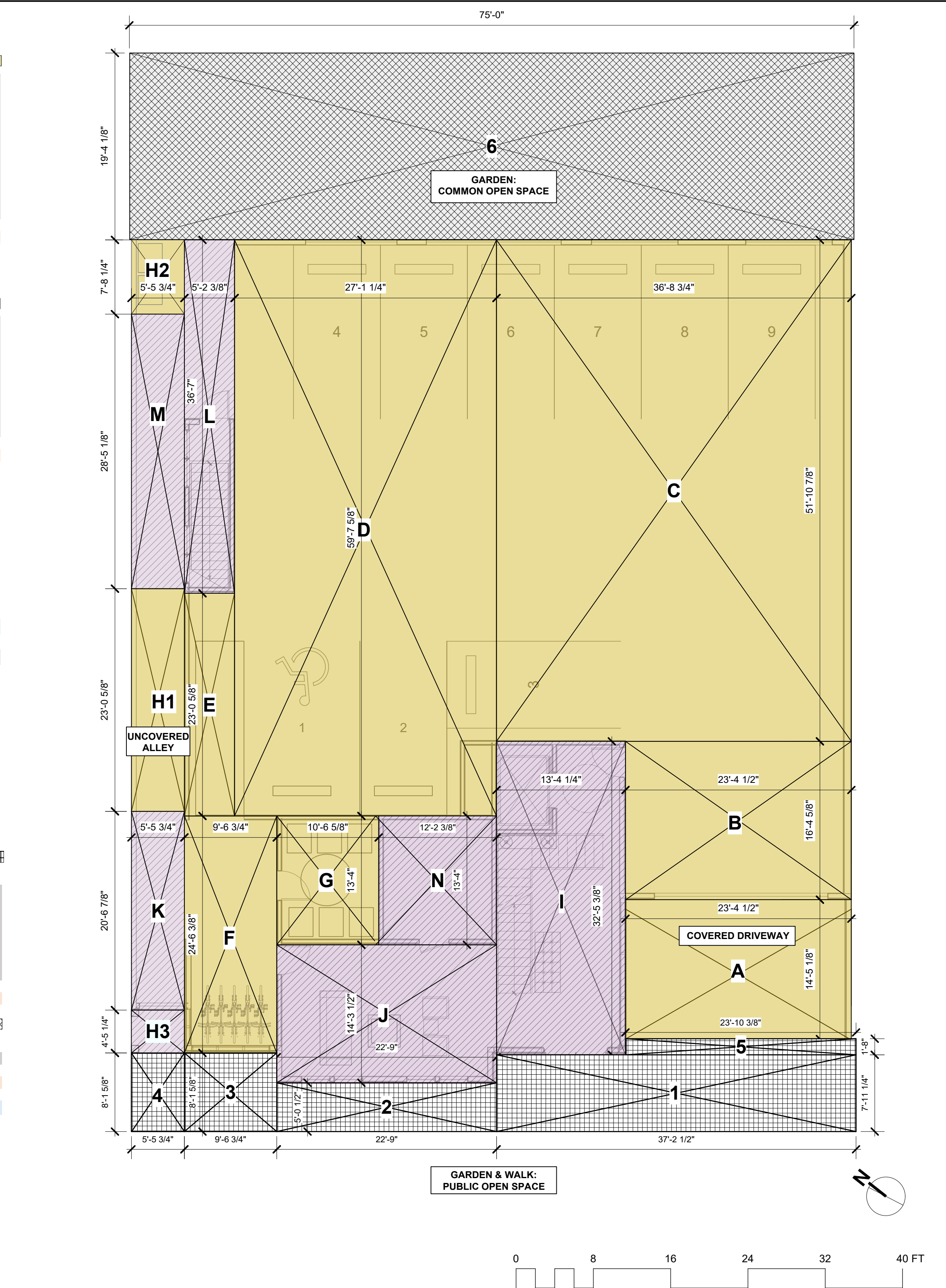
3 LEVEL 2 AREA CALCULATIONS



2 LEVEL 1 AREA CALCULATIONS



1 AREA SUMMARY



LICENSED ARCHITECT
ROSS E. LONG III
C-28651
REV. 10.31.21
STATE OF CALIFORNIA

ISSUE DATE:
PLANNING SUBMITTAL 03/03/2020
SB330 PLANNING RESUBMITTAL v2 08/04/2020
SB330 PLANNING RESUBMITTAL v3 10/27/2020

ARCHITECT
ch x tld
prefab evolved
6114 LASALLE AVENUE #452 OAKLAND CA 94611
1081 LONG AVE - 415.905.9030 - 1081@CHXTLD.COM

MODULAR FABRICATOR

APPROVAL STAMP:

PROJECT:
EL CAMINO REAL
APARTMENTS

ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100

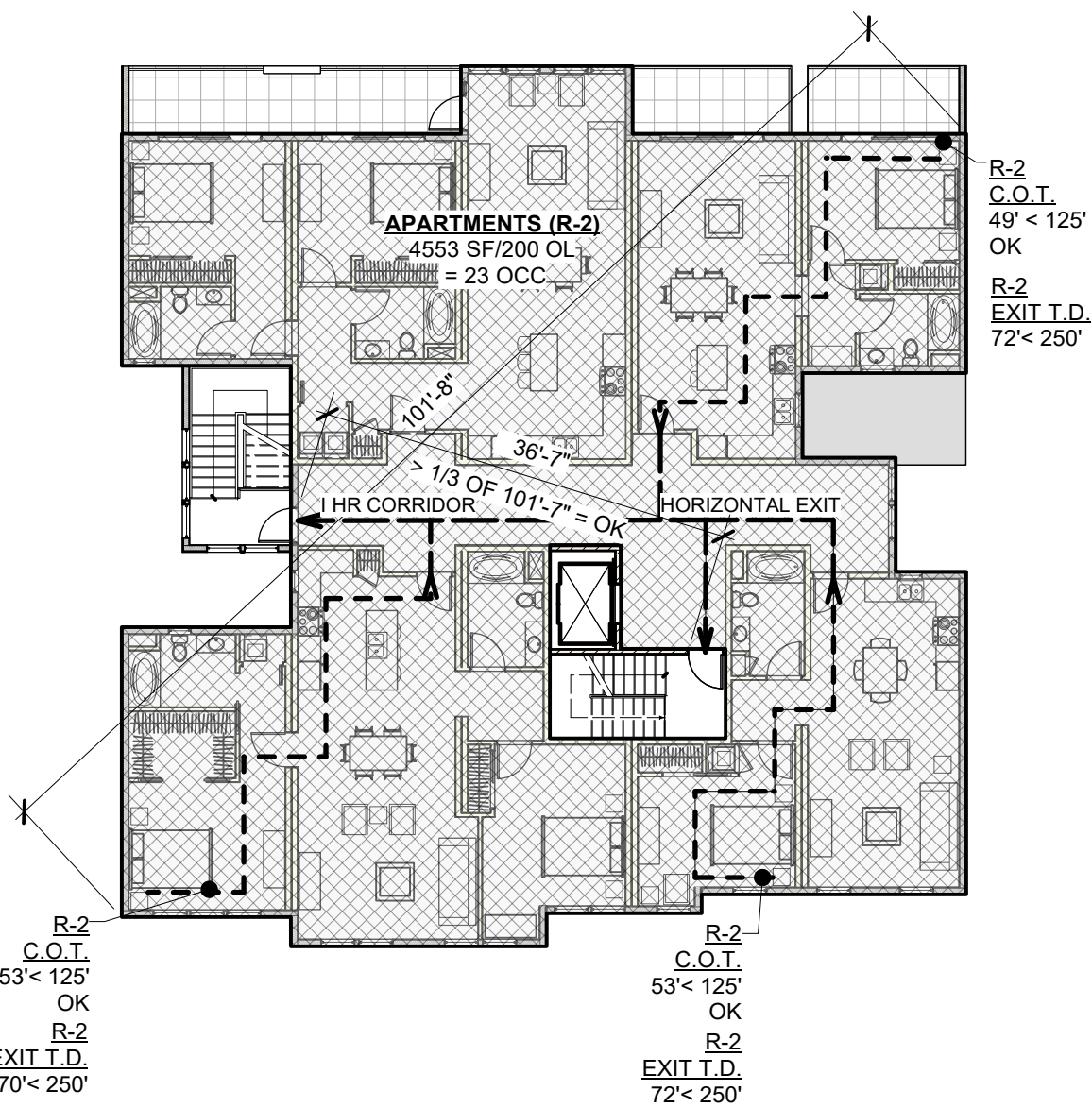
CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
FLOOR AREA & OPEN SPACE

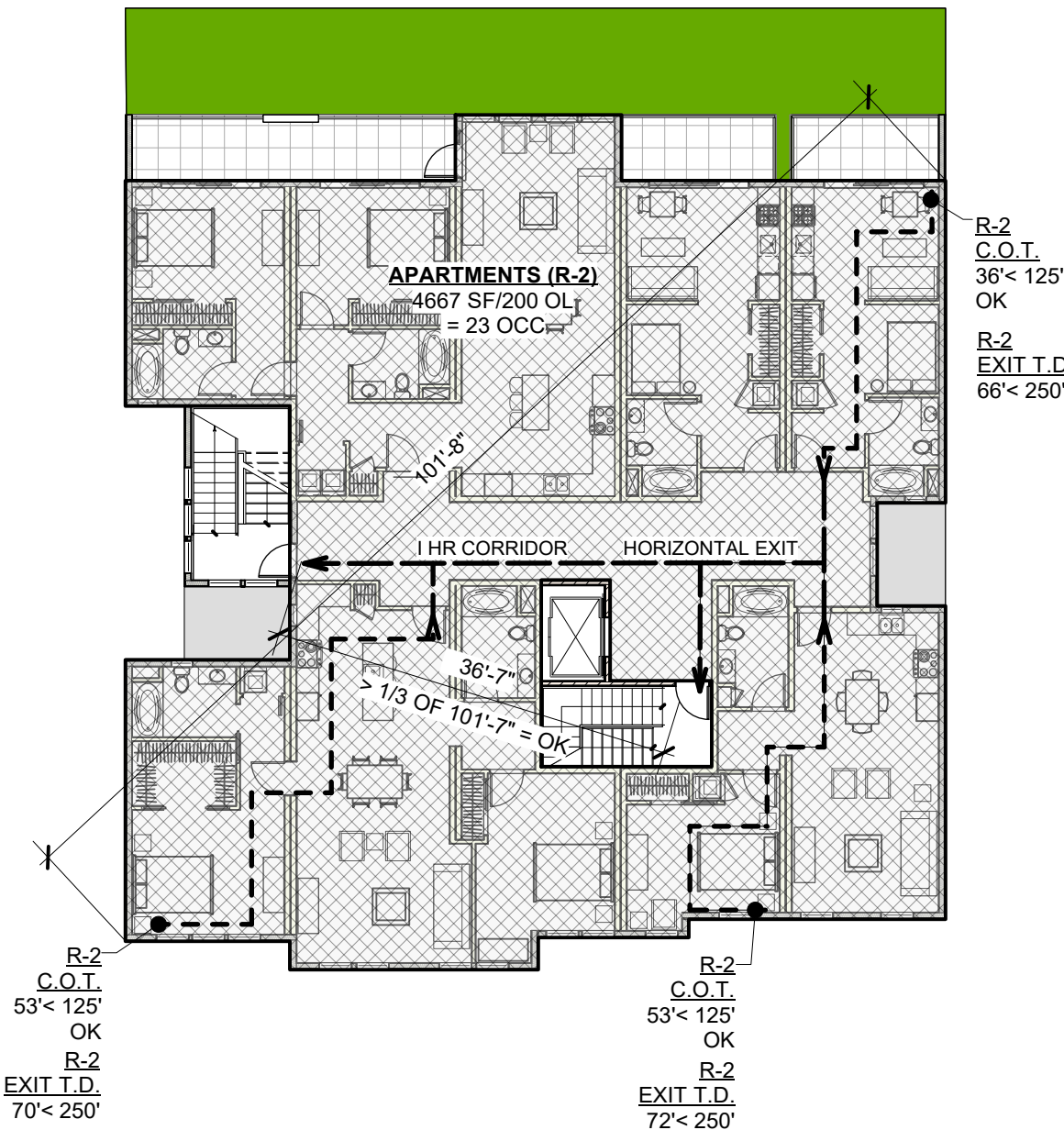
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SCALE: NTS

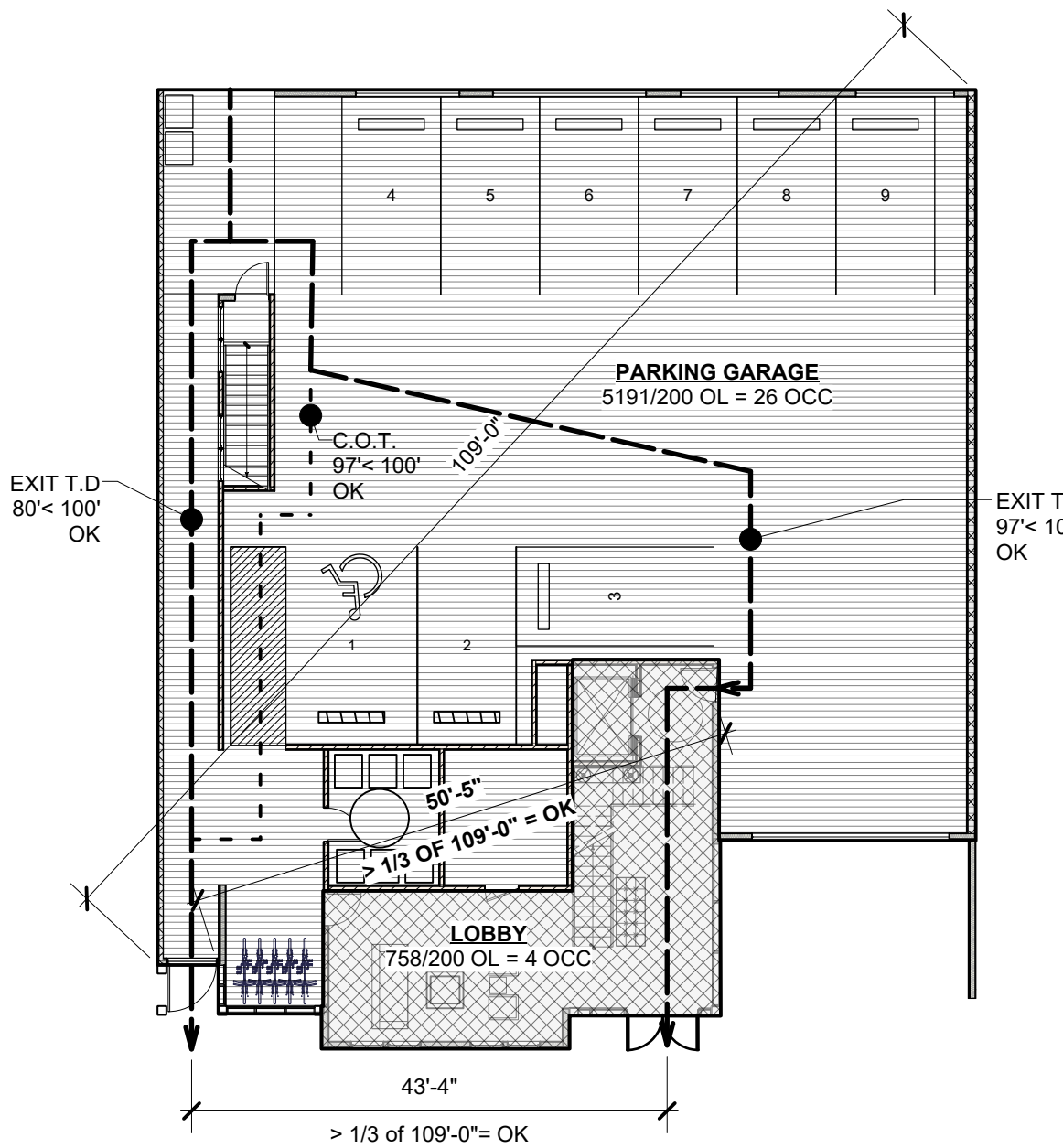
C TOBYLONGDESIGN 2020





LEVEL 3 - RESIDENTIAL UNITS

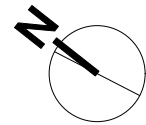


LEVEL 2 - RESIDENTIAL UNITS

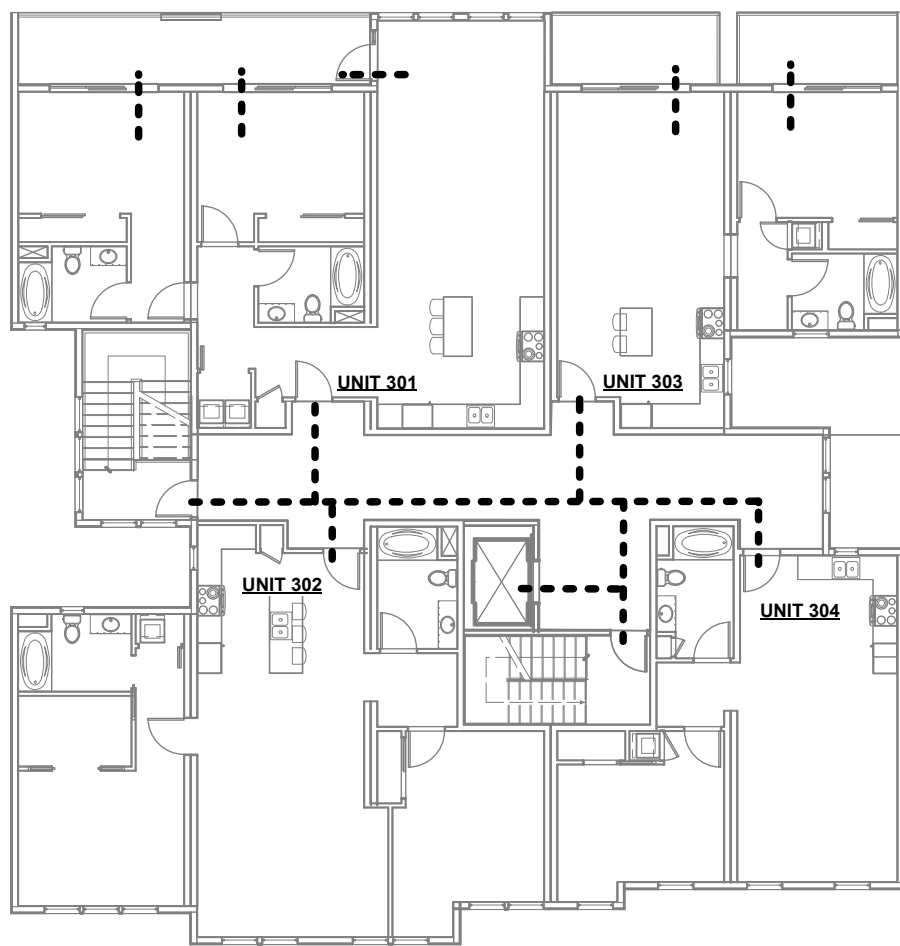


LEVEL 1 - LOBBY/GARAGE

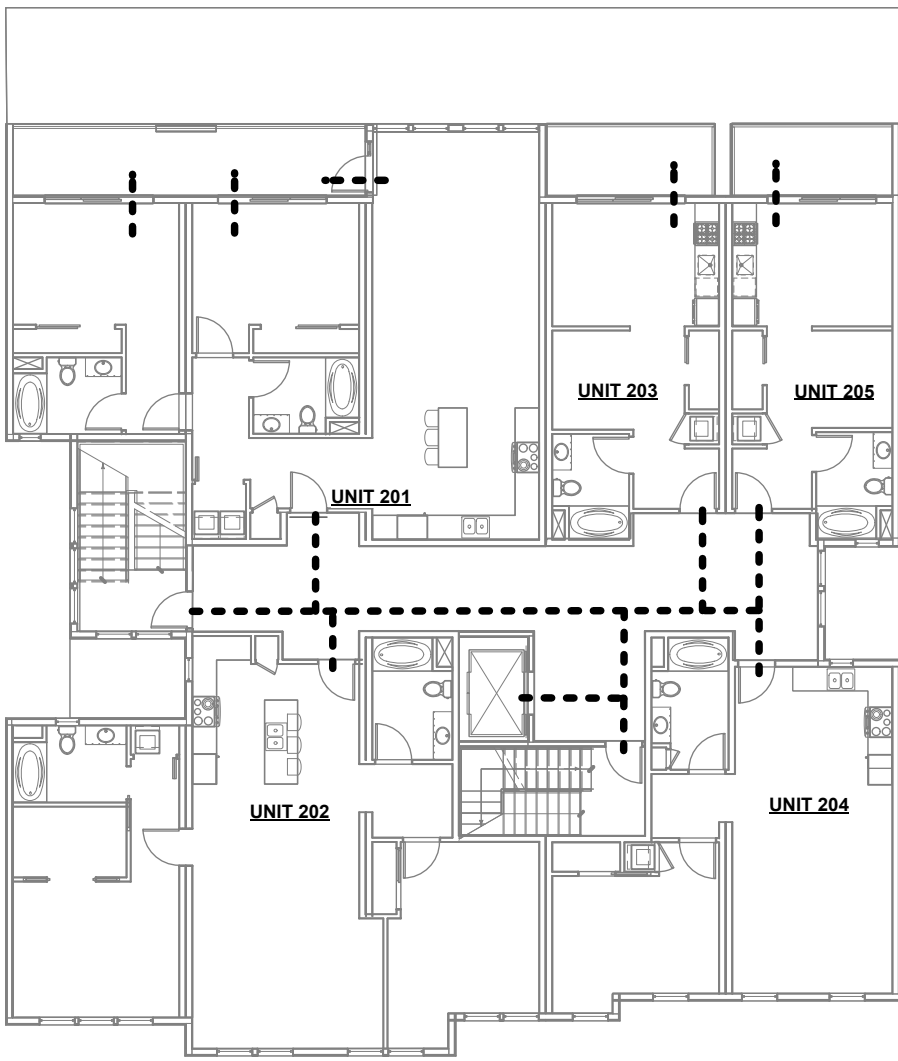
LEGEND	OCCUPANCY KEY
----- PATH OF EXIT TRAVEL	 OCC. GROUP R-2
----- COMMON PATH OF TRAVEL	 OCC. GROUP S-2



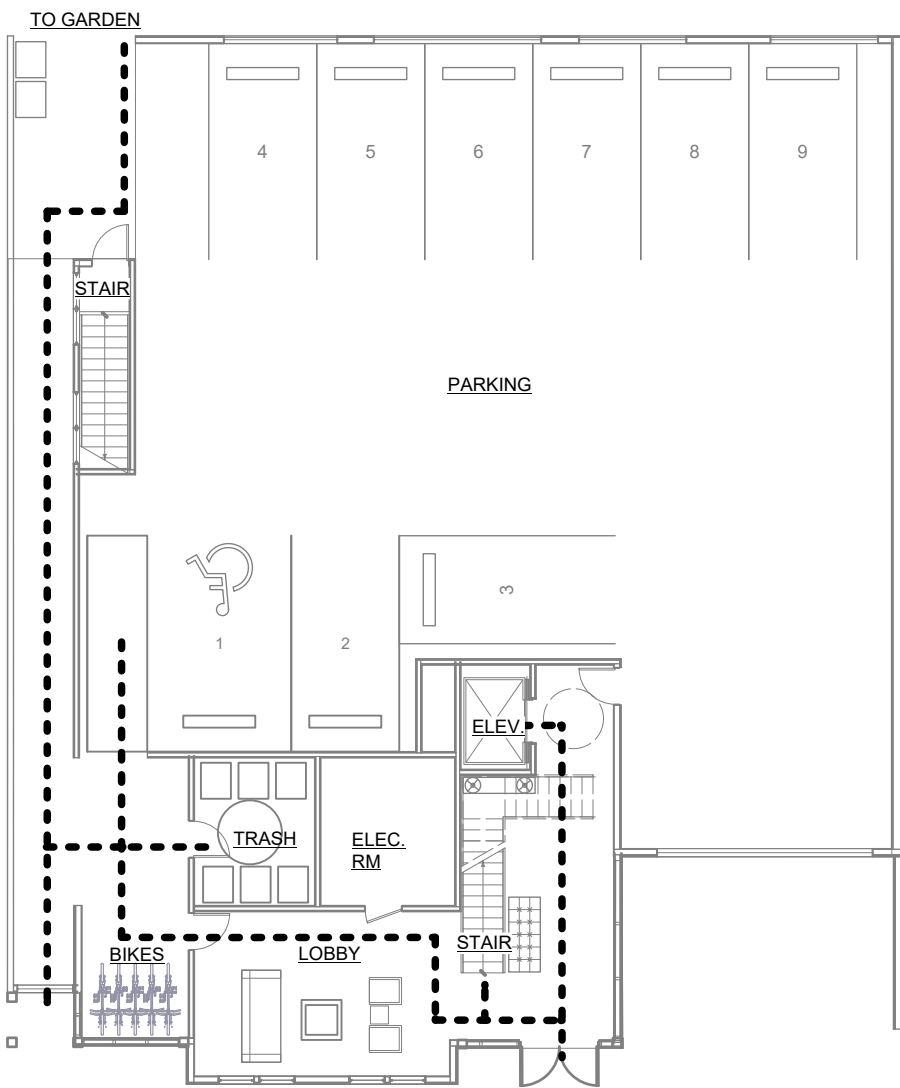
3 OCCUPANCY & BUILDING SEPARATION



LEVEL 3 - RESIDENTIAL UNITS
NOTE: ALL UNITS TO BE ADAPTABLE PER CBC CH 11A

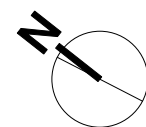


LEVEL 2 - RESIDENTIAL UNITS
NOTE: ALL UNITS TO BE ADAPTABLE PER CBC CH 11A



LEVEL 1 - LOBBY/GARAGE

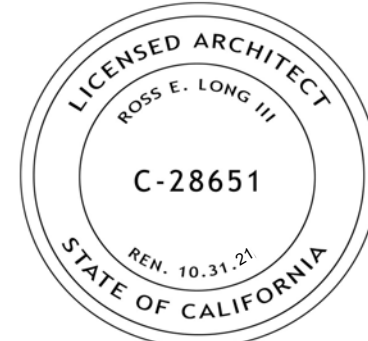
LEGEND
----- ACCESSIBLE PATH OF TRAVEL



2 OCCUPANCY & BUILDING SEPARATION

BUILDING CODE COMPLIANCE									
Project Description - Apartments over Parking Garage, Lobby									
** story count measured from CBC 510.4 for R-2 use over S-2									
Occupancy Type	Construction Type	Allowable Stories*, **	Proposed Stories	Allowable Building Height*	Proposed Building Height				
Ground floor - Parking Garage (S-2), Lobby (R-2)	I-A	UL	1	50'	14'-4" t.o. PODIUM FROM LOWEST SLAB				
Apartments (R-2)	V-A	3**	2**	50'	35'-4"				
Building Area Limitations (Separated Occupancies)									
**area factor increase = 0% per CBC 506.3.3, Equation 5-5									
Occupancy Type	Construction Type	Allowable area per story (CBC 506.2.4)	Proposed Area						
Level 1 (Ground Floor)									
S-2 (Enclosed Parking Garage, Bike, Trash, all accessory or incidental uses)	I-A	UL	5,191sqft						
R-2 (Lobby)	V-A	12000 sqft	758sqft						
Total Level 1 (Ground Floor)			5,949sqft						
Levels 2-3			Proposed Area						
Level 2 R-2 (Apartments)	V-A	12,000sqft	4,667sqft						
Level 3 R-2 (Apartments)	V-A	12,000sqft	4,553sqft						
Total Levels 2-3		24,000sqft	9,220sqft						
Ratio Proposed / Allowable (Max 3.0, CBC 506.2.4)			0.8						
Total Building Area			15,169sqft						
Separation of Occupancies (CBC Table 508.4)									
Occupancy	Rating Req'd	Provided							
R-2 to S-2	1h	1h							
R-2 between dwelling units	1h	1h							
Fire Resistance of Exterior Walls (Table 602)									
Level 1, Type I-A (S-2 & R-2)	Distance	Rating (hours)	Distance	Rating (hours)					
	x<5	2	10sx<30	1					
	5sx10	1	x≥30	0					
Levels 2-3, Type VA (R-2)	x<5	1	10sx<30	1					
	5sx10	1	x≥30	0					
Fire Resistance Ratings for Building Elements (CBC Table 601)									
Level 1, Type I-A (S-2 & R-2)									
Building Element	Required (hours)	Provided (hours)							
Structural Frame	3	3							
Bearing Walls - Exterior	3	3							
Bearing Walls - Interior	3	3							
Non-bearing Walls - Exterior	Per table 602, above								
Non-Bearing Walls - Interior	0	0							
Floor	2	2							
Roof	1.5	1.5							
Levels 2-3, Type VA (R-2)									
Building Element	Required (hours)	Provided (hours)							
Structural Frame	1	1							
Bearing Walls - Exterior	1	1							
Bearing Walls - Interior	1	1							
Non-bearing Walls - Exterior	Per table 602, above								
Non-Bearing Walls - Interior	0	0							
Floor	1	1							
Roof	1	1							
OCCUPANT LOADS AND EXITING (CBC Table 1006.2.1)									
Floor	Area	Load Factor	Occupants	Number of Exits		Stair Width		Exit Width	
				Req'd	Prov'd	Req'd 0.3 in/occ	Prov'd (in)	Req'd 0.2in/occ	Prov'd (in)
Level 1									
Parking Garage (S-2)	5,191sqft	200sf/occ	26	2	2	-	-	5	>36
Lobby (R-2)	758sqft	200sf/occ	4	1	1	-	-	1	>36
Totals	5,949sqft		30	-	-	-	-	6	>72
Level 2									
Residential (R-2)	4,667sqft	200sf/occ	23	2	2	7.0005	>36	4.667	>36
Level 3									
Residential	4,553sqft	200sf/occ	23	2	2	6.8295	>36	4.553	>36
Totals	15,169sqft		76						
Min Corridor Width	44in								
Max Travel Distance	R-2	S-2							
Sprinklered	250ft	400ft							
Common Path	125ft	100ft							
Fire sprinkler system to be NFPA 13-16 in accordance to CBC 903.3.1.1.									
Stairway width not required to be 48in between handrails per CBC 1009.3.2, Exception 1.									
Area of Refuge not required at elevator or accessible stair per CBC 1009.3.3 Exceptions 1 & 5 respectively.									

1 BUILDING CODE ANALYSIS



ISSUE DATE:
PLANNING SUBMITTAL 03/03/2020
SB330 PLANNING RESUBMITTAL v2 08/04/2020
SB330 PLANNING RESUBMITTAL v3 10/27/2020

ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP:

PROJECT:
EL CAMINO REAL APARTMENTS

ADDRESS:
**1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100**

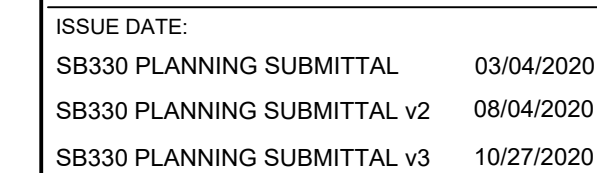
CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
BUILDING CODE ANALYSIS

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PLOT DATE: 2/26/2020 REVISION:
ORIGINAL SHEET SIZE: US Arch D
SCALE: NTS

A-0.9



ARCHITECT



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APPROVAL STAMP

PROJECT: **EL CAMINO REAL APARTMENTS**

ADDRESS:
**1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100**

PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

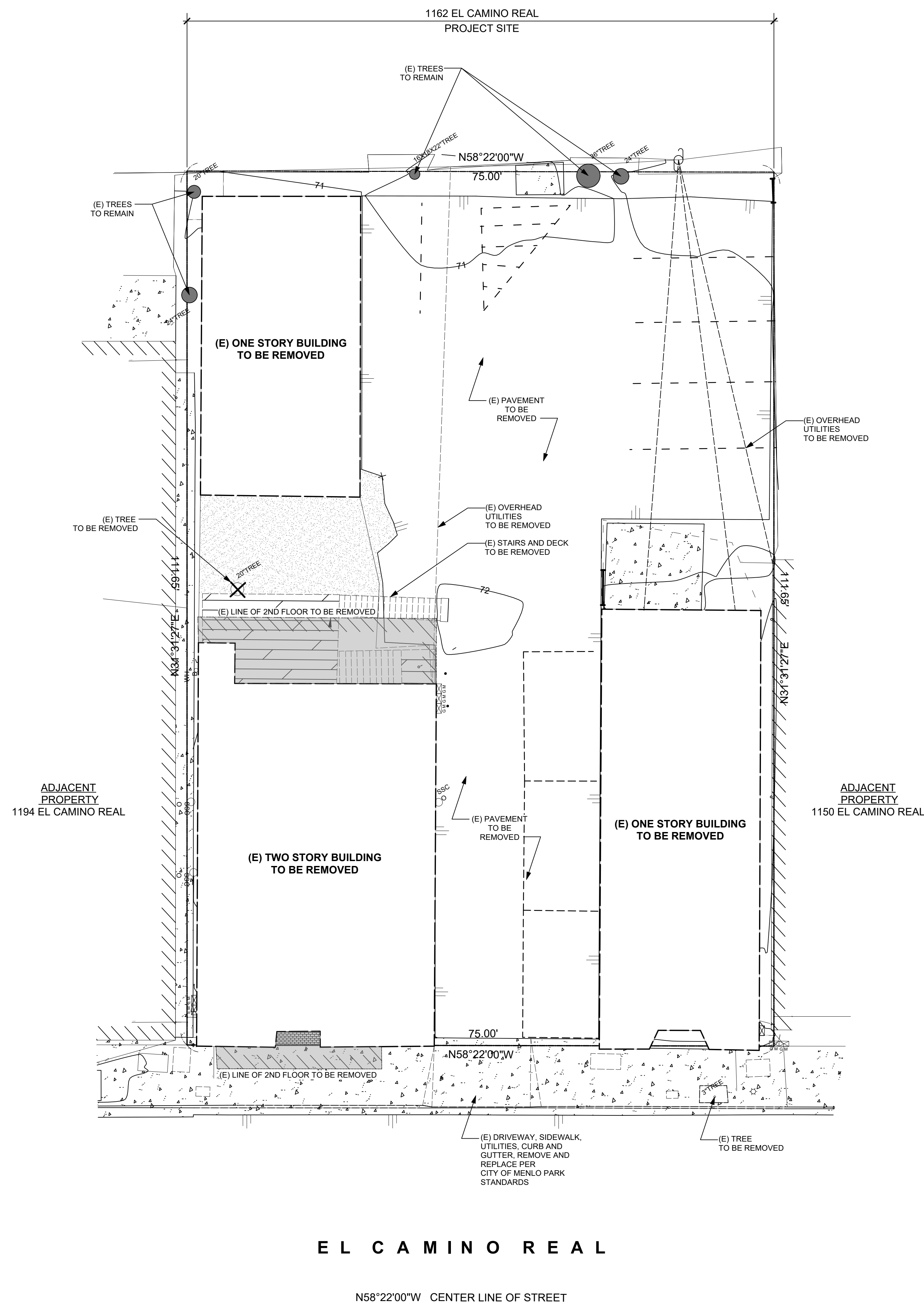
DRAWING:
EXISTING SITE PLAN

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DWG DATE:	2/26/2020	CAD FILE:	1162 EL CAMINO _A1_demo as-built 10192020.vwx
PLOT DATE:	2/26/2020	REVISION:	

ORIGINAL SHEET SIZE: US Arch D	A-1.0 OF 4
SCALE: NTS	
DRAWN: AW CHKD: TL	

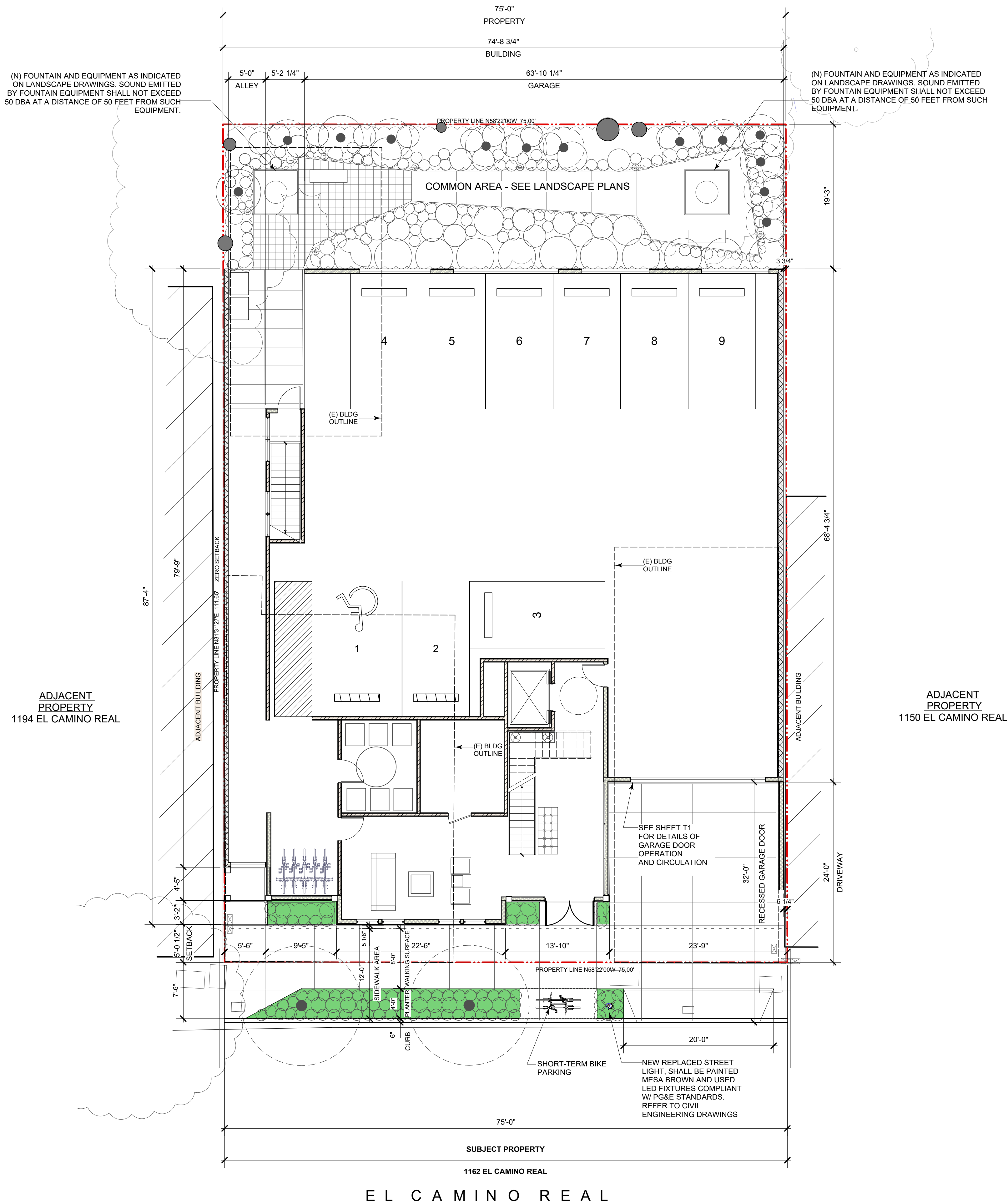
C. TORYLONDDESIGN 2020



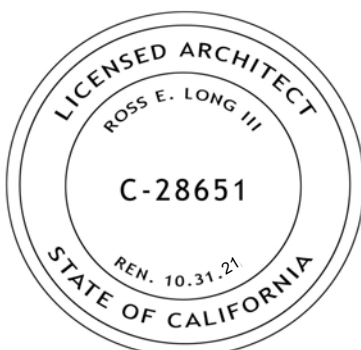
EL CAMINO REAL

N58°22'00"W CENTER LINE OF STREET

SCALE: 1/8" = 1'-0"



BUILDING AREA SUMMARY					
RESIDENTIAL AREA (9 UNITS)				8,085	
PARKING (9 SPACES)				4,188	
LOBBY				758	
COMMON AREA				3,164	
TOTAL AREA				16,195	
UNIT COUNT SUMMARY					
LOCATION	STUDIOS	1 BED	2 BED	TOTAL UNITS	
LEVEL 2	2	1	2	5	
LEVEL 3	0	2	2	4	
TYPE TOTAL	2	3	4	9	
AREA DETAILS					
LEVEL 1				AREA	
TYPE					
PARKING				4,188	
LOBBY				758	
COMMON AREAS				1,365	
TOTAL LEVEL 1				6,311	
LEVEL 2			LEVEL 3		
UNIT	TYPE	AREA	UNIT	TYPE	AREA
201	2 BED / 2 BATH	1,255	301	2 BED / 2 BATH	1,255
202	2 BED / 2 BATH (BMR)	1,277	302	2 BED / 2 BATH	1,277
203	STUDIO / 1 BATH	417	303	1 BED / 1 BATH	725
204	1 BED / 1 BATH (BMR)	737	304	1 BED / 1 BATH (BMR)	737
205	STUDIO / 1 BATH	405			
RESIDENTIAL SUBTOTAL		4,091	RESIDENTIAL SUBTOTAL		3,994
COMMON AREAS		907	COMMON AREAS		892
TOTAL LEVEL 2		4,998	TOTAL LEVEL 3		4,886



ISSUE DATE:
PLANNING SUBMITTAL 03/03/2020
SB330 PLANNING RESUBMITTAL v2 08/04/2020
SB330 PLANNING RESUBMITTAL v3 10/27/2020



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APPROVAL STAMP:

PROJECT:
EL CAMINO REAL
APARTMENTS

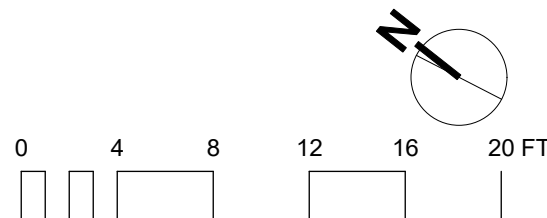
ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100

CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
PROPOSED SITE PLAN

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DWG DATE: 2/26/2020 CAD FILE:
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SCALE: NTS



A-1.3

C TOBYLONGDESIGN 2020

BICYCLE RACK SPECIFICATION - TYPE DD04 & DD06

GROUND CONTROL SYSTEMS™
Innovative Bike & Board Parking

DOUBLE DOCKER™ DD04, DD06, DD08, DD10, DD12
Cut Sheet & Quick Specifications

MATERIALS & FEATURES

All steel construction, ASI materials, for durability
Plastic wheels for smooth travel of slide
Urethane bumpers to absorb slide impact
Zinc plated hardware
Two-tier allows double the density
Vertically staggered position prevents handle bar conflicts
Gas strut Lift-assist makes loading easy - very little strength required*
Grade 5 U-bolts keeps upper row secured
Convenient locking loops to lock frame and wheel on bike
Movable legs allow retro-fitting over existing horizontal bike parking
*Meets SMFTA requirements

FINISH

☐ Hot-Dipped Galvanized (Marine Environment)

CONFIGURATIONS & FOOTPRINT W/BIKES

- ☐ DD04 - 49.5" W 84" L X 102" H, - 4 bikes secured
☐ DD06 - 66.0" W 84" L X 102" H, - 6 bikes secured
☐ DD08 - 82.5" W 84" L X 102" H, - 8 bikes secured
☒ DD10 - 99.0" W 84" L X 102" H, - 10 bikes secured
☐ DD12 - 115.5" W 84" L X 102" H, - 12 bikes secured

MOUNTING OPTIONS

Surface Mount - Concrete (Anchors sold separately)

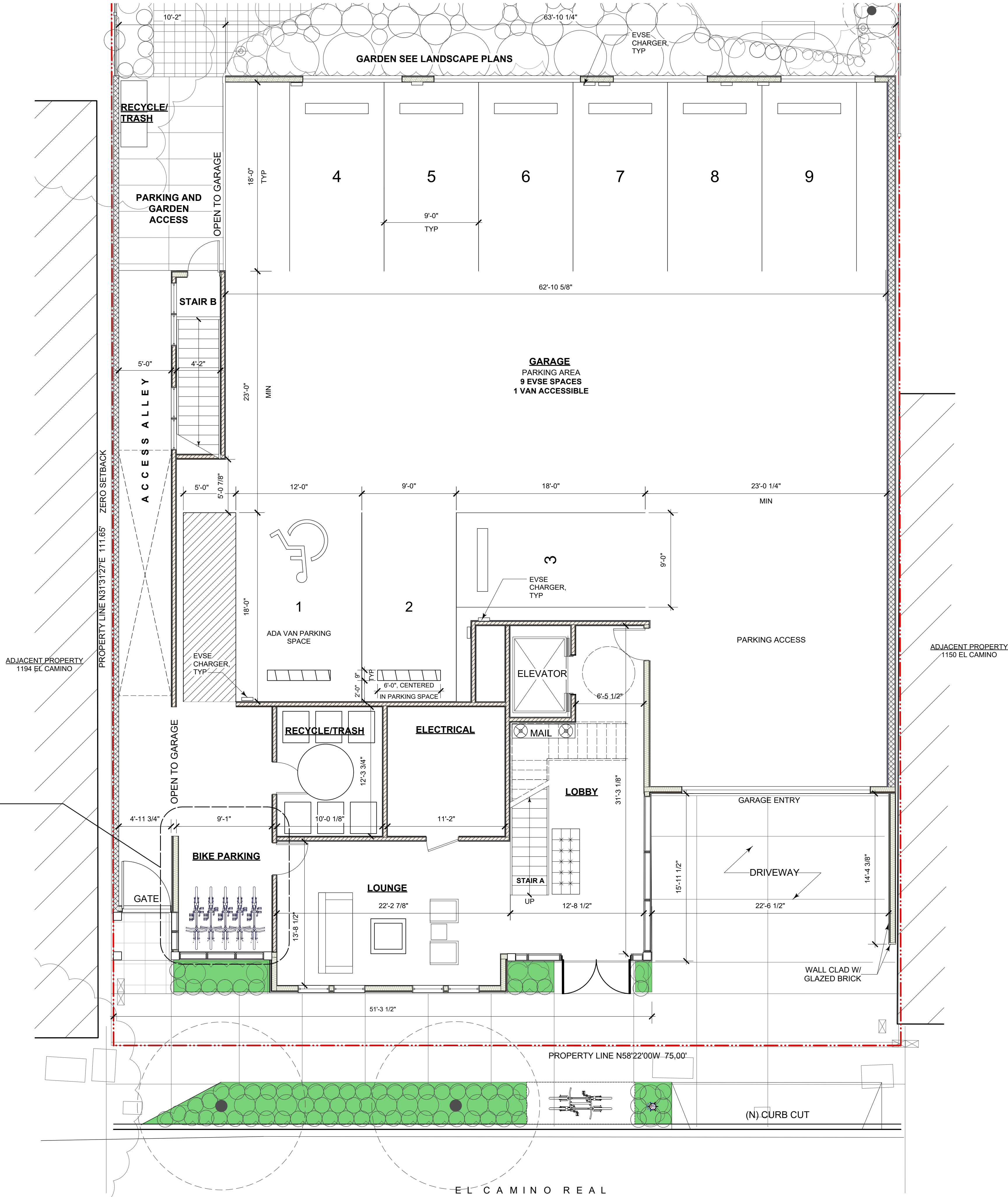
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BIKE PARKING
TOTAL = 10

2 ENLARGED BIKE ROOM PLAN
Scale: 3/8" = 1'-0"

0 2 4 6 8 10 FT



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prefab evolved
6114 LASALLE AVENUE #452 OAKLAND CA 94611
1081 LONG AVE - 415.905.9030 - 1081@CHXTLD.COM

MODULAR FABRICATOR

APPROVAL STAMP:

PROJECT:
EL CAMINO REAL
APARTMENTS

ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100

CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

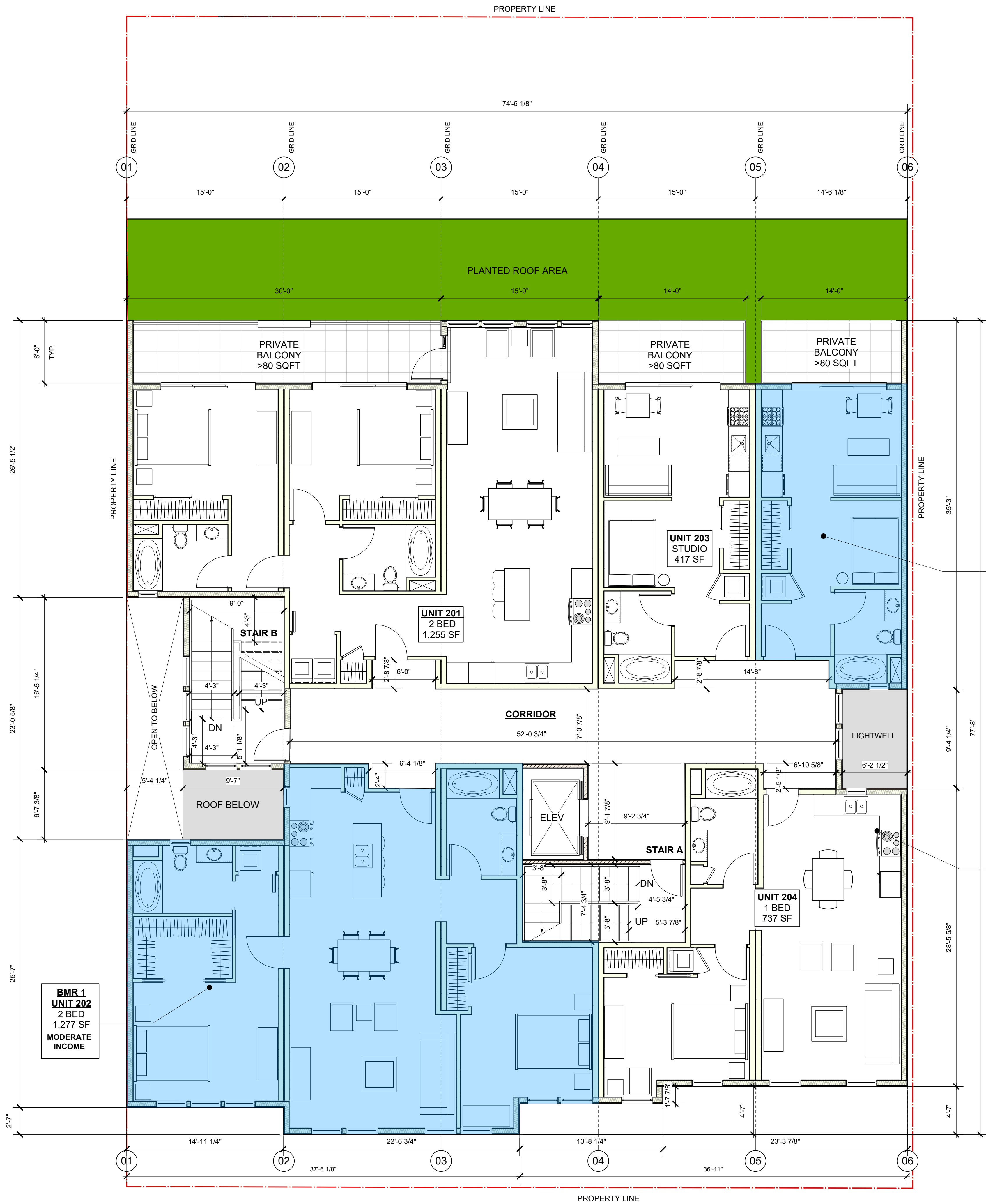
DRAWING:
LEVEL 1 PLAN

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PLOT DATE: 2/26/2020 REVISION:
ORIGINAL SHEET SIZE:
US Arch D
SCALE: NTS

A-2.1

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LEVEL 2			LEVEL 3		
UNIT	TYPE	AREA	UNIT	AREA	
201	2 BED / 2 BATH	1,255	301	2 BED / 2 BATH	1,255
202	2 BED / 2 BATH (BMR)	1,277	302	2 BED / 2 BATH	1,277
203	STUDIO / 1 BATH	417	303	1 BED / 1 BATH	725
204	1 BED / 1 BATH (BMR)	737	304	1 BED / 1 BATH (BMR)	737
205	STUDIO / 1 BATH	405			
RESIDENTIAL SUBTOTAL		4,091	RESIDENTIAL SUBTOTAL		3,994
COMMON AREAS		907	COMMON AREAS		892
TOTAL LEVEL 2		4,998	TOTAL LEVEL 3		4,886

LICENSED ARCHITECT
ROSS E. LONG III
C-28651
REV. 10.31.21
STATE OF CALIFORNIA

ch x tld
prefab evolved

6114 LASALLE AVENUE #452, OAKLAND CA 94611
1081 LONG AVE - 415.905.9030 - 108@CHXTLD.COM

ARCHITECT

MODULAR FABRICATOR

APPROVAL STAMP:

PROJECT:
EL CAMINO REAL
APARTMENTS

ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100

CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
LEVEL 2 PLAN

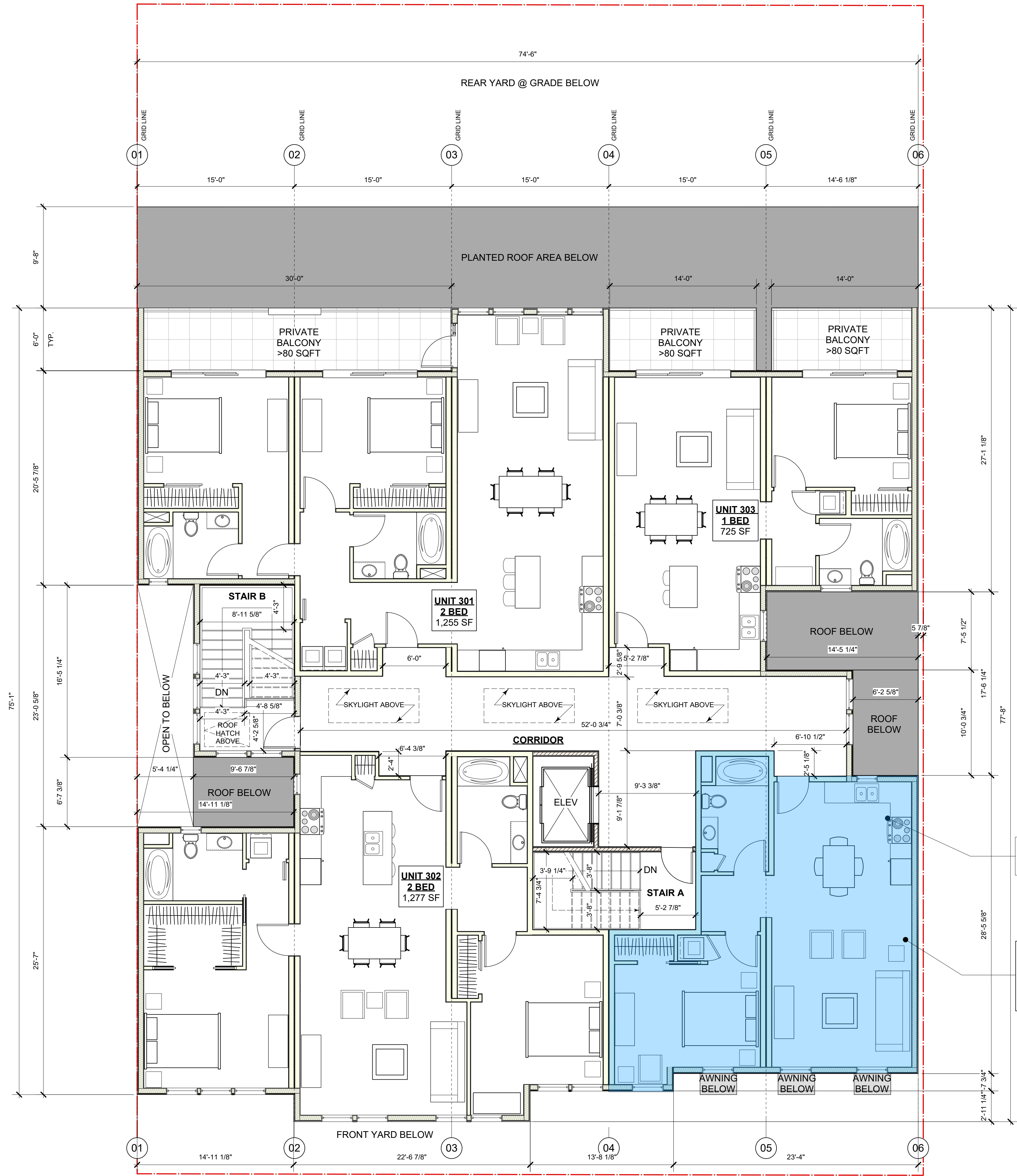
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DWG DATE: 2/26/2020 CAD FILE:
PLOT DATE: 2/26/2020 REVISION:
ORIGINAL SHEET SIZE:
US Arch D
SCALE: NTS

0 4 8 12 16 20 FT

A-2.2

C TOBYLONGDESIGN 2020



BUILDING AREA SUMMARY					
RESIDENTIAL AREA (9 UNITS)			8,085		
PARKING (9 SPACES)			4,188		
LOBBY			758		
COMMON AREA			3,164		
TOTAL AREA			16,195		
UNIT COUNT SUMMARY					
LOCATION	STUDIOS	1 BED	2 BED	TOTAL UNITS	
LEVEL 2	2	1	2	5	
LEVEL 3	0	2	2	4	
TYPE TOTAL	2	3	4	9	
AREA DETAILS					
LEVEL 1		AREA			
TYPE					
PARKING		4,188			
LOBBY		758			
COMMON AREAS		1,365			
TOTAL LEVEL 1		6,311			
LEVEL 2			LEVEL 3		
UNIT	TYPE	AREA	UNIT	TYPE	AREA
201	2 BED / 2 BATH	1,255	301	2 BED / 2 BATH	1,255
202	2 BED / 2 BATH (BMR)	1,277	302	2 BED / 2 BATH	1,277
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SB330 PLANNING RESUBMITTAL v3 10/27/2020

ARCHITECT

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EL CAMINO REAL
APARTMENTS

ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100
CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
LEVEL 3 PLAN

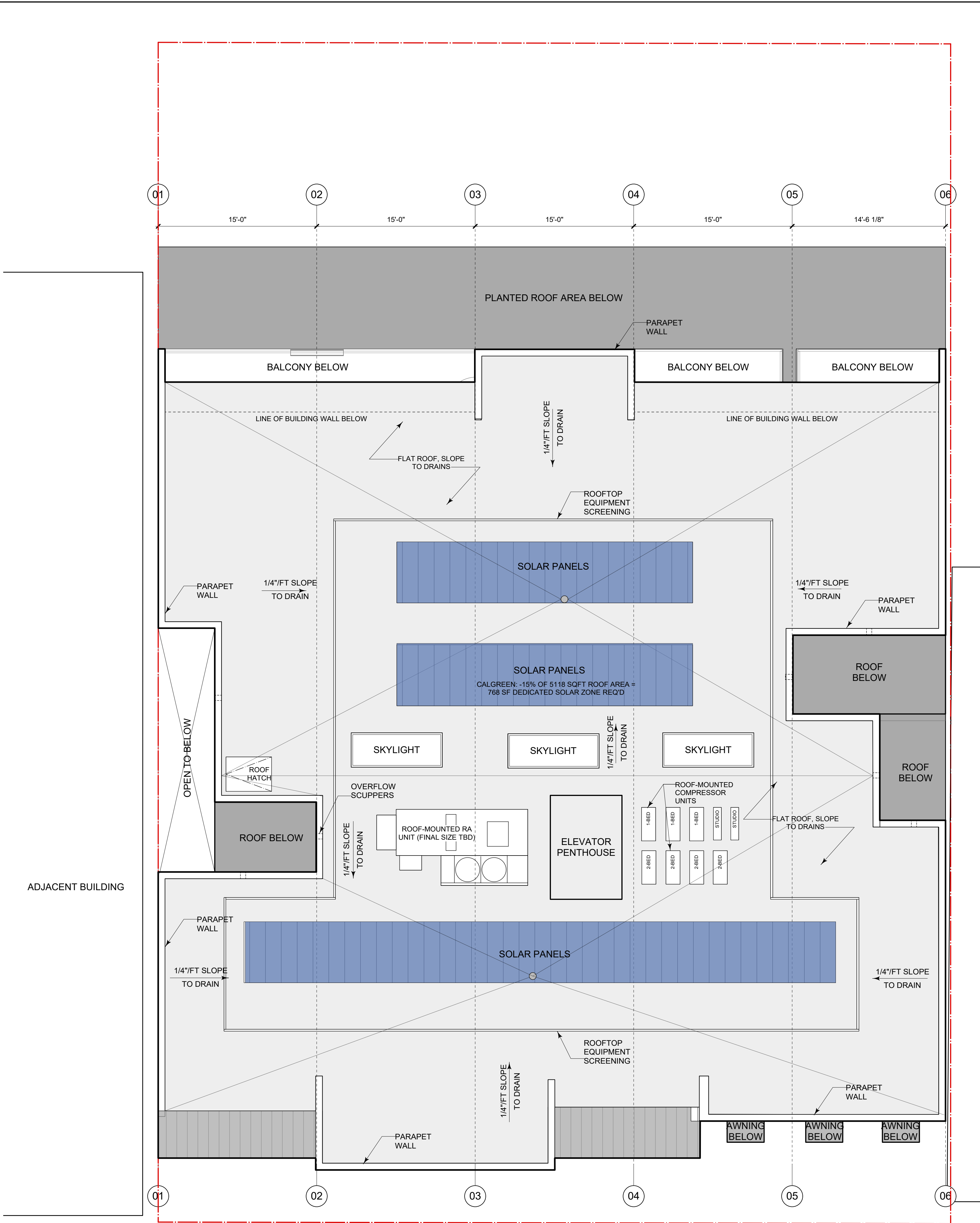
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PLOT DATE: 2/26/2020 REVISION:
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SCALE: NTS

SCALE: 1/8" = 1'-0"

A-2.3

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PARKING (9 SPACES)			4,188		
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COMMON AREA			3,164		
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TYPE					
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COMMON AREAS		907	COMMON AREAS		892
TOTAL LEVEL 2		4,998	TOTAL LEVEL 3		4,886

NOTE: SOUND EMITTED BY ROOFTOP EQUIPMENT SHALL NOT EXCEED 50 DBA AT A DISTANCE OF 50 FEET FROM SUCH EQUIPMENT.

LICENSED ARCHITECT
ROSS E. LONG III
C-28651
REV. 10.31.21
STATE OF CALIFORNIA

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6114 LASALLE AVENUE #452, OAKLAND CA 94611
1081 LONG AVE - 415.905.9030 - 108@CHXTLD.COM

ARCHITECT

MODULAR FABRICATOR

APPROVAL STAMP

PROJECT:
EL CAMINO REAL
APARTMENTS

ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100

CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
ROOF PLAN

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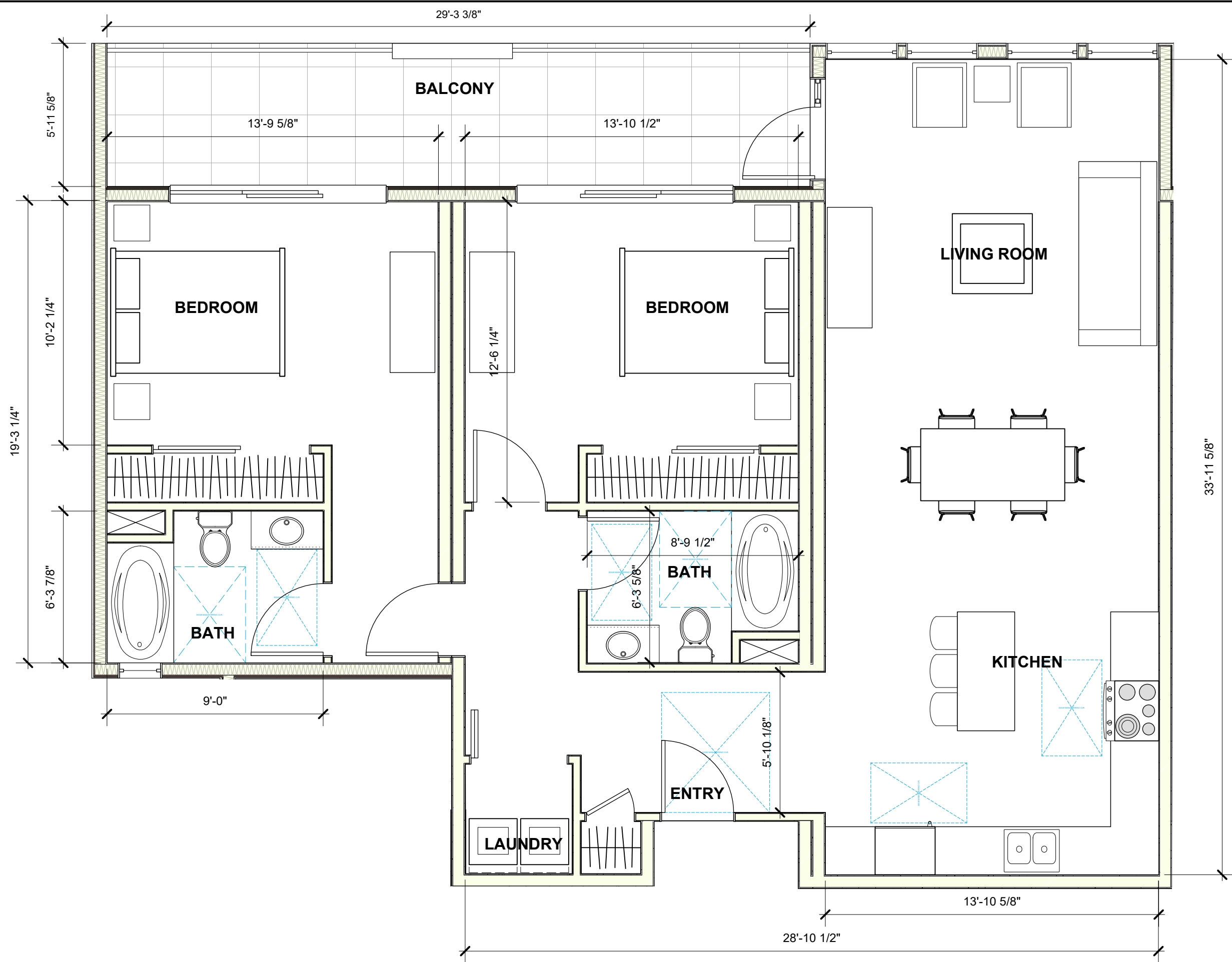
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DWG DATE: 2/26/2020 CAD FILE:
PLOT DATE: 2/26/2020 REVISION:
ORIGINAL SHEET SIZE: US Arch D
SCALE: NTS

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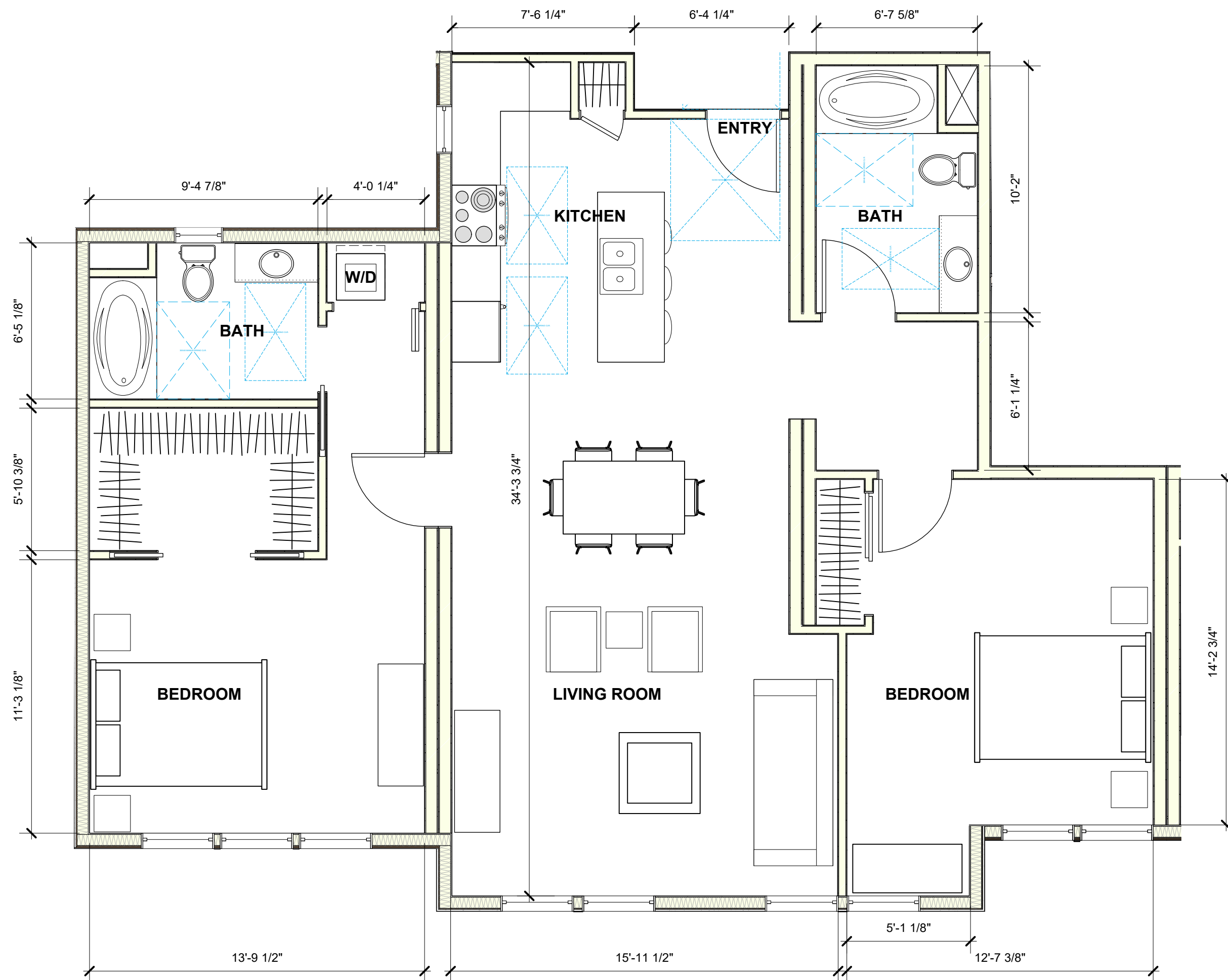
SCALE: 1/8" = 1'-0"

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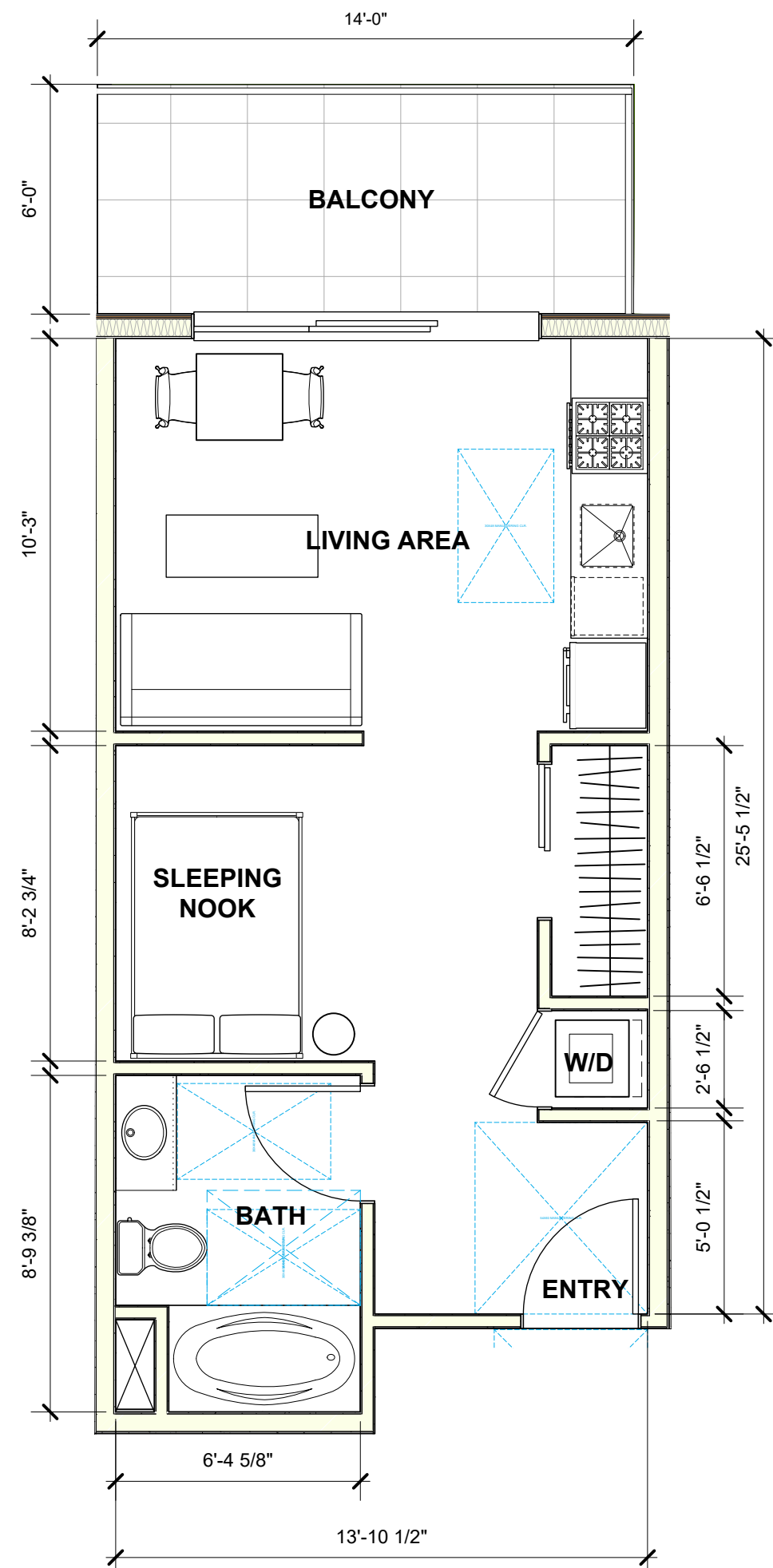
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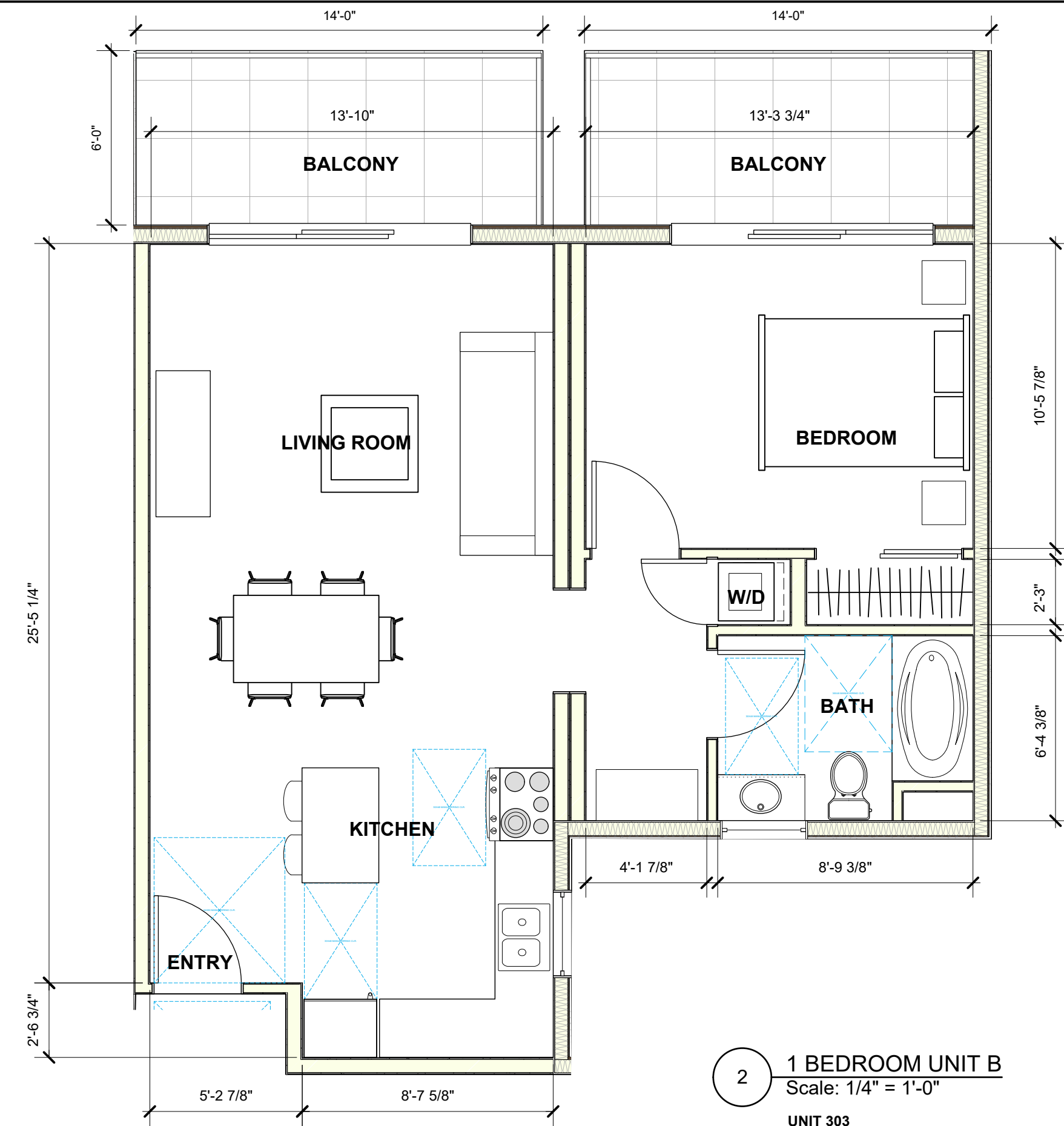
4 2 BEDROOM UNIT D
Scale: 1/4" = 1'-0"
UNIT 201 & 301
2 BED 1,255 SF



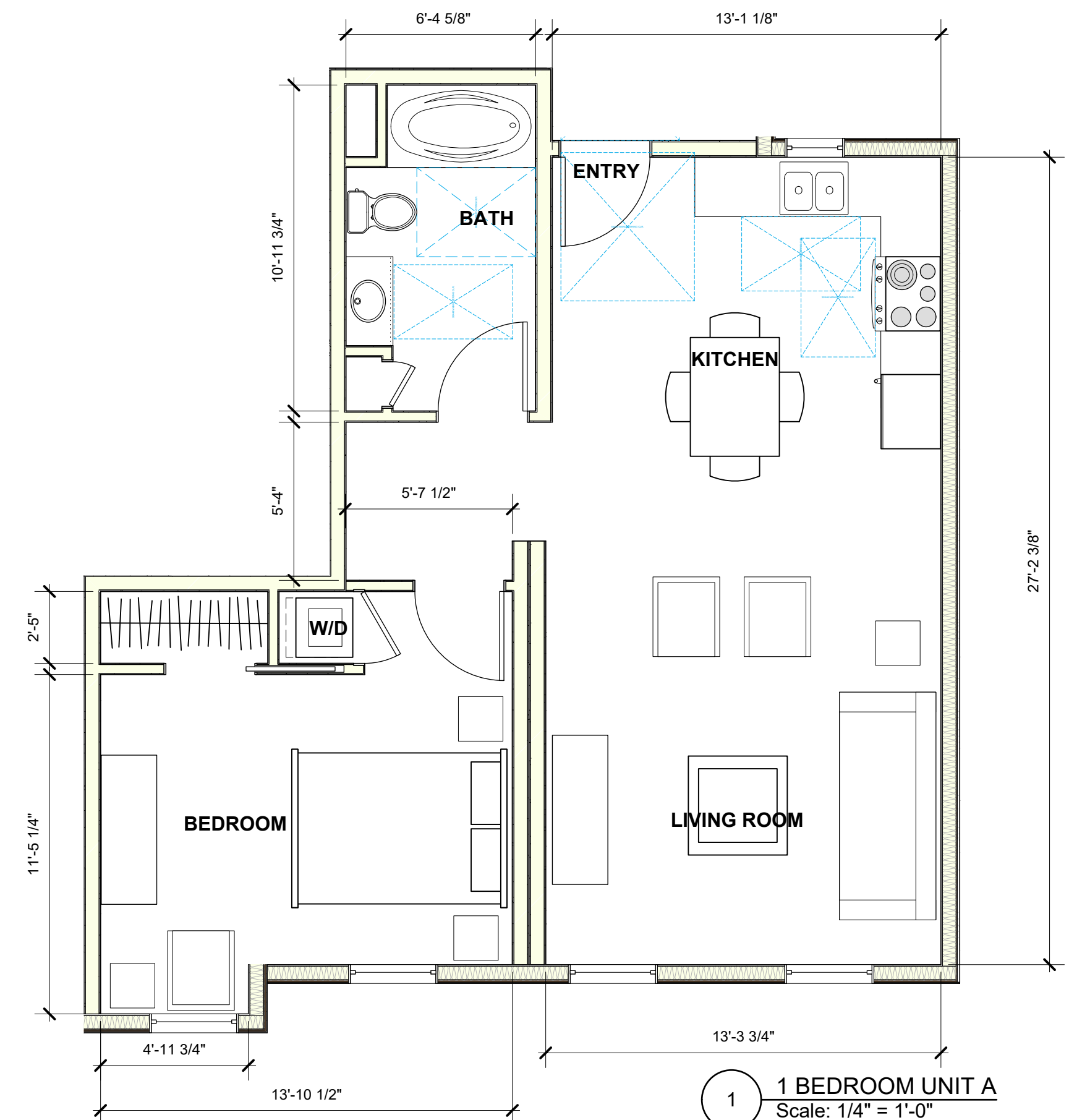
5 2 BEDROOM UNIT E
Scale: 1/4" = 1'-0"
UNIT 202 & 302
2-BED 1,277 SF



3 STUDIO UNIT C
Scale: 1/4" = 1'-0"
UNIT 205
STUDIO 405 SF



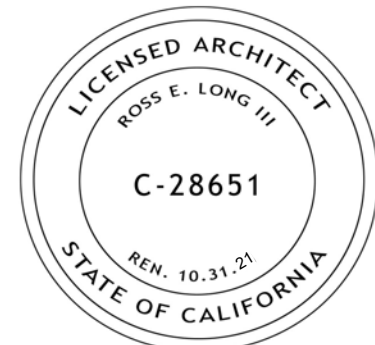
2 1 BEDROOM UNIT B
Scale: 1/4" = 1'-0"
UNIT 303
1 BED 725 SF



1 1 BEDROOM UNIT A
Scale: 1/4" = 1'-0"
UNIT 204 & 304
1 BED 737 SF



SCALE: AS NOTED



ISSUE DATE:
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SB330 PLANNING RESUBMITTAL v3 10/27/2020

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APPROVAL STAMP:

PROJECT:
**EL CAMINO REAL
APARTMENTS**

ADDRESS:
**1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100**

CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

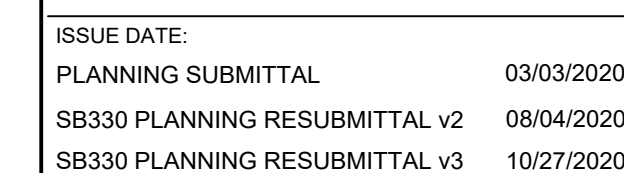
DRAWING:
ENLARGED UNIT PLANS

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DWG DATE: 2/26/2020 CAD FILE:
PLOT DATE: 2/26/2020 REVISION:
ORIGINAL SHEET SIZE:
US Arch D
SCALE: AS NOTED

A-2.5

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TOBY LONS AIA - 415.995.9030 - TOBY@CHXTLD.COM

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APPROVAL STAMP

PROJECT: **EL CAMINO REAL
APARTMENTS**

ADDRESS:
1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100

PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
BUILDING SECTIONS

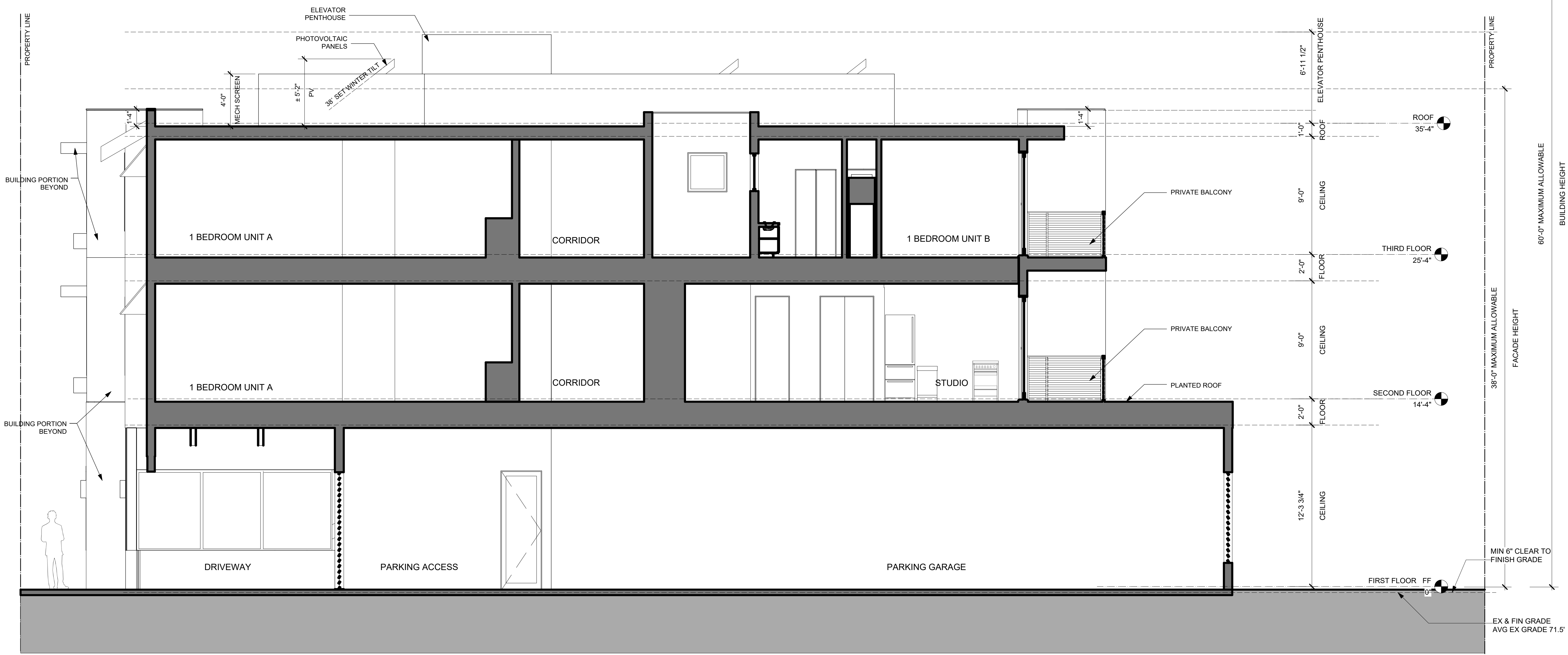
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DWG DATE:	2/26/2020	CAD FILE:	
PLOT DATE:	2/26/2020	REVISION:	
ORIGINAL SHEET SIZE:	<div style="font-size: 48pt; font-weight: bold; text-align: center;">A-3.0</div>		
US Arch D			
SCALE: NTS			

A-3.0

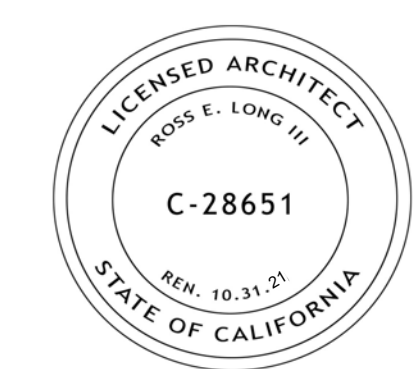
C. TORY LONG DESIGN 2020





1 LONGITUDINAL BUILDING SECTION LOOKING NORTHWEST

SCALE: 1/4" = 1'-0"



ISSUE DATE:	
PLANNING SUBMITTAL	03/03/2020
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SB330 PLANNING RESUBMITTAL v3	10/27/2020

ARCHITECT

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6114 LASALLE AVENUE #552 OAKLAND CA 94611
1081 LONG AVE - 415.955.9030 - 108@CHXTLD.COM

MODULAR FABRICATOR

APPROVAL STAMP:

PROJECT:

EL CAMINO REAL APARTMENTS

ADDRESS:

**1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100**

CLIENT:

PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:

BUILDING SECTIONS

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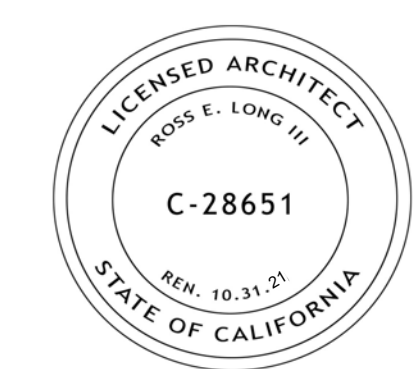
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DWG DATE:	2/26/2020	CAD FILE:	
PLOT DATE:	2/26/2020	REVISION:	
ORIGINAL SHEET SIZE:	US Arch D		
SCALE:	NTS		

A-3.1



1 FRONT FACADE - SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



ISSUE DATE:
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6114 LASALLE AVENUE #452 OAKLAND CA 94611
1081 LONG AVE - 415.935.9030 - 108@CHXTLD.COM

MODULAR FABRICATOR

APPROVAL STAMP:

PROJECT:
EL CAMINO REAL APARTMENTS

ADDRESS:
**1162 EL CAMINO REAL
MENLO PARK, CA 94025
APN 061 441 100**

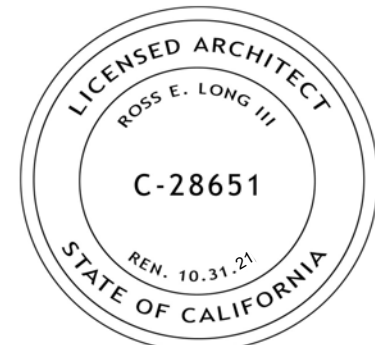
CLIENT:
PRINCE STREET PARTNERS
265 LYTTON AVE STE 303
PALO ALTO, CA 94301

DRAWING:
BUILDING ELEVATIONS

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A-4.0



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DRAWING:
BUILDING ELEVATIONS

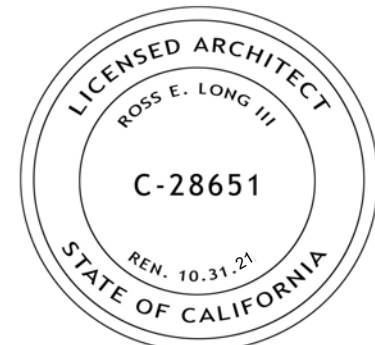
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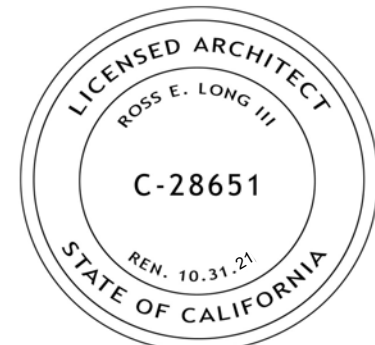
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SCALE: NTS

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MENLO PARK, CA 94025
APN 061 441 100**

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265 LYTTON AVE STE 303
PALO ALTO, CA 94301

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BUILDING ELEVATIONS

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ORIGINAL SHEET SIZE:
US Arch D
SCALE: NTS

A-4.3

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October 22, 2020

Fahteen N. Khan
Assistant Planner
City of Menlo Park - Planning Division
701 Laurel Street
Menlo Park, CA 94025

RE: 1162 El Camino Real – SB 330 Development Application

Dear Fahteen:

This project description has been drafted to accompany the SB 330 Development Application for 1162 El Camino:

EXISTING CONDITIONS

The site is located on the north side of El Camino Real, and north of the intersection with Santa Cruz Avenue. The lot is 8,374 sqft and measures 75.0' wide by 111.65' deep. There is an existing two-story wood building on the north side of the property, currently being used as a bookstore, and two existing one-story buildings on the site, which are serving as commercial/office uses. There are 10 existing parking spaces in between the structures. Five large Ailanthus trees are located at the rear of the lot. The site is surrounded by commercial/office uses to the west and east, and there is a multifamily structure to the north.

PROPOSED PROJECT

The proposed project consists of removing the existing structures on the site, and building a new 9-unit apartment building, which will be 3 stories tall (Project). The first floor will include an entry lobby, services, access/egress and the parking for the project. We are proposing 9 parking spaces, a ratio of 1:1. The second and third floors will contain the residential units, consisting of 2 studios, 3 one-bedroom units, and 4 two-bedroom units.

Three of the nine units would be designated as Below Market Rate (BMR) units, with one satisfying the residential BMR requirement for the Project and two units satisfying the BMR requirement for the combined projects at 506 Santa Cruz Avenue, 556 Santa Cruz Avenue, and 1125 Merrill Street (Off-Site Property).

The BMR Housing Agreement for the Off-Site Property requires that, if the applicant has received land use entitlements for the Project prior to receiving a certificate of occupancy or final inspection for the Off-Site Property, it may elect to satisfy the Project's residential BMR requirement by providing two BMR units in the Project. These units must be ready for occupancy within two (2) years of receipt of a certificate of occupancy or final inspection for the Off-Site Property. As the Off-Site Property has yet to receive its certificate of occupancy or final inspection, we are electing to satisfy this BMR obligation by providing these two BMR units in the Project.

These units will be located on the second and third levels, dispersed as follows:

LEVEL 2

BMR 1 Unit 202: 2 bedroom, 1,277 sf - moderate income

BMR 2 Unit 205: studio, 405 sf - very low income

LEVEL 3

BMR 3 Unit 304: 1 bedroom, 737 sf - low income

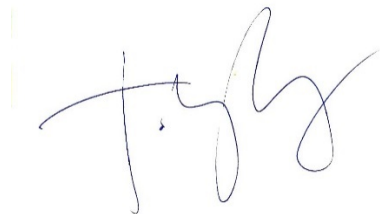
See attached plan diagrams.

The project has been designed as a prefabricated modular building, which will provide significant advantages to the construction stage. By increasing the predictability of the construction, and providing for a 30% reduction in time needed to build the project, modular building limits the impacts and disruption to the community caused by most projects, and accelerates the time-to-market for the new housing units. By utilizing prefabricated building methods, we also gain environmental and sustainable construction advantages over tradition methods.

The design of the structure proposes an aesthetic that uses forms and materials influenced by the surrounding buildings. The front façade is divided into several bays which alternate siding and stucco. The sloped roof, awnings, and window boxes are used to further emphasize the residential feel of the project. The apartment entry integrates a transparent storefront, and a warm brick base. At the rear of the project, dense planting compliments the quiet garden retreat. Based on neighbor feedback, the five existing Ailanthus trees will remain at the rear of the project and have been integrated into the landscape design.

The high-quality materials and sophisticated design and construction strategies will be a wonderful addition to the El Camino corridor and will provide much-needed housing for the downtown area.

Thank you for your time and your help with this exciting project



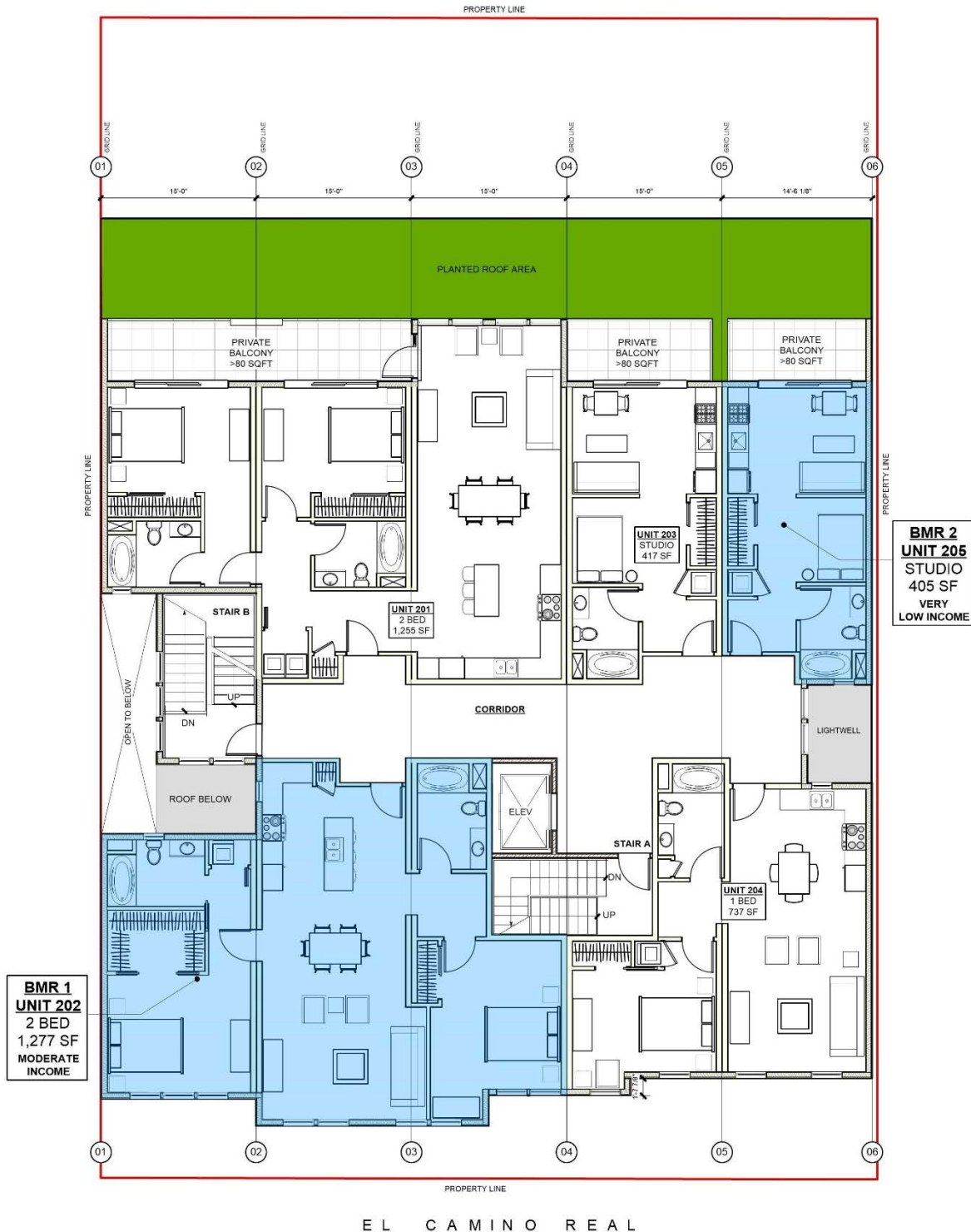
Toby Long, AIA
Principal

Attachments

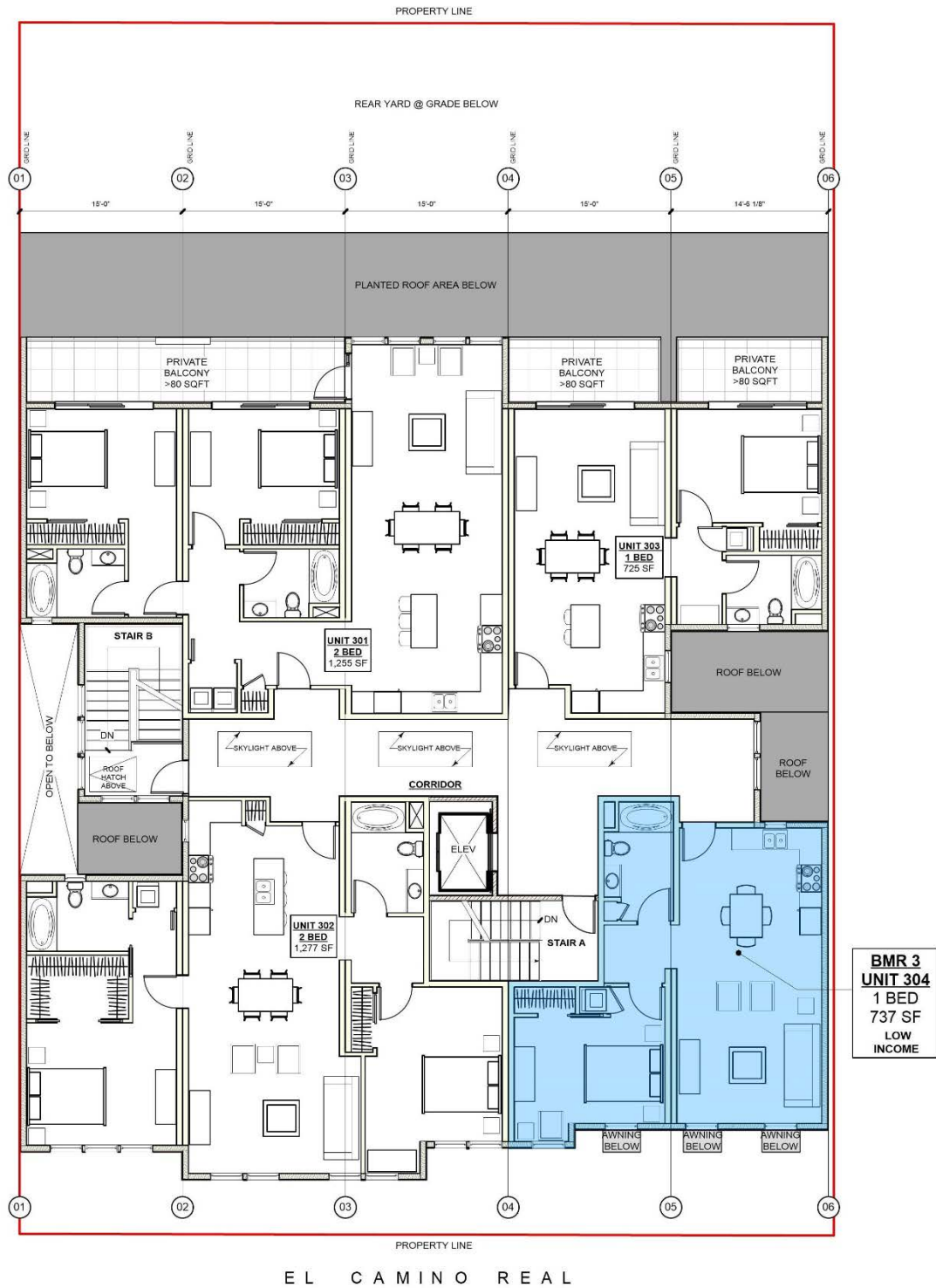
1162 EL CAMINO – UNIT SUMMARY

<u>NO.</u>	<u>UNIT TYPE</u>	<u>SIZE (SF)</u>	<u>RENTAL RATE</u>	<u>OCCUPANTS</u>
1-201	2 BED	1255	+/- \$4100	2-3
2-202	2 BED – BMR - MODERATE INCOME	1277	PER INDEX	2-3
3-203	STUDIO	417	+/- \$2100	1
4-204	1 BED	737	+/- \$3100	1
5-205	STUDIO – BMR - VERY LOW INCOME	405	PER INDEX	1
6-301	2 BED	1255	+/- \$4100	2-3
7-302	2 BED	1277	+/- \$4100	2-3
8-303	1 BED	725	+/- \$3100	1
9-304	1 BED- BMR - LOW INCOME	737	PER INDEX	1
	TOTAL	8085		17 MAX

1162 EL CAMINO – BELOW MARKET RATE UNITS – LEVEL 2 PLAN



1162 EL CAMINO – BELOW MARKET RATE UNITS – LEVEL 3 PLAN





STAFF REPORT

Housing Commission

Meeting Date:

11/4/2020

Staff Report Number:

20-008-HC

Regular Business:

Recommendation to approve the Below Market Rate (BMR) Housing Fund – Notice of Funding Availability (NOFA)

Recommendation

Approve the 2020 NOFA with minor amendments

Policy Issues

Issuing a regular NOFA is a requirement of a 2013 Court Order (Peninsula Interfaith Action, Urban Habitat Program and Youth United for Community Action vs. City of Menlo Park and Menlo Park City Council, Case No. CIV513882) related to the City's Housing Element.

Background

The settlement agreement related to the court order required the City to issue a NOFA within 60 days of approval of the Housing Element to nonprofit developers of affordable housing to extremely-low, very-low and low income households provided there is an uncommitted balance of at least \$1 million on deposit in the City's BMR housing fund. The goal of the NOFA is to support and incentivize the preservation and production of affordable housing within an expedited time frame. The City continues to encourage the development of a variety of housing in the City, especially much needed affordable housing, through implementation of the City's Housing Element, which was adopted in April 2014 for the 2015-2023 planning period. Additionally, outside of the NOFA process, the City has also previously contributed BMR funds to the development of additional affordable housing projects in the city.

Analysis

The NOFA is designed to create a competitive process supporting affordable housing developments that are most likely to be successful in addressing the City's affordable housing needs and that will benefit the community. City BMR funding is intended to fill financing gaps between projected total development costs and other available funding sources. The updated 2020 NOFA Application is attached (Attachment A). The proposed schedule for this NOFA is:

Housing Commission approval:	Wednesday, November 4, 2020
City Council review:	Tuesday, November 17, 2020
NOFA publication:	Wednesday, November 18, 2020
NOFA applications due:	Thursday, January 22, 2021
Housing Commission presentations:	February 3, 2021

Housing Commission recommendations: Wednesday, March 3, 2021

City Council approvals: TBD, March 2021

There were two minor amendments included in the 2020 NOFA including clarification to eligible project and addition of over the counter application process. Eligible projects include preservation of existing affordable housing, acquisition or new construction of permanent affordable rental or ownership housing for extremely low, very low, low and moderate income households. Eligible projects can now include proposals from organizations that produce affordable housing through the administration of housing programs, although BMR housing funds will be primarily limited to direct housing production (e.g. programs administered by a community land trust or non-profit such as a first time homebuyer program, accessory dwelling unit loan program, acquisition of existing housing, etc.). The second change to the NOFA is to allow applications for funding to be accepted over the counter, with funding priority given to applications received by the due date in the NOFA. If there are BMR funds available after the NOFA process, these funds will be available on an over the counter basis.

Impact on City Resources

The BMR fund currently has approximately \$10 million in funds available for the NOFA process.

Environmental Review

No environmental review is required for this funding process, although individual projects that may be awarded funding may be subject to California Environmental Review requirements.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

Attachment A: Draft NOFA and application

Report prepared by:

Rhonda Coffman, Deputy Community Development Director – Housing

NOTICE OF FUNDING AVAILABILITY (NOFA)

Community Development Department – Housing Division
701 Laurel St., Menlo Park, CA 94025
tel 650-330-6614



Background

The City of Menlo Park announces the availability of funds for affordable housing projects in Menlo Park and seeks responsive proposals. Approximately \$10 million in Below Market Rate (BMR) housing funds are available under this NOFA to support the preservation or production of permanent affordable housing. The funding is intended to fill the financing gap between the projected total development costs and other available funding sources.

Qualified developers of affordable housing who meet the NOFA qualifications are encouraged to submit proposals. All proposals must be received no later than 5 p.m., January 22, 2021. Interested parties may submit as an individual entity and/or may collaborate with other entities, so long as the collective group meets the NOFA requirements. Applications submitted after this deadline will not be considered. Funding will be awarded by the City Council on a competitive basis to those projects that are most successful in addressing the City's affordable housing needs and benefit the community.

The City is seeking proposals demonstrating: an understanding of the community; the unique attributes and opportunities of the neighborhood where the project will be located; successful experience in developing and managing affordable housing; and a commitment to an inclusive and informative public engagement process. Applicants must have successfully completed prior affordable housing projects. Joint venture partnerships are allowed assuming at least one member of the partnership meets the minimum experience requirement.

Eligible projects include preservation of existing affordable housing, acquisition or new construction of permanent affordable rental or ownership housing for extremely low, very low and low income households. Proposals from organizations that produce affordable housing through the administration of housing programs will also be considered, although BMR housing funds will be primarily limited to direct housing production (e.g. first time homebuyer program, accessory dwelling unit loan program, acquisition of existing housing, etc.). Development of emergency shelters for the homeless and transitional housing is not eligible because they do not result in permanent affordable housing. Mixed income projects containing both affordable and market rate rental units are eligible, with only the affordable housing portion of the project eligible for assistance under this NOFA.

The City will evaluate proposals based on City Council adopted project goals and housing priorities. All proposals will be reviewed for consistency with the Housing Element and the City's General Plan. There will not be a point system applied to these goals and priorities.

Project priorities

To be considered for funding under this NOFA/RFP, the project should attempt to meet the following project priorities:

- Housing units will remain affordable through deed restrictions for at least 55 years.
- The project is consistent with the goals and objectives of the City's Housing Element and General Plan
- The project has reasonable costs, the ability to compete well in securing competitive fund sources, and is soundly underwritten.

- The project will allow the City to spend housing funds expeditiously, projects should be “ready to go”.
- The project site allows a development to achieve maximum density and is consistent with the zoning and neighborhood setting
- The project provides dual benefits by preserving/developing affordable housing and creating a substantial improvement of a blighted property and/or neighborhood.
- The building incorporates green building practices and materials.
- The project incorporates appropriate community spaces, amenities and services for the target population.
- The project site is within walking distance of transit, services and amenities and is convenient for the target population.
- The project will attempt to implement a Local Hire program for Menlo Park residents (via construction and/or operations)
- The development team has demonstrated experience with successful affordable housing projects and the capacity to work cooperatively with communities in the design and development of projects.
- The project provides housing targeting very low and low income households.
- The project is in Central or West Menlo Park.
- The project contains larger units (2+ bedroom units and larger) and generally targets families.
- The project’s management plan promotes a healthy living environment for tenants and a compatible relationship with neighbors.

Review process

Application review

Staff will review all proposals to verify applicant eligibility. Proposals from developers that do not meet the City’s minimum required experience will not be considered. Incomplete proposals will not be considered.

Please note that the City aims to target BMR funds toward projects serving households at the lowest affordability levels. The City also intends to maximize the impact of its investment by awarding funds to projects requesting reasonable levels of subsidy, leveraged by other fund sources. So, in instances where there are multiple projects applying for funds, affordability targeting and subsidy level per unit will be considered.

Environmental review and assessment

Before the final funding commitment, projects must be assessed in accordance with the California Environmental Quality Act (CEQA). If Federal funding is involved, the project must also be assessed in accordance with the National Environmental Policy Act (NEPA).

Application process

Timeline

The tentative timeline for evaluating and selecting proposals is anticipated to be:

Housing Commission approval:	Wednesday, November 4, 2020
City Council review:	Tuesday, November 17, 2020
NOFA publication:	Wednesday, November 18, 2020
NOFA applications due:	Thursday, January 22, 2021
Housing Commission presentations:	February 3, 2021
Housing Commission recommendations:	Wednesday, March 3, 2021
City Council approvals:	TBD, March 2021

Application process continued

Contact information

Questions regarding this NOFA may be directed to Rhonda L. Coffman, Deputy Community Development Director – Housing, by calling 650-330-6615 or sending an email to rlcoffman@menlopark.org.

Changes to the NOFA process

The City of Menlo Park reserves the right to request additional information from applicants, reject any and all submittals, waive any irregularities in the submittal requirements or cancel, suspend or amend the provisions of this NOFA/RFP. If such an action occurs, the City will notify all interested parties in advance.

Funding priority will be given to applications received by the due date in this NOFA. If there are BMR funds available after the NOFA process, these funds will be available on an over the counter basis.

Application submittal requirements

Applicants must submit the following:

- One (1) original complete application with all required supporting materials.
- A USB flash drive or similar with the complete application and supporting materials.
- The attached application form describing the project, the location, the proposed financing, developer qualifications, plans for neighborhood compatibility, community engagement and any other information relevant for describing how the project meets the goals stated above.

Application due date

Applications must be submitted by 5 p.m., Thursday, January 22, 2021.

Please note - under the California Public Records Act, all documents submitted as part of this application are considered public records and will be made available to the public upon request.

Submit your completed application to:

City of Menlo Park
Community Development Department – Housing Division
Attn: Rhonda L. Coffman
701 Laurel St.
Menlo Park, CA 90425

2020 NOTICE OF FUNDING AVAILABILITY APPLICATION

Community Development Department
Housing Division
701 Laurel St., Menlo Park, CA 94025
tel 650-330-6614

Project applicant			
Organization/Agency:			
Primary contact person:			
Phone:		Email:	
Address:		City:	State: Zip:
<p>1. What is the role of the applicant in the project (check all that apply):</p> <p><input type="checkbox"/> Ownership entity</p> <p><input type="checkbox"/> Managing partner or managing member</p> <p><input type="checkbox"/> Sponsoring organization</p> <p><input type="checkbox"/> Developer</p> <p><input type="checkbox"/> Other (describe):</p> <p>2. Applicant legal status:</p> <p><input type="checkbox"/> General partnership</p> <p><input type="checkbox"/> Joint Venture</p> <p><input type="checkbox"/> Limited partnership corporation</p> <p><input type="checkbox"/> Nonprofit organization</p> <p><input type="checkbox"/> Other (please specify):</p> <p>3. Organization status:</p> <p><input type="checkbox"/> Currently exists</p> <p><input type="checkbox"/> To be formed (estimated date):</p> <p>4. Name(s) of individuals who are/will be general partner(s) or principal owner(s):</p> <p>If the applicant is a joint venture, a joint venture agreement is required that clearly describes the roles and responsibilities of each partner, who is the lead partner or if the responsibilities are approximately equally split between the partners.</p>			
Project detail			
Project name:			
Project address:		City:	State: Zip:
Assessor's parcel number:			

Project type (check all that apply): <input type="checkbox"/> Families <input type="checkbox"/> Seniors <input type="checkbox"/> Special needs <input type="checkbox"/> Other (please describe):											
Project activity (check all that apply): <input type="checkbox"/> Acquisition <input type="checkbox"/> Rehabilitation <input type="checkbox"/> New construction <input type="checkbox"/> Preservation <input type="checkbox"/> Mixed-income <input type="checkbox"/> Mixed-use <input type="checkbox"/> Other (please specify):											
Land area:					Number of residential buildings:						
Number of units:					Residential total floor area:						
Number of stories:					Number of elevators:						
Number of community rooms:					Community room(s) total floor area:						
Commercial/office uses (please specify):											
Commercial total floor area:					Office total floor area:						
Other uses (please specify):											
Total parking spaces:					Parking type(s):						
Residential parking spaces:					Residential parking ratio:						
Guest parking spaces:											
Commercial parking spaces:					Commercial parking ratio:						
Office parking spaces:					Office parking ratio:						
Income categories											
City BMR funds may only fund units serving extremely low, very low or low income households at or below 80 percent of the area median income (AMI). Inclusions of units for homeless households are encouraged.											
Category		Number of units					Percentage of units				
		Studio	1 bd	2 bd	3 bd	4 bd	Studio	1 bd	2 bd	3 bd	4 bd
0 to 30 percent AMI – Extremely low											
31 to 50 percent AMI – Very low											
51 to 80 percent AMI – Low											
81 to 120 percent AMI – Moderate											
Unrestricted											
TOTAL											

Unit amenities

Provide a brief list of unit amenities (e.g. air conditioning, laundry in unit, balconies, etc.):

Project narrative (please use additional sheets of paper as needed)

1. Project description: Provide a brief narrative summary of the proposed project. Please include location, project type (e.g. new versus rehab), target population and any unique project characteristics.
2. Project design: Provide a description of the project's architectural and site plan concepts and how these concepts address the opportunities and limitations of the site and location.
3. Green Building Features: Describe the green building features that will be incorporated into the project.
4. On-Site Amenities: Describe any on-site amenities including any project characteristics that address the special needs of the population you intend to serve.

5. Neighborhood Off-Site Amenities: Describe the property location, neighborhood transportation options, and local services and amenities that are within 1/4 mile and 1/2 mile of the site.

6. Potential Development Obstacles: Are there any known issues or circumstances that may delay or create challenges for the project? If yes, list issues below including an outline of steps that will be taken and the time needed to resolve these issues.

Site information (please use additional sheets of paper as needed)

Site control is required. Evidence should also be submitted demonstrating that the entity that has site control is the same entity applying for funds. Please include the site control document with the application.

What type of site control does the applicant currently hold?

Will site acquisition be a purchase or long-term lease?

What is the purchase price of the land? For proposed leaseholds, indicate the amount of the annual lease payment and the basis for determining that amount:

What is the current County-assessed value of the site?

Who is the current property owner and what is their address and contact information?

Total square footage of site:

Existing uses on the site and the approximate square footage of all structures:

Planned use of on-site existing structures:

- ☐ Demolish
- ☐ Rehabilitate
- ☐ Other (describe):

Provide the following information for each on-site building to be retained as part of this project: Square Footage, Date Built, No. of Stories.

Provide a brief description of the condition of any buildings to be rehabilitated:

Describe unique site features (Heritage trees, parcel shape, etc.)

Identify problem site conditions (high noise levels, ingress/egress issues, etc.)

Floodplain

Is the site in a floodplain? ☐ Yes ☐ No

If yes, type of flood plain and number of years:

List any maps referenced:

Describe adjoining land uses

West:

East:

North:

South:

Zoning

What is the current zoning of the project site?

Is the proposed project consistent with the existing zoning status of the site? ☐ Yes ☐ No

Explain:

Indicate any discretionary review permits required for the project (Planned Community Permits, Design Review Permits, Rezoning, etc.)

If rezoning is required identify the requested zoning district for the project:

Community priorities (please use additional sheets of paper as needed)

Explain how this project meets the objectives of the project priorities identified on the second page of this NOFA and the goals and objectives of the City's Housing Element and General Plan:

Project funding (please use additional sheets of paper as needed)	
City funds requested:	Funds per assisted unit:
Total project cost:	Cost per assisted unit:
How will the requested City funding be used?	
Assess the chances of the project securing required funding and steps that will be taken to make the project competitive.	
What is the self-scored 9 percent tax credit tiebreaker score for the project if applicable?	
Developer experience (please use additional sheets of paper as needed)	
Applicants may be nonprofit or for-profit affordable housing developers or owners who have affordable housing experience in the nine-county Bay Area (San Mateo, San Francisco, Marin, Sonoma, Napa, Solano, Contra Costa, Alameda and Santa Clara) and a successful track record of at least two years of ownership of at least two affordable, deed-restricted housing projects within the nine-county Bay Area in which 100 percent of the units, are targeted to those at or below 80 percent AMI. Joint venture partnerships are allowed assuming at least one member of the partnership meets the minimum experience requirement. Previous development/ownership experience must include projects that contain at least 10 units.	
Years of experience:	
Number of projects:	
Number of projects in San Mateo County:	
Average size of projects:	
Number of units placed in service:	
Please describe two projects completed in the last 10 years that are similar to the proposed project and provide photographs of each project:	
Project 1 - name of project:	
Location:	
Number of units:	
Type of development (senior, family, etc.):	
Name of project manager:	
Number of stories:	
Unit types (studio, 1 bedroom, etc.):	
Type of construction:	
Project amenities:	

Entitlement date:				
Occupancy date:				
Funding sources:				
Project 2 - name of project:				
Location:				
Number of units:				
Type of development (senior, family, etc.):				
Name of project manager:				
Number of stories:				
Unit types (studio, 1 bedroom, etc.):				
Type of construction:				
Project amenities:				
Entitlement date:				
Occupancy date:				
Funding sources:				
Personnel				
List the names of key members of the applicant's development team, their titles, responsibilities and years of experience in affordable housing.				
Project Staff	Name	Role in proposed project	Years of housing development experience	Years with this developer
Project Manager				
Director of Real Estate Development				
Executive Director				
Chief Financial Officer				
Other				
Other				

Indicate which of the following development team members have been selected and identify them if different from applicant.

Developer:	Architect(s):
Engineer(s):	General contractor:
Attorney(s) and/or tax professionals	
Property management agent	
Financial and other consultant(s)	
Investor(s):	

List all other participants and affiliates (people, businesses and organizations) proposing to participate in the project.

Name	Address

Describe how the property will be managed including the number of staff, locations and management office hours.

If the project will be managed by an agency other than the project applicant describe the project applicant's role in the ongoing management of the project and resolution of management issues.

Applicant certification

I certify that the information submitted in this application and all supporting materials is true, accurate and complete to the best of my knowledge. I acknowledge that if facts and or information herein are found to be misrepresented it shall constitute grounds for disqualification of my proposal. I further certify that the following statements are true except if I have indicated otherwise on this certification:

- ☐ I have not sold any of the projects listed on the 10 Year Projects list
- ☐ No mortgage on a project listed by me has ever been in default
- ☐ Government, or foreclosed, nor has mortgage relief by the mortgagee been given
- ☐ I have not experienced defaults or noncompliance under any contract or regulatory agreement nor issued IRS Form 8823 on any Low Income Housing Tax Credit (LIHTC) project on the 10 Year Projects list
- ☐ To the best of my knowledge there are no unresolved findings raised as a result of Agencies' audits, management reviews or other investigations concerning me or my projects for the past 10 years
- ☐ I have not been suspended, been barred or otherwise restricted by any state agency from participating in the LIHTC program or other affordable housing programs
- ☐ I have not failed to use state funds or LIHTC allocated to me in any state

I have checked each deletion, if any, and have attached a true and accurate signed statement, if applicable; to explain the facts and circumstances that I think help to qualify me as a responsible principal for participation in this NOFA.

Applicant name(s):

Signature:

Date:

Print name and title:

This application and all supporting material are regarded as public records under the California Public Records Act.

Applicant supporting material

In addition to submitting a complete application, the following additional supporting material must be provided with the application:

1. Cover letter - Provide a brief summary of the proposed project and discuss your agency's qualifications and why your proposal should be selected for funding.
2. Community outreach plan - Include the plan for conducting community outreach to neighbors of the proposed development and interested community groups. The Outreach Plan should describe how the developer intends to build support for the project and address community concerns. The Outreach Plan should also discuss any anticipated community concerns and how they would be handled.
3. Site control documents - Site control is required. Please include the site control document as well as documentation demonstrating that the entity that has site control is the same entity applying for funds.
4. Development schedule - Include a detailed project schedule identifying all major milestones. The schedule must include major milestones for the development approval process such as purchase of the property, community outreach process, financing, applications, approvals, closings, project construction and lease up. Projects with schedules projecting completion within three years will be given priority.
5. Experience (owner/developer and property manager) - Please provide resumes for the owner/developer and property manager. The resume should include a list of affordable housing projects owned/developed and managed. Please include the following: name of project, address, number of units, target population, project PIS date and years under ownership/management.
6. Experience and references (staff) - Provide resumes and project experience for all key staff working on the project including but not limited to: principals, project manager, project staff and financial officer. Indicate the level of experience of the project manager with projects similar to the proposal. Provide at least three references from City or County staff involved with projects completed in the last six years.
7. Financial proformas - Please provide the following financial forms for the proposed project: permanent and construction sources, detailed permanent development budget, unit affordability mix/rent schedule, operating budget and 30-year cash flow. If the project will use tax credits, please provide the tax credit calculations.
8. Photos - Attach recent clearly labeled photos of the project site and surrounding area.
9. Board of directors - Provide a listing of the board of directors including the city of residence.