



REGULAR MEETING AGENDA

Date: 4/8/2026
Time: 6:30 p.m.
Location: [Zoom.us/join](https://zoom.us/join) – ID# 845 2506 8381 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

How to participate in the meeting

- Access the meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:
[Zoom.us/join](https://zoom.us/join) – Meeting ID 845 2506 8381
- Access the meeting real-time via telephone at:
(669) 900-6833
Meeting ID 845 2506 8381
Press *9 to raise hand to speak

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Regular Session

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commissioners may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under public comment other than to provide general information.

E. Regular Business

- E1. Accept the Complete Streets Commission minutes for March 11, 2026 ([Attachment](#))
- E2. Receive an update and provide feedback on the Draft Environmental Impact Report (EIR) for the 1005 O'Brien Dr. and 1320 Willow Rd. Development Project ([Staff Report #26-005-CSC](#))

F. Informational Items

- F1. Update on major project status

G. Committee/Subcommittee Reports

H. Adjournment

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.gov. Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.

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REGULAR MEETING MINUTES – DRAFT



Date: 3/11/2026
Time: 6:30 p.m.
Location: Teleconference and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Ierokomos called the meeting to order at 6:35 p.m.

B. Roll Call

Present: Bailey, Cebrian, Cole, Herscher, Ierokomos, Rascoff, Rennie,
Absent: None
Staff: Public Works Director Azalea Mitch, Transportation Manager Joanna Chan, Senior
Transportation Planner Catrine Machi

C. Reports and Announcements

The Commission received updates on City Council feedback received on the Slow Streets Program March 10 and upcoming priority setting workshop March 21.

D. Public Comment

- Ken Kershner spoke on concerns related to city contracts and consultant disclosure for using artificial intelligence.

E. Regular Business

E1. Accept the Complete Streets Commission minutes for February 11, 2026 (Attachment).

ACTION: Motion and second (Rennie/ Cebrian), to accept the Complete Streets Commission minutes for February 11, 2026, passed 5-0-2 (Cole and Rascoff abstained).

E2. Recommend conclusion of the Nealon Park Parking Pilot Project to City Council (Attachment)

Senior Transportation Planner Catrine Machi made the presentation (Attachment).

The Commission received clarification on the ability to prevent U-turns on Middle Avenue, parking availability along the eucalyptus trees, planter boxes and Americans with Disabilities Act (ADA) markings in the back-in angled parking spots.

- Levi Romandine spoke in support of the back-in angled parking along and a cohesive review of all of the parking lots.

The Commission discussed the need for review of the planters near the tennis courts and repainting the ADA markings in the back-in angled parking spots for increased visibility.

ACTION: Motion and second (Herscher/ Cole), to recommend the conclusion of the Nealon Park Parking Pilot Project with the existing back-in angled parking configuration, passed unanimously.

F. Informational Items

F1. Update on major project status

The Commission received an update on progress of the Middle Avenue traffic calming implementation and San Mateo County’s plans for their segment of Coleman Avenue traffic calming.

The Commission requested an update on potential repair of the Olive Street and Middle Avenue intersection bollards.

G. Committee/Subcommittee Reports

None.

H. Adjournment

Chair Ierokomos adjourned the meeting at 7:19 p.m.

Senior Transportation Planner Catrine Machi



Nealon Park Parking Pilot – Complete Streets Commission March 2026

Catrine Machi, Senior Transportation Planner

Agenda

- History
- Commission Direction
- Design Options
- Park Usage / Parking Needs
- Staff Recommendation
- Next Steps



Nealon Park Parking Pilot Project History

Before Oct 2023
Perpendicular
Parking
(No Bike Lane)



Oct 2023
Parallel Parking
Pilot
(Buffered Bike Lane)



2024 to present
Back-In Angled
Parking Pilot
(Buffered Bike Lane)



Commission Direction - November 2025

- Bike lane placement
- Option including full removal of frontage parking
- Option including parallel parking with time-limited parking
- Strategies to improve back parking lot utilization
- Continued monitoring of current configuration

Bike Lane Positioning

- Commission directed staff to re-evaluate bike lane placement along Middle Avenue.
- Parallel parking pilot shifted the bike lane between parking and sidewalk
- Bicyclists continued riding in the travel lane instead of using the shifted alignment
- Staff recommends keeping the bike lane in the roadway right-of-way, consistent with the rest of Middle Avenue.

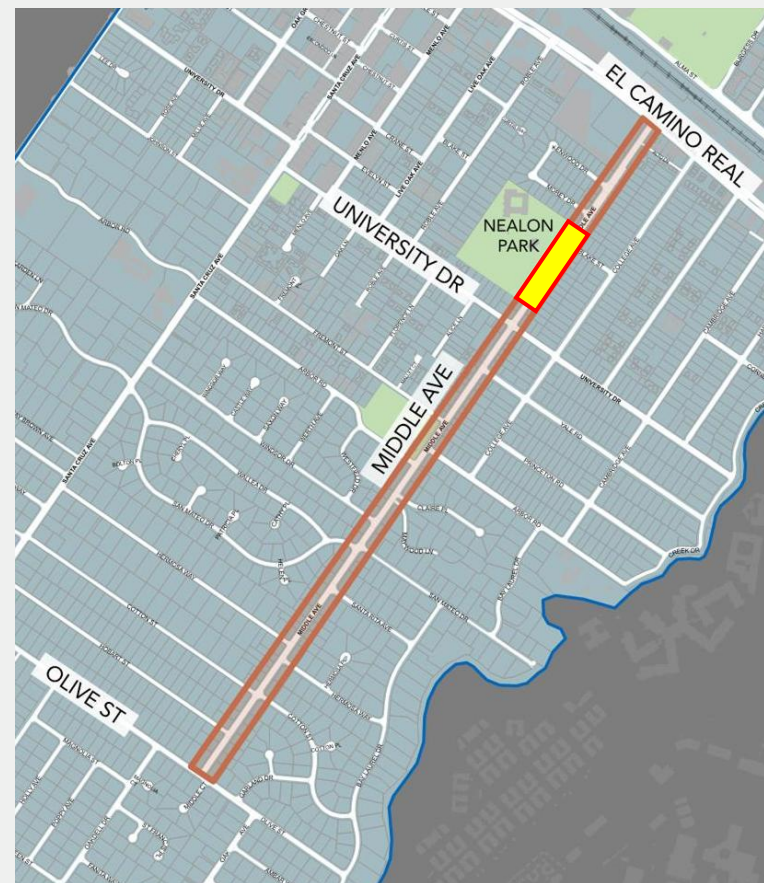


Image: Parallel parking pilot with shifted alignment, Oct 2023

Existing Configuration

CONCEPTUAL DESIGN FOR COORDINATION PURPOSES ONLY

EXISTING CONDITION



Parking Configuration	Number of Spaces
Back-In Angled Parking	28 (+3 ADA spaces) = 31 total spaces

Remove Parking

Parking removal will remove 28 spots in direct proximity to the playground and preschool

OPTION 1: REMOVE PARKING



Parking Configuration	Number of Spaces
Back-In Angled Parking	28 (+3 ADA spaces) = 31 total spaces
No parking, ADA only	3 ADA spaces = 3 total spaces

Parallel Parking

Parallel option also reduces the number of parking spaces in direct proximity to the playground and preschool

OPTION 2: INSTALL PARALLEL PARKING



Parking Configuration	Number of Spaces
Back-In Angled Parking	28 (+3 ADA spaces) = 31 total spaces
No parking, ADA only	3 ADA spaces = 3 total spaces
Parallel Parking	13 (+3 ADA spaces) = 16 total spaces

Nealon Park Usage / Parking Needs

User Group / Facility	Typical Time of Use	Duration of Stay	Parking Characteristics
Playground & park users	Midday, afternoons, weekends	30–90 minutes	High turnover
Menlo-Atherton Cooperative Nursery School	Weekday mornings & afternoons	15–90 minutes	Short stays, drop-off and pick-up
Baseball games	Weekday evenings, weekends, seasonal	2–3 hours	High, concentrated demand at seasonal, scheduled times
Tennis / pickleball	Mornings, afternoons, weekends, year-round	1–2 hours	Moderate turnover; overlapping arrivals

Time-restricted parking

- Time-restricted parking is a parking management tool used to increase turnover
- Implementing time-restricted parking would require enforcement
- Current parking supply and demand patterns indicate parking demand does not exceed available capacity



Image: Parking Capacity on Monday 3/9 at 3 p.m.

Observed Parking Conditions



Saturday 2/28 2 p.m.



Thursday 3/4 4 p.m.

Observed Parking Conditions



Sunday 3/8 11 a.m.



Monday 3/9 7 p.m.



Tuesday 3/10 4 p.m.

Staff Recommendation

- Retain the bike lane along Nealon Park in the roadway right-of-way
- Maintain the existing back-in angled parking configuration
- Do not reduce the overall parking supply
- Do not implement time-restricted parking

Next Steps

- Staff recommends the Complete Streets Commission recommend conclusion of the Nealon Park Parking Pilot Project with the existing back-in angled parking configuration.



STAFF REPORT

City Council

Meeting Date:

4/8/2026

Staff Report Number:

26-005-CSC

Commission Report:

Receive an update and provide feedback on the Draft Environmental Impact Report (EIR) for the 1005 O'Brien Drive and 1320 Willow Road Development Project

Recommendation

Staff recommends that the Complete Streets Commission (Commission) review and discuss the Draft Environmental Impact Report (EIR) for the 1005 O'Brien Drive and 1320 Willow Road Redevelopment Project (Project). This meeting is intended to provide the Commission with an overview of the Draft EIR and Project and to respond to questions and no formal action is required.

Policy Issues

The proposed Project will require the Planning Commission to consider the requested land use entitlements, such as a use permit, architectural control, lot line adjustment/lot merger, below market rate housing in-lieu fee, and heritage tree removals.

The Project is consistent with policies and programs included in the General Plan Circulation Element (e.g., CIRC-1.7, CIRC-2.7, etc.) and the 2020 Transportation Master Plan (TMP).

Background

As part of the FY2025-26 work plan, the Commission expressed a desire to increase its involvement in the review of major development projects. Staff presented options to the City Council to achieve this goal. Following discussion, the City Council directed staff to pilot a review process for two qualifying development projects with the Commission. These pilot projects must not be subject to Senate Bill (SB) 330 (Housing Crisis Act) and must require a TIA and Environmental Impact Report (EIR).

The FY2025-26 work plan was adopted as follows:

- To provide input and recommendations, as it relates to transportation, to the City Council and/or Planning Commission on the City's major land use and development projects that are not subject to SB 330 and for which a TIA and EIR are required.
 - City Staff, Chair and Vice Chair will select two development projects to review as a pilot, to be delivered to the City Council as information items.

The Planning Commission was established pursuant to State law serves as a regulatory body responsible for making decisions on land use matters and providing recommendations to the City Council. As an

advisory body, the Commission was directed to provide feedback on development projects as a part of the pilot. This input will be collected and summarized in a future staff report. Therefore, no formal action is required.

Commissioners who intend to have their individual comments captured and addressed in the EIR should submit those comments during the Draft EIR public comment period by May 18, 2026. Comments submitted during the Draft EIR comment period are not responded to individually but are addressed collectively in the Final EIR.

At the conclusion of the pilot period, staff will report back to the City Council with a summary of the pilot as an information item, including the selected development projects and the process by which the Commission participated.

Project site overview

The proposed Project would be constructed in two phases, include demolition of three existing office and light warehouse storage buildings (a total of approximately 90,631 square feet (SF) of building space, inclusive of surface parking) and the construction of two research and development buildings, a parking garage, and open space/pedestrian area, as shown on the Project Design Plan (Attachment A). Regional access to the proposed Project is provided to the north via State Route 84 (SR-84) – Bayfront Expressway and its interchanges with State Route 114 (SR-114) – Willow Road, and State Route 109 (SR-109) – University Avenue, and to the south via U.S. Route 101 (US-101) and its interchange with SR-114 – Willow Road.

Approximately 59,344 SF of open space would be created within the northern and western portions of the Project site, of which approximately 31,535 SF would be publicly accessible. This open space would include walking/pedestrian pathways, public gathering spaces, a public plaza, active space such as sports courts, public seating areas, bike racks, and a main entry plaza to the 1320 Willow Road Building along Willow Road. The public plaza is envisioned to function as a central gathering space and would consist of a concrete pad with a trellis, backdrop screening, and flexible seating for picnics and similar activities.

Site access and vehicular circulation

The proposed Project site consists of two building lots and a parking garage, accessible through two driveways on O'Brien Drive and one driveway on Willow Road. The 1320 Willow Road building would be accessed from both Willow Road and O'Brien Drive driveways. Internal streets within the 1320 Willow Road parcel would not connect directly to the adjacent 1005 O'Brien Drive parcel, except through the shared parking structure. The 1005 O'Brien Drive building would be accessed from the O'Brien Drive driveways and is connected to neighboring parcels via internal streets to Kelly Court to the south.

Emergency vehicles would have access to the Project site from the Willow Road and O'Brien Drive driveways, as well as through neighboring parcels via Kelly Court. Internal streets providing emergency vehicle access would be 26 feet wide, while other internal streets and driveways would be 20 feet wide.

Pedestrian, bicycle, and transit circulation

Sidewalks are present along the eastern portions of O'Brien Drive and on both north and south sides of Willow Road. However, sidewalk gaps exist on both the eastern and western portions of O'Brien Drive

including a segment directly along the Project boundary and along Adams Drive. The Project includes frontage improvements along O'Brien Drive, consisting of a new sidewalk and landscape planting strip.

The closest designated bicycle facilities are a Class III bike route along O'Brien Drive, located immediately west of the Project site, and a buffered Class II bike lane along Willow Road, immediately north of the project site. At Project build-out, the site would provide approximately 38 enclosed long-term bicycle parking spaces and 20 short-term bicycle parking spaces to support multi-modal travel. This site is also currently served by the City's M4 Willow Road Shuttle, providing connections to nearby destinations and the Menlo Park Caltrain Station.

Transportation Demand Management

As required in the City's Zoning Ordinance for the Life Sciences District projects over 10,000 SF must prepare a Transportation Demand Management (TDM) Plan. The Project developed a TDM Plan that would reduce vehicle trips 36% below the standard generation rates for the proposed uses (Attachment B). The TDM plan is consistent with the City TDM guidelines (Attachment C). The Project will also be required to submit an annual report demonstrating the effectiveness of the TDM measures proposed. In addition, the City/County Association of Governments of San Mateo County (C/CAG) requires that new development that generates more than 100 daily trips implement TDM measures to reduce their vehicle trips by 35%. The Project TDM plan would also comply with the C/CAG requirements.

Analysis

The transportation impacts of the proposed Project were evaluated in the Draft EIR, which assessed potential impacts on vehicle miles traveled (VMT), bicycle and pedestrian facilities, transit facilities, and emergency access. A link to the Draft EIR is included in Attachment D.

Vehicle miles traveled – CEQA transportation analysis

In accordance with the City VMT guidelines, non-residential projects are evaluated based on daily VMT per employee. The regional average is 15.9 VMT per employee, and the City's significance threshold, reflecting a 15% reduction, is 13.6 VMT per employee.

The Project's VMT is estimated at 19.0 VMT per employee, which exceeds the threshold by 28.4%. To reduce this impact to a less-than-significant level under CEQA, the Project must achieve a minimum 28.4% reduction in VMT through a TDM. Additionally, under the City/County Association of Governments (C/CAG) TDM Policy, the Project is required to achieve at least a 35% reduction in VMT. Based on the Project's TDM plan which is expected to achieve 36% trip reduction, the VMT impact is expected to be less than significant.

A full list of proposed TDM measures is provided in Draft EIR Table 4.6-5. The analysis also determined that impacts to geometric design, bicycle and pedestrian facilities, transit, and emergency access would be less than significant.

Level of service or roadway congestion analysis – Non-CEQA transportation analysis

Level of service (LOS) is no longer a CEQA threshold of significance. However, the City's TIA Guidelines (Attachment E) require that the TIA also analyze LOS at key intersections for planning purposes. The LOS

analysis determines whether the Project traffic would cause an intersection LOS to be potentially noncompliant with local policy by degrading the operational level or increasing vehicle delay under near-term plus Project and cumulative plus Project conditions.

The LOS and delay thresholds vary depending on the street classifications as well as whether the intersection is on a State Route or not. The TIA provides a detailed explanation of these thresholds, identifies operational deficiencies and recommends improvement measures to comply with the TIA Guidelines. Where deficiencies are identified, the TIA Guidelines require consideration of improvement measures. The TIA for the Project is provided in Draft EIR Chapter 4.

The TIA evaluated intersection and roadway segment operations within the study area under two primary scenarios to determine potential impacts on local traffic flow:

- **Near-Term (2027) Conditions:** This scenario analyzes anticipated conditions assuming the Project is constructed and fully occupied, comparing operations both with and without the addition of Project-generated traffic.
- **Cumulative (2040) Conditions:** This long-term analysis assumes the full buildout of the City’s General Plan, the complete operation of the proposed Project, and the buildout of all other approved and pending projects within the cities of Menlo Park, East Palo Alto, and Palo Alto.

Table 1 summarizes the intersection LOS for near-term and cumulative conditions identifying locations that are non-compliant with local policies.

Table 1: Intersection LOS Non-Compliant with Local Policies			
No.	Intersection	Near-term (2027) plus Project	Cumulative (2040) plus Project
1	Willow Road/Bayfront Expressway	LOS E in AM peak	LOS F in AM/PM peak
2	Willow Road/Hamilton Avenue	LOS F in AM peak	LOS F in AM peak
3	Willow Road/Ivy Drive	LOS F in PM peak	LOS E in PM peak
4	Willow Road/O’Brien Drive	LOS F in AM/PM peak	LOS E in AM peak LOS F in PM peak
5	Willow Road/Newbridge Street	LOS F in AM/PM peak	LOS F in AM/PM peak
6	Willow Road/US 101 NB Off-Ramps		
7	Willow Road/US 101 SB Off-Ramps		LOS F in AM peak
8	O’Brien Drive/Kavanaugh Drive	LOS F in AM peak	LOS F in AM/PM peak
9	University Avenue/Bayfront Expressway	LOS E in PM peak	LOS F in PM peak
10	University Avenue/Adams Drive		
11	University Avenue/O’Brien Drive		LOS F in AM peak
12	University Avenue/Kavanaugh Drive		

Recommended Improvement Measures

The analysis identified 11 measures to improve intersection operations to pre-project conditions or better for both the near-term and cumulative conditions to ensure consistency with the City's General Plan and TIA Guidelines. However, 10 of these measures are considered infeasible due to right-of-way constraints and potential impacts to pedestrian and bicycle travel.

The only feasible improvement involves the intersection of Willow Road and Ivy Drive, where the project would install a right-turn overlap on southbound Ivy Drive and restrict eastbound Willow Road U-turns, consistent with the City's Transportation Management Plan (TMP).

Additionally, the project is required to pay a Transportation Impact Fee (TIF) which could be used to support nearby corridor and intersection improvements identified in the TMP. The estimated TIF for the proposed project is approximately 1.2 million dollars.

Next Steps

The Planning Commission will hold a public hearing to discuss the Draft EIR on May 4, 2026. Comments may be submitted via email (CRTurner@menlopark.gov), letter (Chris Turner, Community Development Department, 701 Laurel Street, Menlo Park CA 94025), or fax (650-327-1653). All written comments must be submitted to the Community Development Department no later than 5:30 p.m., Monday, May 18, 2026.

This staff report is provided within the 45-day Draft EIR review period and provides an overview of the Project and the Draft EIR. As this presentation is informational in nature and comments will not be recorded or responded to in the Final EIR, Commissioners and members of the public are welcome to submit comments through individual correspondence methods listed above. Comments may also be provided at the Planning Commission Draft EIR public hearing.

Upon completion of the review of the two qualifying development projects, findings regarding the pilot process will be delivered to the City Council.

Impact on City Resources

The project sponsor is required to pay for staff time, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project. The project sponsor is also required to fully cover the cost of work by consultants performing environmental review and additional analyses to evaluate potential impacts of the Project.

Environmental Review

A Draft EIR has been prepared for the Project. Following the close of the public comment period, staff and its consultant will compile the responses to comments document, and will consider and respond to all substantive comments received on the Draft EIR. Repeat comments may be addressed in Master Responses, and portions of the EIR may be revised in strikethrough (deleted text) and underline (new text) format. Once the responses and revisions are complete, the Final EIR will be released, consisting of the Responses to Comments plus the Draft EIR. The Final EIR will be considered for certification, in compliance with CEQA, by the Planning Commission concurrent with the final Project actions.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Project Design Plan
- B. Hyperlink to Project TDM Plan: menlopark.gov/files/sharedassets/public/v/1/community-development/documents/projects/under-review/1005-o%E2%80%99brien-drive-and-1320-willow-road/deir/appendices-g-through-m.pdf#page=983
- C. Hyperlink to TDM Guidelines: menlopark.gov/files/sharedassets/public/v/1/public-works/documents/transportation/menlo-park-transportation-demand-management-program-guidelines.pdf
- D. Hyperlink to Draft EIR - menlopark.gov/files/sharedassets/public/v/1/community-development/documents/projects/under-review/1005-o%E2%80%99brien-drive-and-1320-willow-road/deir/1005-obrien-drive-1320-willow-road-life-sciences-research-and-development-project-draft-eir.pdf
- E. Hyperlink to TIA Guidelines: menlopark.gov/files/sharedassets/public/v/2/public-works/documents/transportation/transportation-projects/tia-guidelines-modifications-approved.pdf

Report prepared by:

Phong Vo, Associate Transportation Engineer

Report reviewed by:

Kristiann Choy, Senior Transportation Engineer

Joanna Chan, Transportation Manager



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
 06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3
 02-17-2023 C.U.P. RESPONSE 4
 07-12-2023 C.U.P. RESPONSE 5

COVER SHEET



985 & 1001 O'BRIEN DRIVE 1320 WILLOW ROAD MENLO PARK, CA 94025

PROJECT DATA

BASE FLOOD ELEVATION: 12.8 FT

MUNICIPAL CODE:

CBC 2022
 BUILDING OCCUPANCY: BUSINESS (B)
 TYPE OF CONSTRUCTION: I-B
 FIRE PROTECTION: FULLY SPRINKLERED
 ALLOWABLE AREA: UNLIMITED
 ALLOWABLE HEIGHT: 180 FT; 12 STORIES

ZONING REQUIREMENTS:

LEGAL JURISDICTION: MENLO PARK, CA
 ZONING DESIGNATION: LS-B
 MAXIMUM HEIGHT: 110 FT + 10 FT FLOOD ZONE
 FAR MAX (1.25): 229,520 SF
 COMMERCIAL FAR MAX (0.1): 18,361 SF

PARKING STANDARDS

R&D: 1.5 - 2.5 SPACES / 1000 SF

EV STALLS

10% OF TOTAL + 5% EV READY

BICYCLE: 1 PER 5,000 SF
 SHORT TERM: 20% & LONG TERM: 80%

REQUIRED:
 SHORT TERM: 9
 LONG TERM: 38
 TOTAL: 47

"FLOOD ZONE NOTE: PROJECT TO BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.

PROJECT SITE AREA: 183,616 SF

PHASE 1:

SITE: 123,738 SF
 (N) 1005 O'BRIEN DR: 154,581 SF (1.25 FAR)

PHASE 2:

SITE: 59,878 SF
 (N) 1320 WILLOW RD: 73,817 SF (1.23 FAR)

SUMMARY:

R&D AREA: 228,398 SF (1.24 FAR)

BUILDING HEIGHTS:

LEVEL 1 ELEVATION: 14.8 FT (2FT ABOVE BFE)
1005 O'BRIEN DR
 SEE SHEETS A9.5 & A10.1 - A10.3
1320 WILLOW RD
 SEE SHEETS A11.5 & - A12.1 - A12.3

PARKING:

CAR: SEE SHEET A13.1 FOR COUNT
 SEE SHEET A6.1, A6.2 & A13.2 - A13.3 FOR LAYOUT
 BICYCLE: SEE SHEET 13.4

SHOWERS

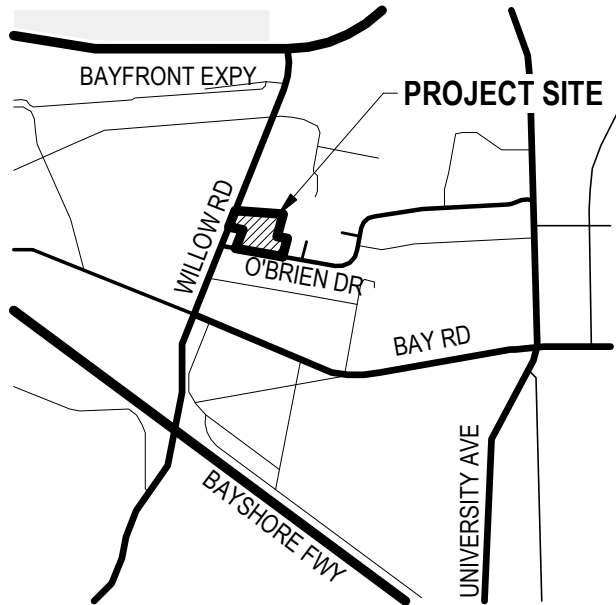
1005 O'BRIEN DR: 6 (PHASE 1)
 1320 WILLOW RD: 2 (PHASE 2)
TOTAL: 8

PROJECT TEAM

BUILDING OWNER:
 O'BRIEN DRIVE PORTFOLIO
 c/o TARLTON PROPERTIES
 1530 O'BRIEN DRIVE, SUITE C
 MENLO PARK, CA 94025
 PHONE: 650.330.3600
 CONTACT: RON KRIETEMEYER

ARCHITECT:
 DES ARCHITECTS + ENGINEERS
 399 BRADFORD STREET
 REDWOOD CITY, CA 94063
 PHONE: 650.364.6453
 CONTACT: TOM HYDE

PROJECT LOCATION



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

- 04-15-2021 D.R.T. REVIEW
- 06-23-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5

PROJECT DATA



SHEET LIST

Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
G0	COVER SHEET	A9.4	1005 O'BRIEN LEVEL 3-5	A12.6	1320 WILLOW 3D MASSING
G1A	PROJECT DATA	A9.5	1005 O'BRIEN ROOF DECK	A12.7	1320 WILLOW 3D VIEW OPEN SPACE
G1B	SHEET INDEX	A9.6	1005 O'BRIEN ROOF PLAN	A12.8	1320 WILLOW 3D MASSING
G1C	SHEET INDEX	A10	1005 BUILDING MATERIAL BOARD	A12.9	GARAGE MATERIAL BOARD
G2.1A	1005 OBD - LEED SCORECARD	A10.1	1005 O'BRIEN BUILDING ELEVATIONS	A13.0	GARAGE ELEVATIONS
G2.1B	1005 OBD - LEED BOUNDARY SITE PLAN	A10.2	1005 O'BRIEN BUILDING ELEVATIONS	A13.1	PARKING COUNT & GARAGE SECTION
G2.2A	1302 WILLOW - LEED SCORECARD	A10.3A	1005 O'BRIEN CROSS SECTION & STREETScape - PHASE 1	A13.2	GARAGE PLANS PHASE 1
G2.2B	1320 WILLOW - LEED BOUNDARY SITE PLAN	A10.3B	1320 WILLOW CROSS SECTION & STREETScape - PHASE 1	A13.3	GARAGE PLANS PHASE 2
A1	EXISTING SITE CONDITIONS - AERIAL PLAN	A10.3C	LINE OF SIGHT STUDY	A13.4	LONG TERM BIKE STORAGE
A2	EXISTING SITE CONDITIONS - SITE PHOTOS	A10.4	1005 O'BRIEN 3D MASSING	A13.5	GARAGE 3D MASSING - PHASE 1
A3.1	EXISTING SITE PLAN	A10.5	1005 O'BRIEN 3D MASSING	A13.6	GARAGE 3D MASSING - PHASE 2
A3.2	PHASING PLAN - PHASE 1	A10.6	1005 O'BRIEN 3D MASSING	A13.7	GARAGE 3D MASSING - PHASE 2
A3.3	PHASING PLAN - PHASE 2	A10.7	1005 O'BRIEN 3D MASSING	A14	TRASH ENCLOSURE - 1005 O'BRIEN & 1320 WILLOW
A4.1	985 OBD EXISTING GROSS AREA	A10.8	1005 O'BRIEN 3D MASSING	L1.1	EXISTING TREE PLAN
A4.2	1001 OBD EXISTING GROSS AREA	A10.20	SPORTS COURT 3D MASSING	L1.2	EXISTING TREE DISPOSITION TABLE
A4.3	1320 WILLOW EXISTING GROSS AREA	A10.21	SPORTS COURT 3D MASSING	L2.1A	PHASE 1 PROPOSED LANDSCAPE PLAN
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A5.3	1320 WILLOW RD TOPOGRAPHIC SURVEY	A11.1A	1320 WILLOW GROSS FLOOR AREA DIAGRAMS	L2.1D	PROPOSED AMENITY PLAN AT PUBLIC SPACE
A6.1	PHASE 1 PROPOSED SITE PLAN	A11.1B	1320 WILLOW GROSS FLOOR AREA DIAGRAMS	L2.2A	PHASE 1 ENLARGED ROOF DECK PLAN
A6.2	PHASE 2 PROPOSED SITE PLAN	A11.2	1320 WILLOW LEVEL 1	L2.2B	PHASE 2 ENLARGED ROOF DECK PLAN
A7	NEIGHBORHOOD OPEN SPACE	A11.3	1320 WILLOW LEVEL 2	L2.3A	PHASE 1 PROPOSED PLANTING PLAN
A7.1	PHASE 1 OPEN SPACE DIAGRAM	A11.4	1320 WILLOW LEVEL 3	L2.3B	PHASE 2 PROPOSED PLANTING PLAN
A7.2	PHASE 2 OPEN SPACE DIAGRAM	A11.5	1320 WILLOW LEVEL 4 /ROOF DECK	L3	PROPOSED LANDSCAPE IMAGERY
A7.3	PHASE 1 & 2 FRONTAGE DIAGRAM	A11.6	1320 WILLOW ROOF	L4	PROPOSED PUBLIC AMENITY IMAGERY
A7.4	OVERALL SITE LANDSCAPE AREA CALCS	A11.7	PHASE 2 HEIGHT CALCULATION	C1.1	FIRE TRUCK TURNING AND HYDRANT EXHIBIT
A8	SITE SERVICE / EMERGENCY PLAN	A12	1320 BUILDING MATERIAL BOARD	C1.2	RECOLOGY TRUCK TURNING EXHIBIT
A9	1005 O'BRIEN BLDG. MODULATION	A12.1	1320 WILLOW BUILDING ELEVATIONS	C1.3	DELIVERY TRUCK EXHIBIT
A9.1A	1005 O'BRIEN GROSS FLOOR AREA DIAGRAMS	A12.2	1320 WILLOW BUILDING ELEVATIONS	C2.1	PHASE 1 PRELIMINARY GRADING PLAN
A9.1B	1005 O'BRIEN GROSS FLOOR AREA DIAGRAMS	A12.3A	1320 WILLOW CROSS SECTION & STREETScape - PHASE 2	C2.2	PHASE 2 PRELIMINARY GRADING PLAN
A9.2	1005 O'BRIEN LEVEL 1	A12.3B	1005 O'BRIEN CROSS SECTION & STREETScape - PHASE 2	C3.1A	PHASE 1 PRELIMINARY STORMWATER MANAGEMENT PLAN
A9.3	1005 O'BRIEN LEVEL 2	A12.4	1320 WILLOW 3D MASSING		
		A12.5	1320 WILLOW 3D MASSING		

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985 & 1001 O'BRIEN DR
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SHEET LIST

Sheet Number	Sheet Name
C3.1B	PHASE 1 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA
C3.1C	PHASE 1 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA
C3.2A	PHASE 2 PRELIMINARY STORMWATER MANAGEMENT PLAN
C3.2B	PHASE 2 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA
C3.2C	PHASE 2 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA
C4.1	PHASE 1 PRELIMINARY UTILITY PLAN
C4.2	PHASE 2 PRELIMINARY UTILITY PLAN
C6.1	PHASE 1 GRADING SECTIONS
C6.2	PHASE 2 GRADING SECTIONS
LP.1	PHASE 1 PHOTOMETRY PLAN
LP.2	PHASE 2 PHOTOMETRY PLAN

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SHEET INDEX





LEED v4 for BD+C: Core and Shell
Project Checklist

Project Name: 1005 O'Brien Drive
Date: 10/28/22

Y ? N
1 0 0

Credit Integrative Process 1

7 3 10 Location and Transportation 20

7	3	10	Credit	LEED for Neighborhood Development Location	20
2			Credit	Sensitive Land Protection	2
	3		Credit	High Priority Site	3
2		4	Credit	Surrounding Density and Diverse Uses	6
		6	Credit	Access to Quality Transit	6
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

5 2 4 Sustainable Sites 11

Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
	2		Credit	Site Development - Protect or Restore Habitat	2
1			Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
1			Credit	Tenant Design and Construction Guidelines	1

8 2 1 Water Efficiency 11

Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1	1		Credit	Outdoor Water Use Reduction	2
4	1	1	Credit	Indoor Water Use Reduction	6
2			Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

22 11 Energy and Atmosphere 33

Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
3	3		Credit	Enhanced Commissioning	6
11	7		Credit	Optimize Energy Performance	18
1			Credit	Advanced Energy Metering	1
1	1		Credit	Demand Response	2
3			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
2			Credit	Green Power and Carbon Offsets	2

5 9 Materials and Resources 14

Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
	6		Credit	Building Life-Cycle Impact Reduction	6
1	1		Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
1	1		Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
1	1		Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

8 2 Indoor Environmental Quality 10

Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
3			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
1	2		Credit	Daylight	3
1			Credit	Quality Views	1

6 Innovation 6

1			Credit	Green Cleaning / IPM	1
1			Credit	Green Building Education	1
1			Credit	Active Tenant or EP Renewable Energy	1
1			Credit	Pilot: MRpc87 verified C&D Recycling Rate	1
1			Credit	EP: HPD, LEM, EPD or Enhance IAQ	1
1			Credit	LEED Accredited Professional	1

3 1 Regional Priority 4

		1	Credit	RP: Access to quality transit (5)	1
1			Credit	RP: Optimize Energy Performance (10)	1
1			Credit	RP: Indoor Water Use Reduction (4)	1
1			Credit	Regional Priority: BPDO-Raw Materials	1

65 29 16 TOTALS Possible Points: **110**

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

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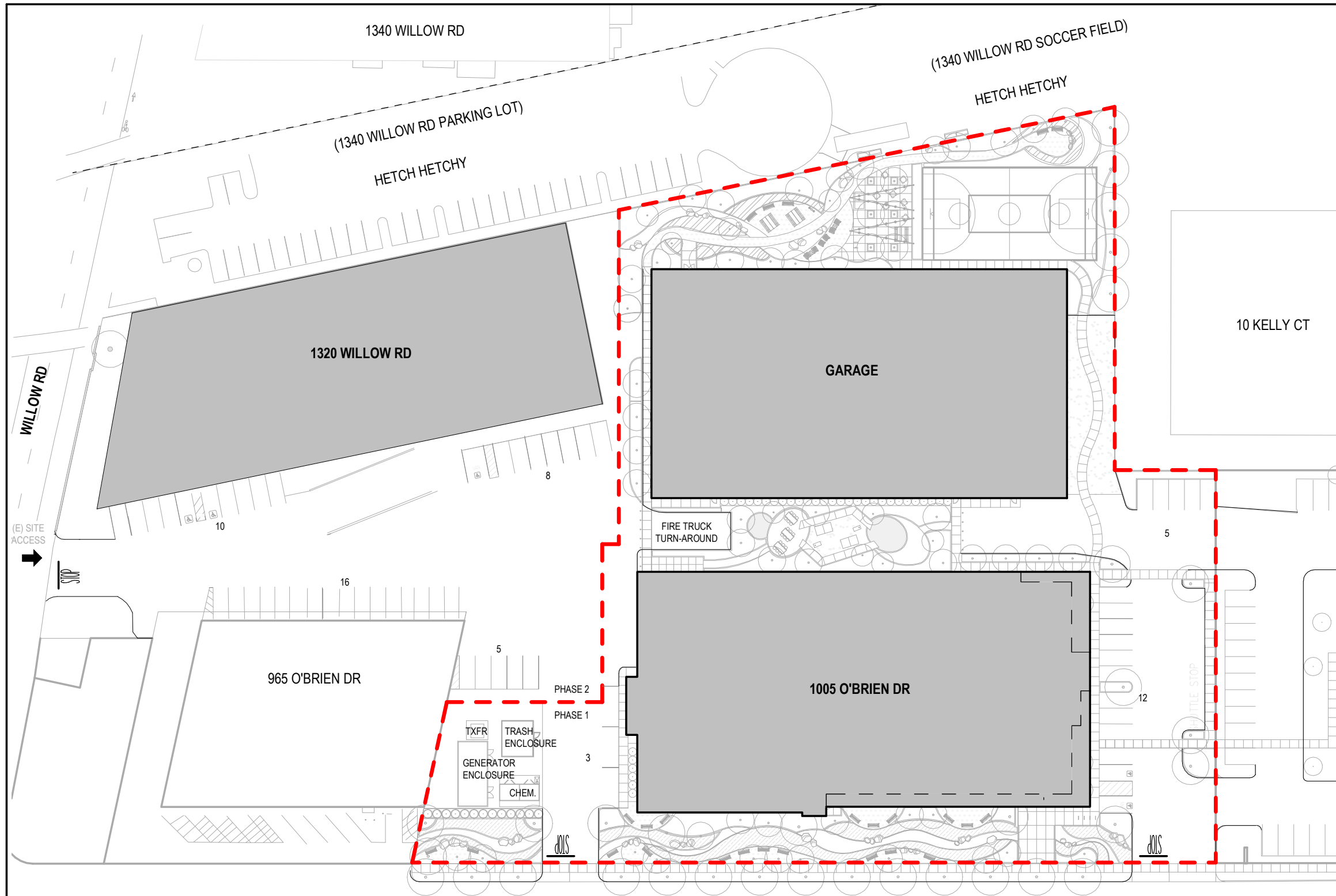
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

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1005 OBD - LEED SCORECARD



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LEGEND

--- LEED BOUNDARY LINE



985 & 1001 O'BRIEN DR
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1005 OBD - LEED BOUNDARY SITE PLAN

G2.1B

PAGE E-2.12



LEED v4 for BD+C: Core and Shell
Project Checklist

Project Name: 1320 Willow Road
Date: 10/28/22

Y ? N
1 0 0

Credit Integrative Process 1

7 3 10 Location and Transportation 20

7	3	10	Credit	LEED for Neighborhood Development Location	20
2			Credit	Sensitive Land Protection	2
	3		Credit	High Priority Site	3
2		4	Credit	Surrounding Density and Diverse Uses	6
		6	Credit	Access to Quality Transit	6
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

5 2 4 Sustainable Sites 11

Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
	2		Credit	Site Development - Protect or Restore Habitat	2
1			Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
1			Credit	Tenant Design and Construction Guidelines	1

6 2 3 Water Efficiency 11

Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1	1		Credit	Outdoor Water Use Reduction	2
4	1	1	Credit	Indoor Water Use Reduction	6
		2	Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

20 13 Energy and Atmosphere 33

Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
3	3		Credit	Enhanced Commissioning	6
9	9		Credit	Optimize Energy Performance	18
1			Credit	Advanced Energy Metering	1
1	1		Credit	Demand Response	2
3			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
2			Credit	Green Power and Carbon Offsets	2

2 12 Materials and Resources 14

Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
	6		Credit	Building Life-Cycle Impact Reduction	6
	2		Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
	2		Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
	2		Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

6 4 Indoor Environmental Quality 10

Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
1	2		Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
1	2		Credit	Daylight	3
1			Credit	Quality Views	1

6 Innovation 6

1			Credit	Green Cleaning / IPM	1
1			Credit	Green Building Education	1
1			Credit	Active Tenant or EP Renewable Energy	1
1			Credit	Pilot: MRpc87 verified C&D Recycling Rate	1
1			Credit	EP: HPD, LEM, EPD or Enhance IAQ	1
1			Credit	LEED Accredited Professional	1

2 1 1 Regional Priority 4

		1	Credit	RP: Access to quality transit (5)	1
	1		Credit	RP: Optimize Energy Performance (10)	1
1			Credit	RP: Indoor Water Use Reduction (4)	1
1			Credit	Regional Priority: BPDO-Raw Materials	1

55 37 18 TOTALS Possible Points: **110**

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

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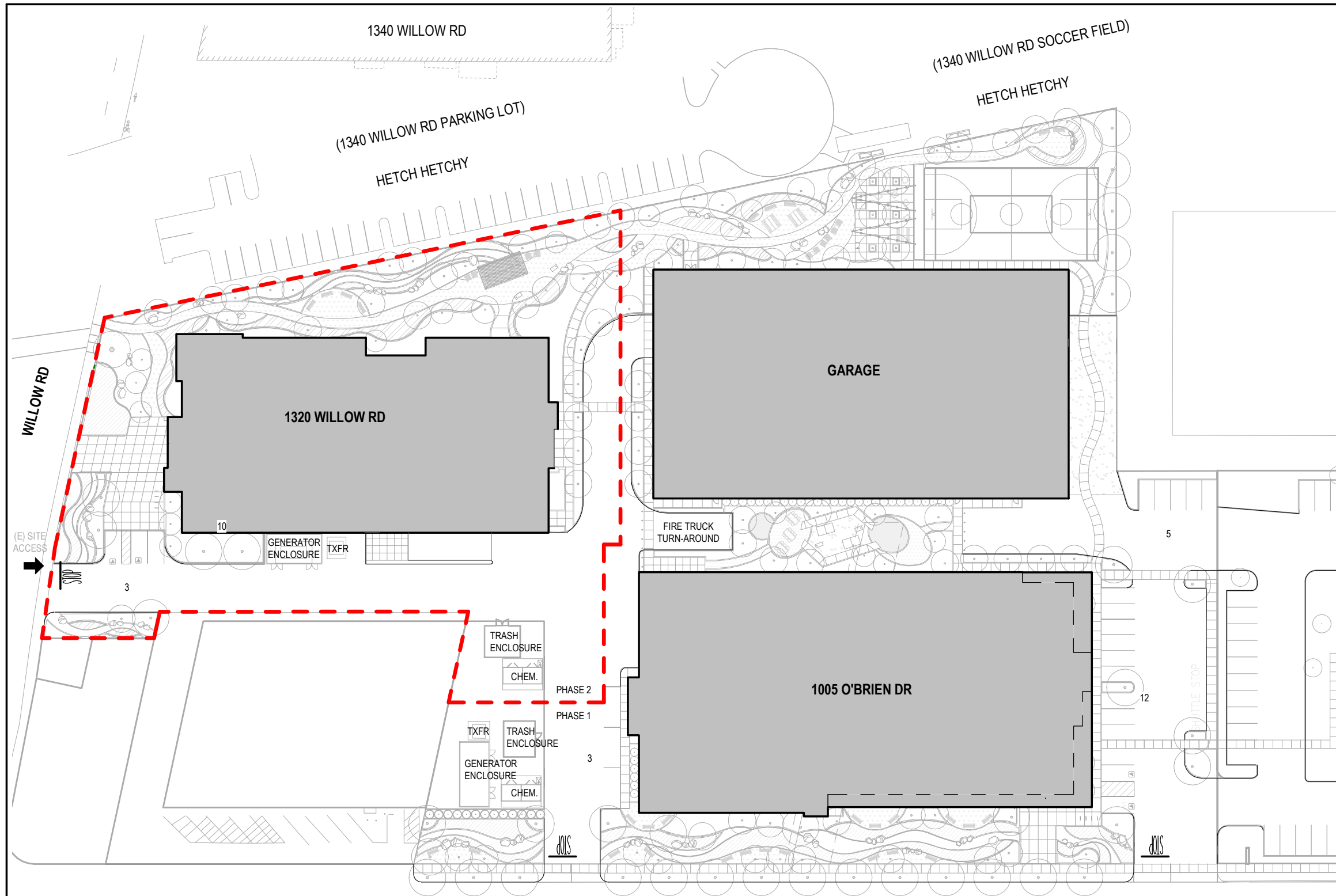
985 & 1001 O'BRIEN DR
1320 WILLOW RD
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1302 WILLOW - LEED SCORECARD



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LEGEND

--- LEED BOUNDARY LINE

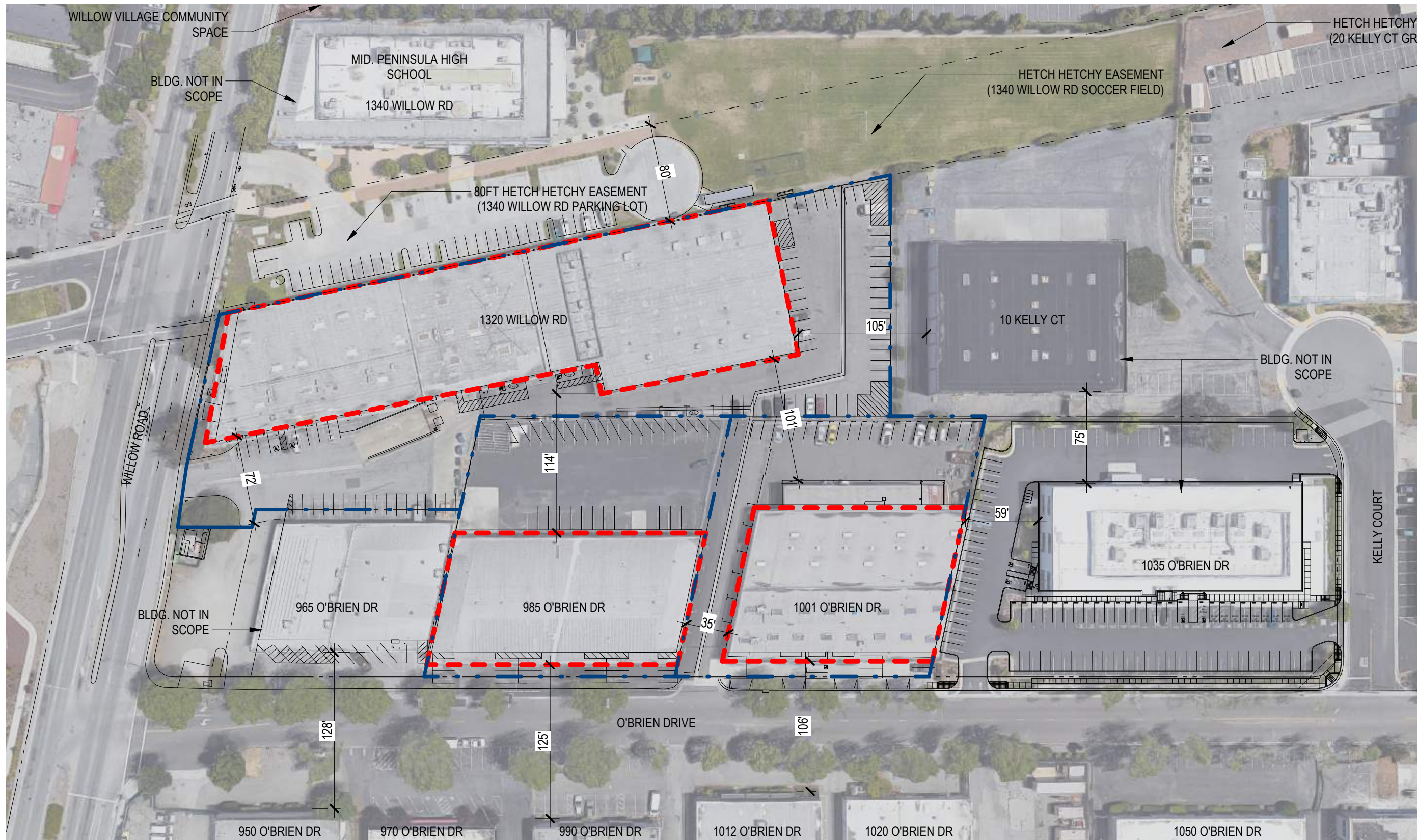


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1320 WILLOW - LEED BOUNDARY
 SITE PLAN

G2.2B
 DES ARCHITECTS ENGINEERS
 PAGE E-2.14



WILLOW VILLAGE COMMUNITY SPACE

BLDG. NOT IN SCOPE

MID. PENINSULA HIGH SCHOOL

1340 WILLOW RD

80FT HETCH HETCHY EASEMENT (1340 WILLOW RD PARKING LOT)

HETCH HETCHY EASEMENT (1340 WILLOW RD SOCCER FIELD)

HETCH HETCHY EASEMENT (20 KELLY CT GREENSPACE)

1320 WILLOW RD

10 KELLY CT

BLDG. NOT IN SCOPE

WILLOW ROAD

72'

114'

101'

75'

BLDG. NOT IN SCOPE

965 O'BRIEN DR

985 O'BRIEN DR

1001 O'BRIEN DR

59'

1035 O'BRIEN DR

KELLY COURT

128'

O'BRIEN DRIVE

106'

950 O'BRIEN DR

970 O'BRIEN DR

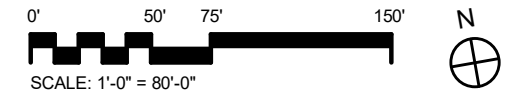
990 O'BRIEN DR

1012 O'BRIEN DR

1020 O'BRIEN DR

1050 O'BRIEN DR

- - - PROPERTY LINES
- - - PROPOSED BUILDINGS TO BE DEMOLISHED



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- 04-15-2021 D.R.T. REVIEW
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- 07-12-2023 C.U.P. RESPONSE 5

EXISTING SITE CONDITIONS -
 AERIAL PLAN





1A 1320 WILLOW RD - NW ELEVATION



1B 1320 WILLOW RD - SW ELEVATION



2A 1001 O'BRIEN DR - SW ELEVATION



2B 1001 O'BRIEN DR - S ELEVATION



2C 1001 O'BRIEN DR - SE ELEVATION



3A 985 O'BRIEN DR - S ELEVATION



3B 985 O'BRIEN DR - SE ELEVATION



4 10 KELLY CT - E ELEVATION



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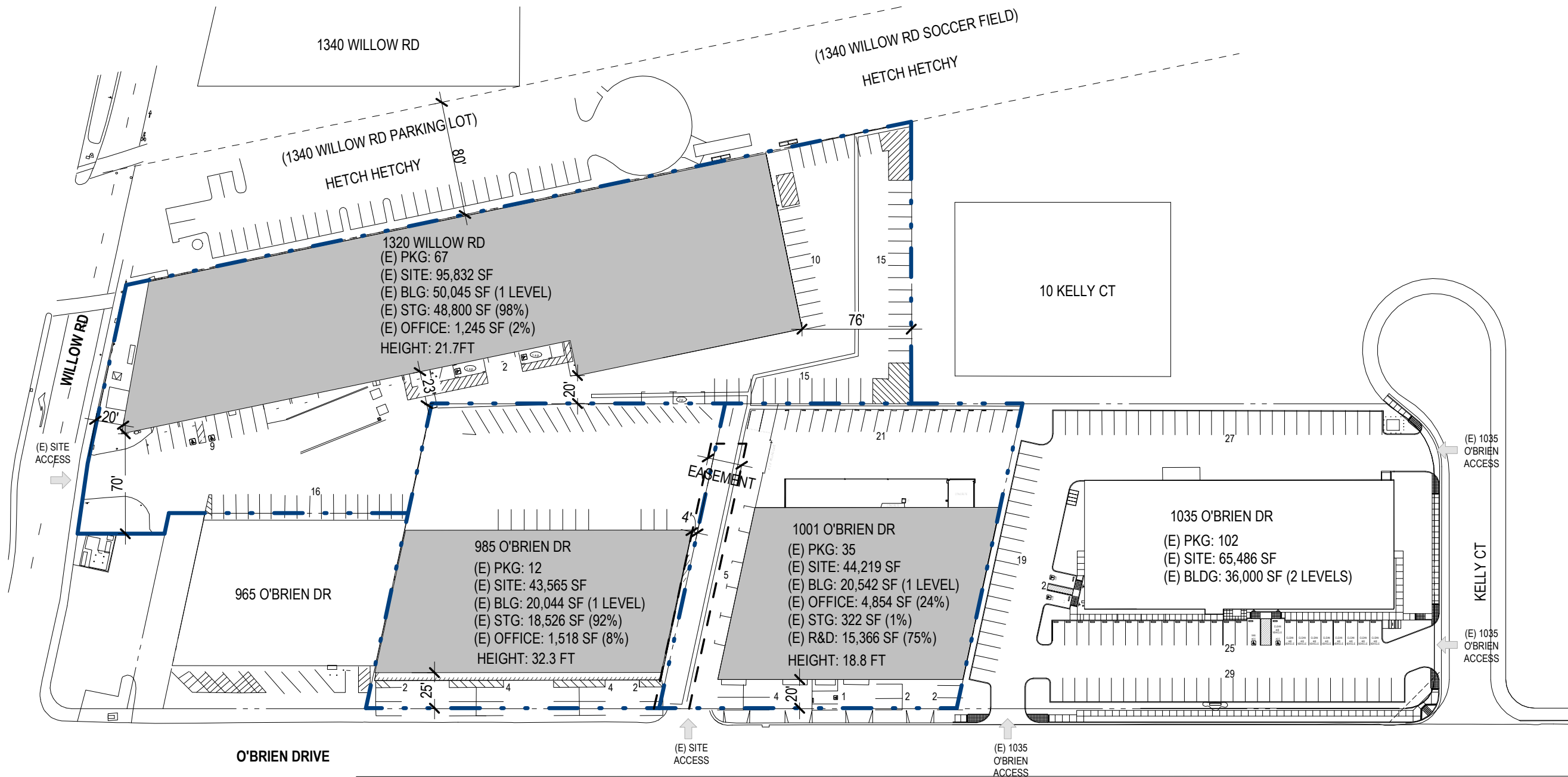


985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

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EXISTING SITE CONDITIONS - SITE
PHOTOS





1 EXISTING SITE PLAN
 1" = 80'-0"

- EXISTING PROPERTY LINES
- 20.42' INGRESS EGRESS EASEMENT & NON-EXCLUSIVE DRAINAGE FOR RAIN WATER (TO BE REMOVED)



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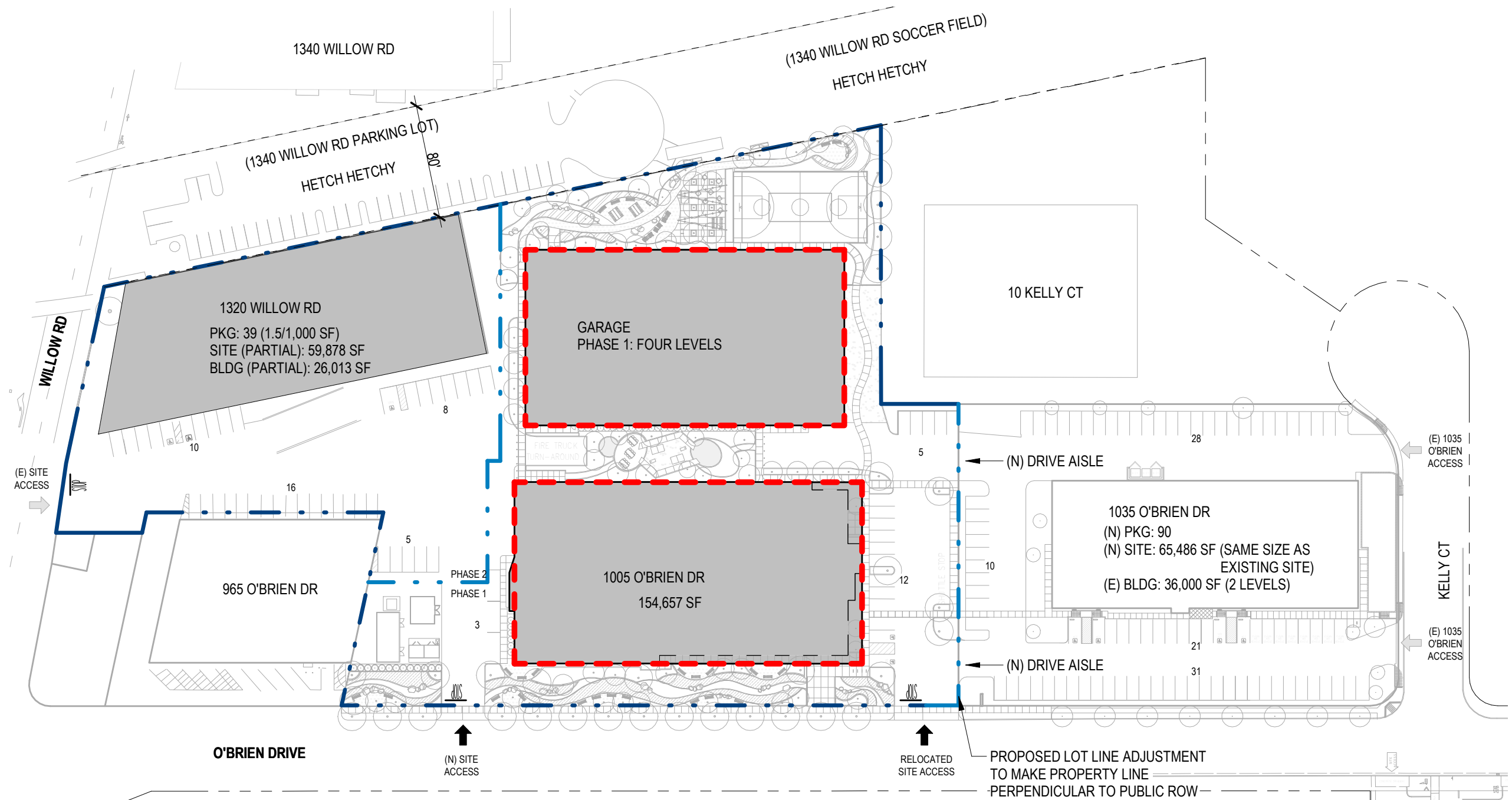
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 06-22-2022 C.U.P. RESPONSE 2
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EXISTING SITE PLAN

A3.1

DES ARCHITECTS ENGINEERS

PAGE E-2.17



1 PHASE 1
1" = 80'-0"

PHASE 1 SITE: 123,738 SF

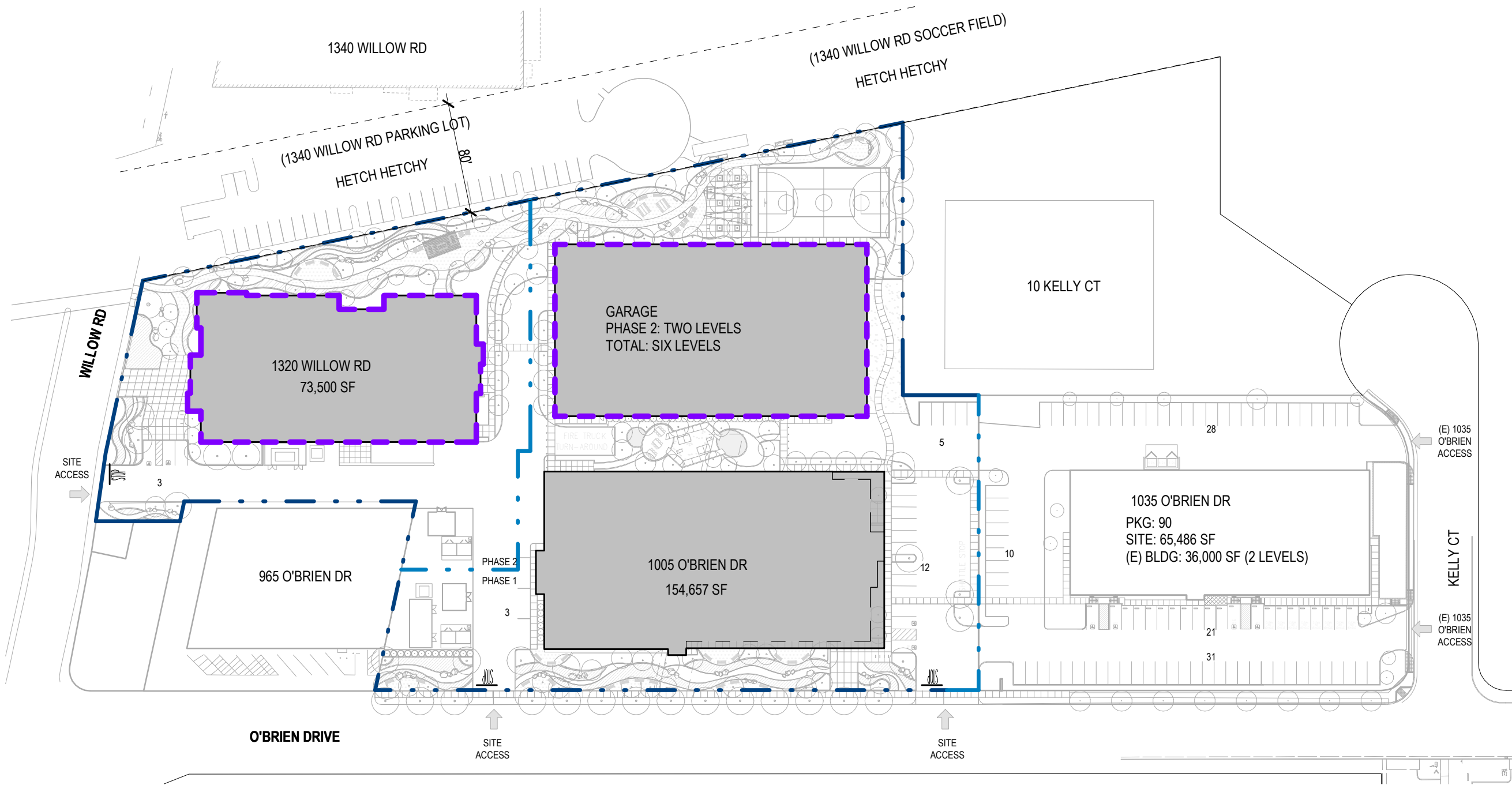
- · — · — · — EXISTING PROPERTY LINES
- · — · — · — LOT LINE ADJUSTMENT DURING PHASE 1
- - - - - PHASE 1 BUILDINGS



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02-17-2023	C.U.P. RESPONSE 4
07-12-2023	C.U.P. RESPONSE 5

PHASING PLAN - PHASE 1



1 PHASE 2
1" = 80'-0"

PHASE 2 SITE: 59,878 SF

- · — · — · — · — · — · — · — · — EXISTING PROPERTY LINES
- · — · — · — · — · — · — · — · — LOT LINE ADJUSTMENT DURING PHASE 1
- - - - - PHASE 2 BUILDINGS

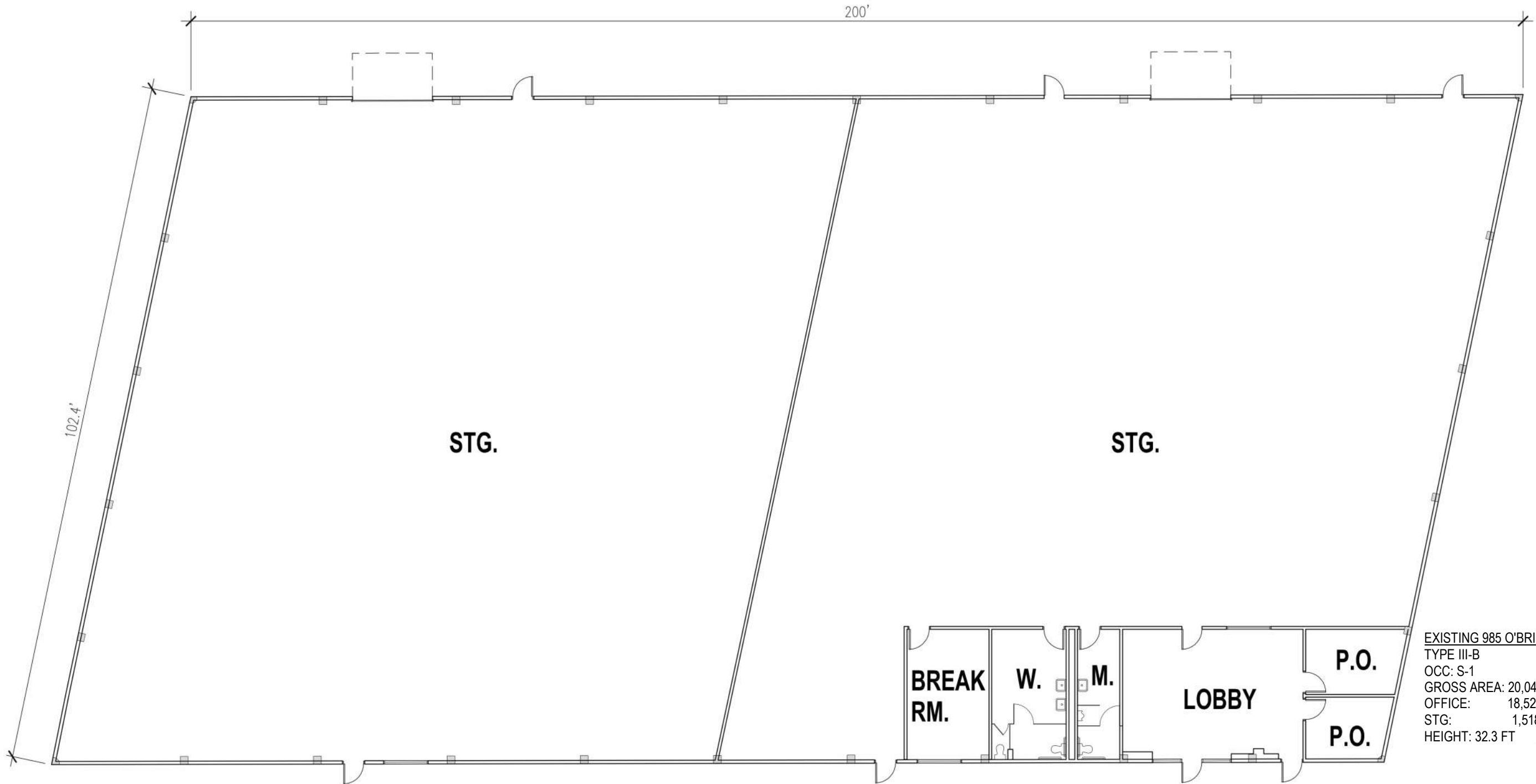


985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

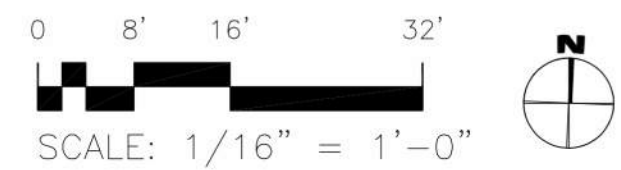
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PHASING PLAN - PHASE 2

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EXISTING 985 O'BRIEN DR
 TYPE III-B
 OCC: S-1
 GROSS AREA: 20,044 SF (1 STORY)
 OFFICE: 18,526 SF (92%)
 STG: 1,518 SF (8%)
 HEIGHT: 32.3 FT



BLDG TO BE DEMOLISHED

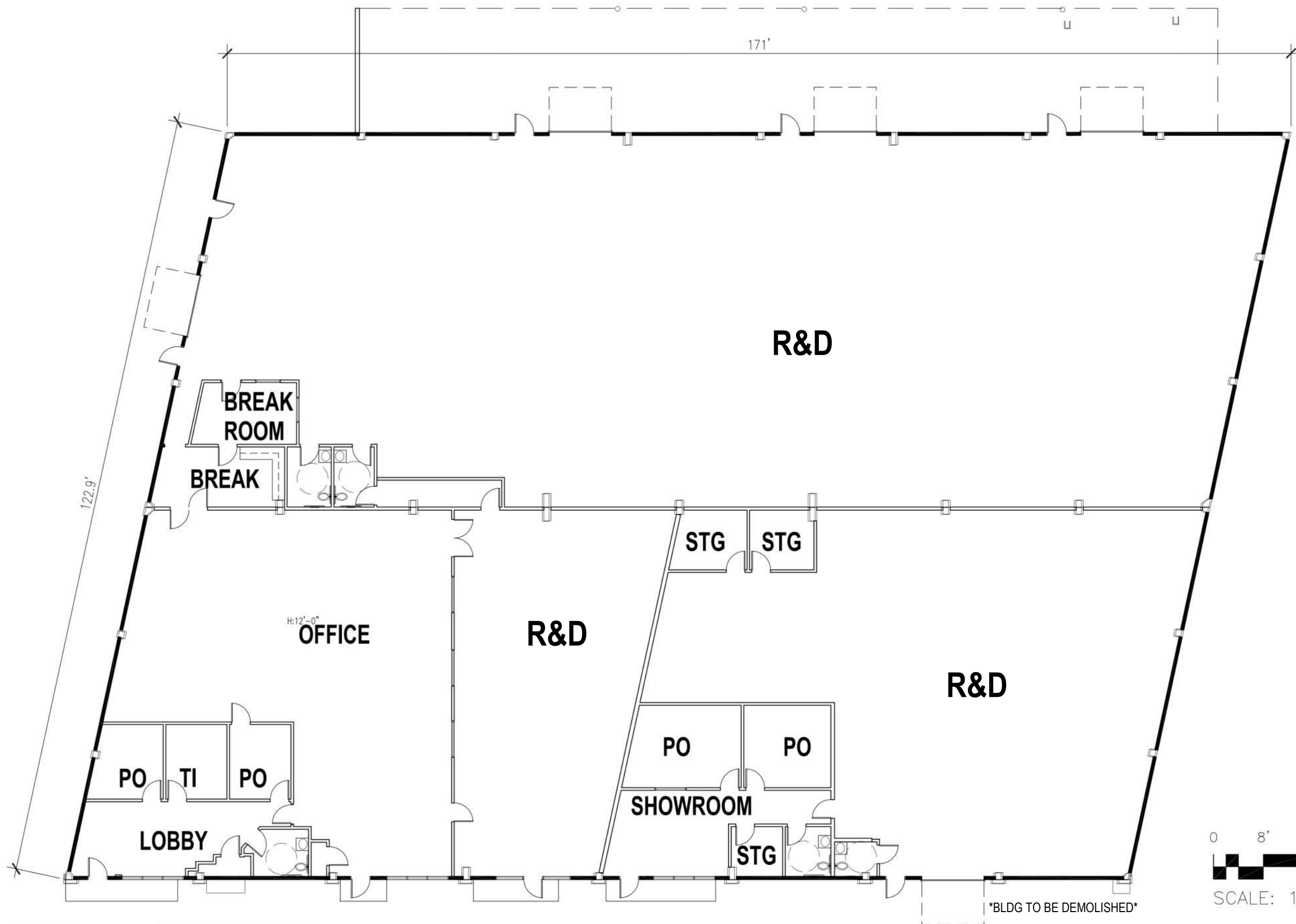


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

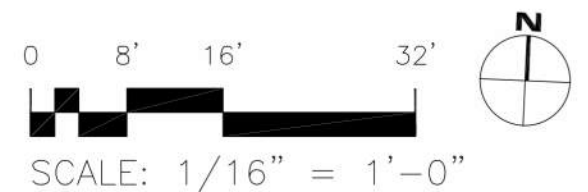
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985 OBD EXISTING GROSS AREA

A4.1 
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EXISTING 1001 O'BRIEN DR
 TYPE III-B
 OCC: S-1/B
 GROSS AREA: 20,542 SF (1 STORY)
 OFFICE: 4,854 SF (24%)
 STG: 322 SF (1%)
 R&D: 15,366 SF (75%)
 HEIGHT: 18.8 FT



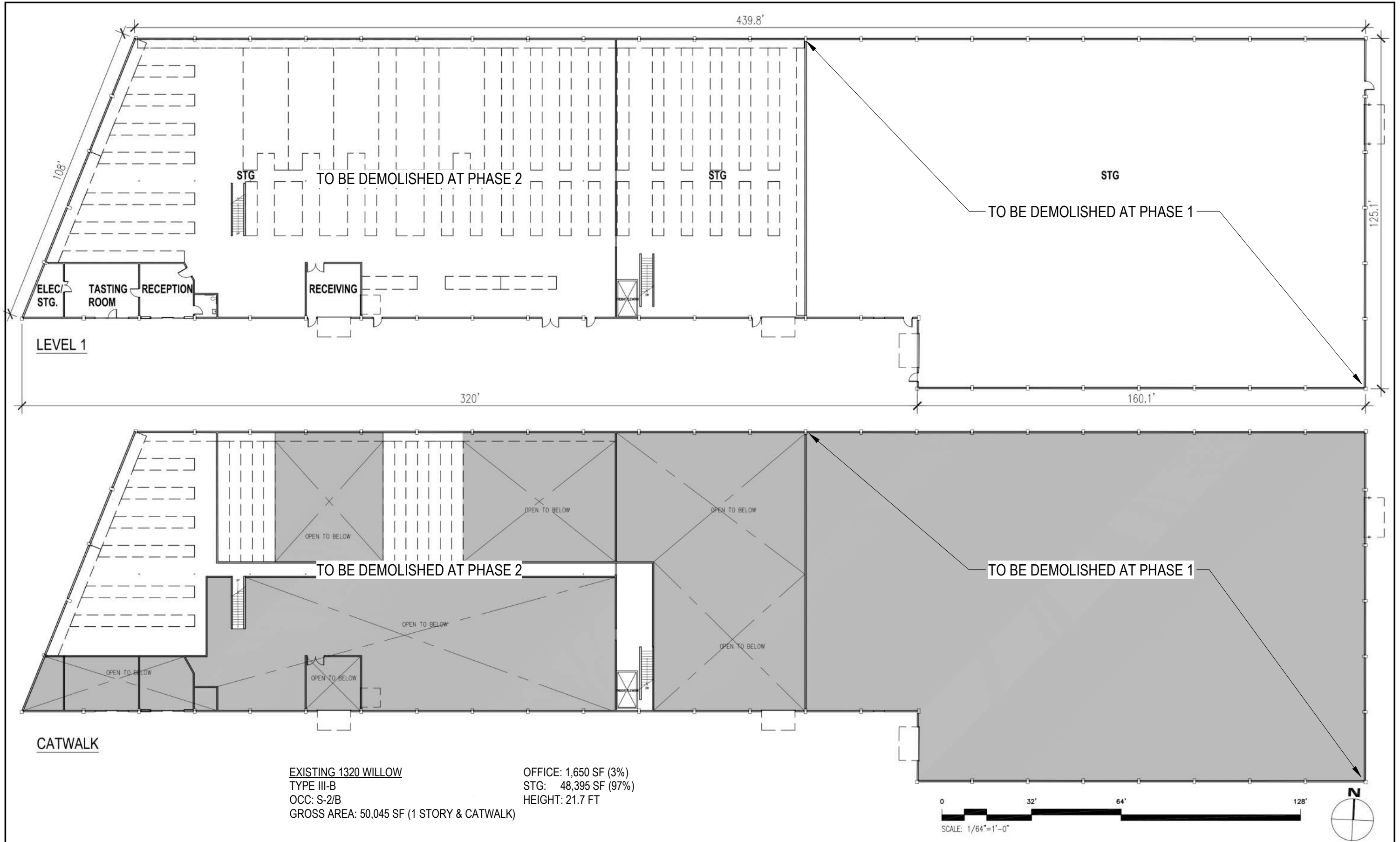
985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

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1001 OBD EXISTING GROSS AREA

A4.2 DES
 ARCHITECTS
 ENGINEERS
 PAGE E-221

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



EXISTING 1320 WILLOW
 TYPE III-B
 OCC: S-2/B
 GROSS AREA: 50,045 SF (1 STORY & CATWALK)

OFFICE: 1,650 SF (3%)
 STG: 48,395 SF (97%)
 HEIGHT: 21.7 FT

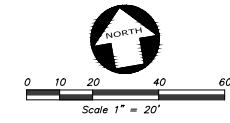


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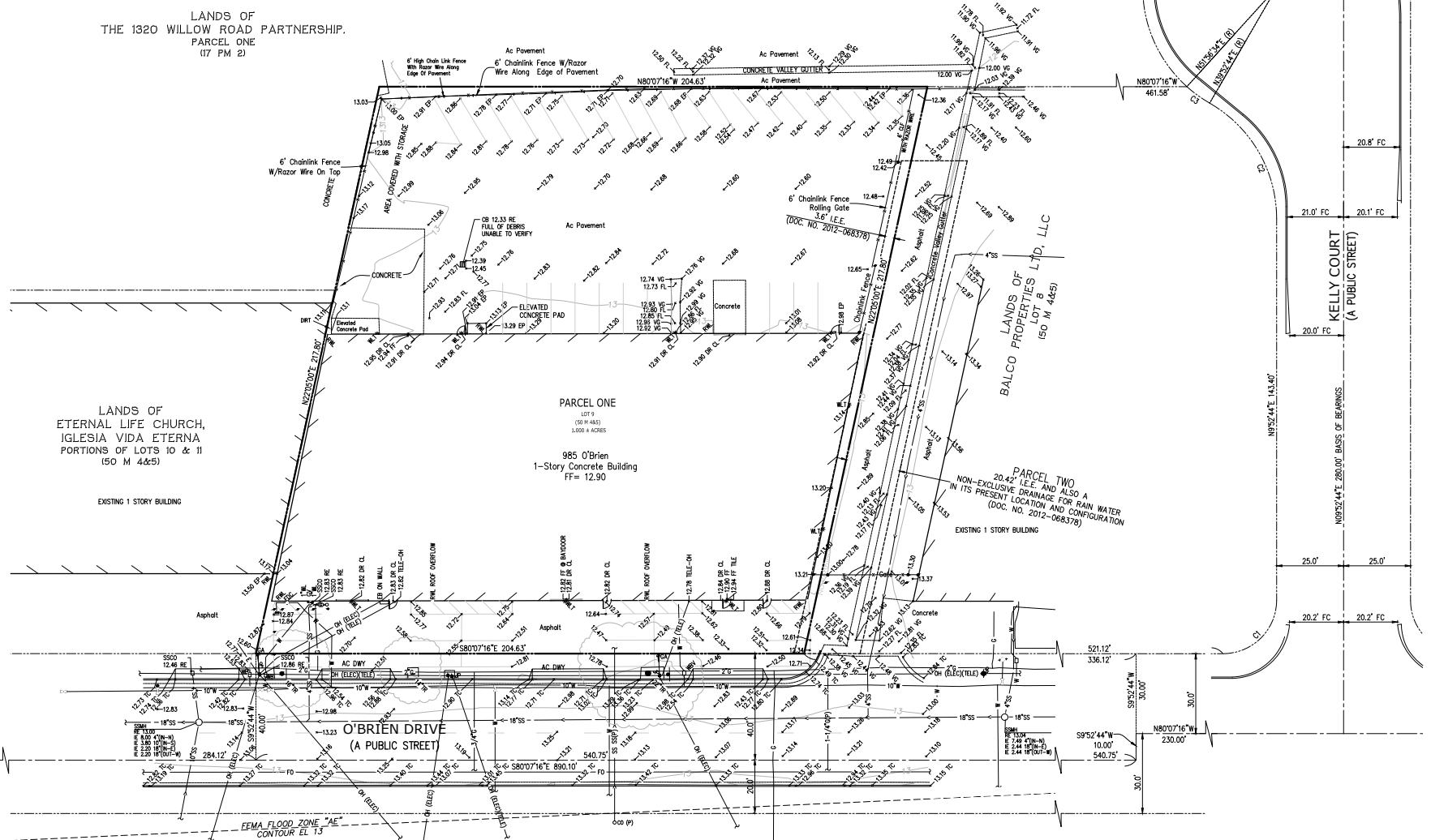
1320 WILLOW EXISTING GROSS AREA

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	20.00'	90°00'00"	31.42'
C2	50.00'	60°00'00"	52.36'
C3	50.00'	120°35'50"	10.53'



- LEGEND**
- ASPHALT BERM
 - BUILDING LINE
 - CONCRETE CURB & GUTTER
 - MAJOR CONTOUR LINE
 - MIRROR CONTOUR LINE
 - DRIVEWAY
 - EASEMENT LINE
 - EDGE OF PAVEMENT
 - EDGE OF WATER/FLOWLINE
 - ELECTRIC LINE
 - FENCE LINE
 - FEMA FLOOD ZONE CONTOUR (APPROXIMATE LOCATION)
 - FIBER OPTICS LINE
 - GAS LINE-VALVE & METER
 - LOT LINE
 - MONUMENT/MONUMENT LINE
 - OVERHEAD POWER LINE
 - PROPERTY LINE
 - SANITARY SEWER LINE-MANHOLE & CLEANOUT
 - SPOT ELEVATION
 - STORM DRAIN LINE-MANHOLE & CATCH BASIN
 - WATER LINE & VALVE
 - WELL
 - AREA DRAIN
 - AUTOMATIC SPRINKLER RISER
 - BACKFLOW PREVENTION DEVICE
 - BENCHMARK/TEMPORARY BENCHMARK
 - BLOWOFF VALVE
 - ELECTROVALVE
 - FIRE DEPARTMENT CONNECTION
 - FIRE HYDRANT
 - GAS METER
 - GUY ANCHOR
 - POWER POLE/JOINT POLE
 - TRAFFIC SIGN
 - TREE
 - UTILITY BOX
 - WATER VALVE
 - WELL

- ABBREVIATIONS**
- AC ASPHALT CONCRETE
 - AD AREA DRAIN
 - BEG BEGN
 - BLD BLDG
 - BLDG BUILDING
 - BOL BOLLARD
 - CB CATCH BASIN
 - CL CENTER LINE
 - CLD CHAIN LINK FENCE
 - CO CLEANOUT
 - DI DRAIN INLET
 - DS DOWN SPOUT
 - DWY DRIVEWAY
 - E EAST
 - EB ELECTRIC BOX
 - ELEC ELECTRIC LINE
 - EP EDGE OF PAVEMENT
 - FC FACE OF CURB
 - FF FINISH FLOOR
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - FO FOUND
 - FO FIBER OPTICS
 - FM FACE OF MALL
 - GA GAS ANCHOR
 - GA GAS LINE
 - GV GAS VALVE
 - GM GAS METER/METER
 - GM GUY ANCHOR
 - GV GUY VALVE
 - I.E.E. INGRESS EGRESS EASEMENT
 - IE INVERT ELEVATION
 - JP JOINT POWER POLE
 - LP LIP OF GUTTER
 - LL LANE LINE
 - LT LIGHT
 - MON MONUMENT
 - N NORTH
 - OP OVERHEAD
 - P PAVEMENT
 - PG PAGE
 - PM PARCEL MAP
 - RE RM ELEVATION
 - RF ROOF LINE
 - RR RAILROAD RAIL
 - RWL RAIN WATER LEADER
 - S SOUTH
 - SMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SMH SANITARY SEWER MANHOLE
 - TO TOP OF CURB
 - TELE TELEPHONE LINE
 - TR TREE
 - TR VALLEY GUTTER
 - W WEST
 - WB WATER BOX
 - WBV WATER BOX WITH VALVE
 - WL WATER LINE
 - WL WALL LIGHT
 - WV WATER VALVE



NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED DECEMBER 16, 2020, ORDER NUMBER NCS-104975-SM. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING ON-SITE UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED BY FIELD LOCATING AND MAPPED BY SUBDYNAMIC LOCATING SERVICES, INC. ON 02-29-2021. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 0608100307E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 12, 2012, AS BEING LOCATED IN FLOOD ZONE "AE". ACCORDING TO FEMA THE DEFINITION OF ZONE "AE" IS: SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS DETERMINED.
- BENCHMARK: W-150, U.S. COAST GEODETIC SURVEY BENCHMARK DISK STAMPED "W 150", "1983" SET IN TOP OF CONCRETE MONUMENT, 0.8 MILE NORTHEAST ALONG WILLOW ROAD FROM THE INTERSECTION OF BAYSHORE HIGHWAY AT MENLO PARK, AT THE NORTHEAST CITY LIMITS OF MENLO PARK, AT THE CROSSING OF THE SOUTHERN PACIFIC COMPANY RAILROAD, 35 FEET WEST OF THE CENTER LINE OF THE ROAD, 19.5 FEET NORTH OF THE NORTH RAIL, 10.3 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE CONCRETE BASE OF A CROSSING SIGNAL, 1.0 FOOT EAST OF A WITNESS POST, ABOUT LEVEL WITH THE TRACK AND THE ROAD, FLUSH WITH THE GROUND, AND SET IN TOP OF A CONCRETE POST. ELEVATION: 9.884 FEET (NGVD 1988 DATUM).
- BASES OF BEARINGS: THE BEARING OF NORTH 09°52'44" EAST TAKEN ON THE CENTERLINE OF KELLY COURT AS SHOWN THAT CERTAIN PARCEL MAP FILED FOR RECORD ON FEBRUARY 27, 1991 IN BOOK 64 OF PARCEL MAPS AT PAGE 66, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

NOTE: THIS SITE HAS FIBER OPTIC LINES LOCATED ON OR ADJACENT TO IT.

J.R. Usher
02-23-2021
PREPARED BY OR UNDER THE SUPERVISION OF
JANUARY 6, VOL. P.L.S. 9220



DATE	FEB., 2021
SCALE	AS SHOWN
SURVEYOR	JRW
DRAWN BY	DWA
JOB NO.	A13116-4
SHEET	C1.0
OF	1 SHEET

TOPOGRAPHIC SURVEY
OF
985 O'BRIEN DRIVE
O'BRIEN DRIVE PORTFOLIO, LLC

KIER+WRIGHT
3085 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 346-8188
www.kierwright.com

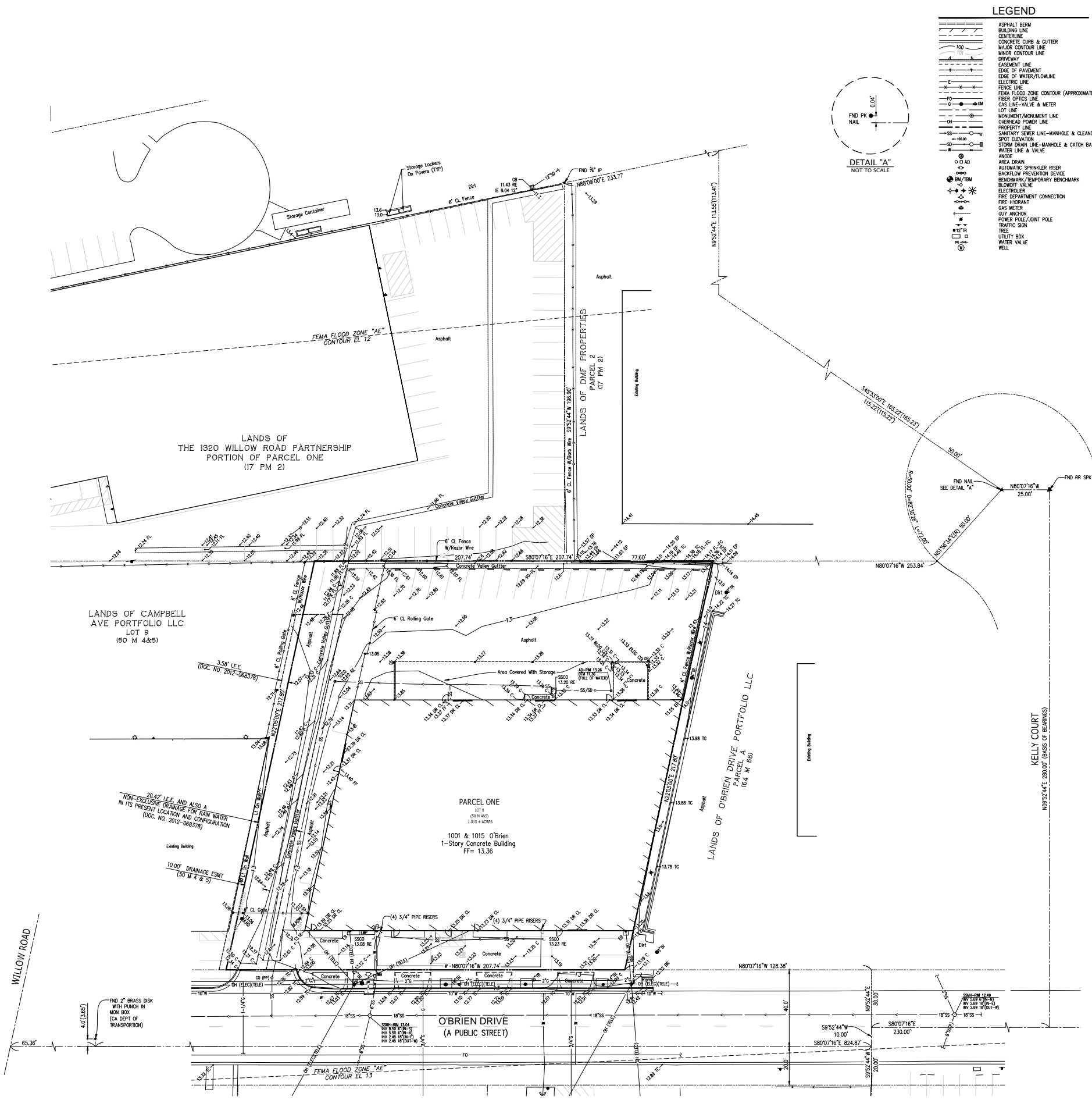
CALIFORNIA

- 04-15-2021 D.R.T. REVIEW
- 06-23-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 03-08-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5

A5.1
N.T.S.

SCALED TOPO AS AN ATTACHMENT

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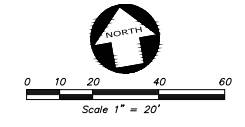


LEGEND

Table of symbols and their corresponding descriptions for various survey features like asphalt, concrete, fences, and utilities.

ABBREVIATIONS

Table of abbreviations used in the drawing, such as AC for Asphalt Concrete, BL for Building, and various utility symbols.



NOTES

- 1. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT...
2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING ON-SITE UNDERGROUND UTILITIES...
4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA...
5. BENCHMARK: W-150; U.S. COAST GEODETIC SURVEY BENCHMARK DISK STAMPED "W 150", "1933" SET IN TOP OF CONCRETE MONUMENT...
6. BASIS OF BEARING: THE BEARING OF NORTH 09°52'44" EAST TAKEN ON THE CENTERLINE OF KELLY COURT...
7. CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS...

NOTE: THIS SITE HAS FIBER OPTIC LINES LOCATED ON OR ADJACENT TO IT.



PREPARED BY OR UNDER THE SUPERVISION OF JIMMY R. VITOL, P.L.S. 6256 02-23-2021

Revision table with columns for NO., REVISION, and a grid of checkmarks.

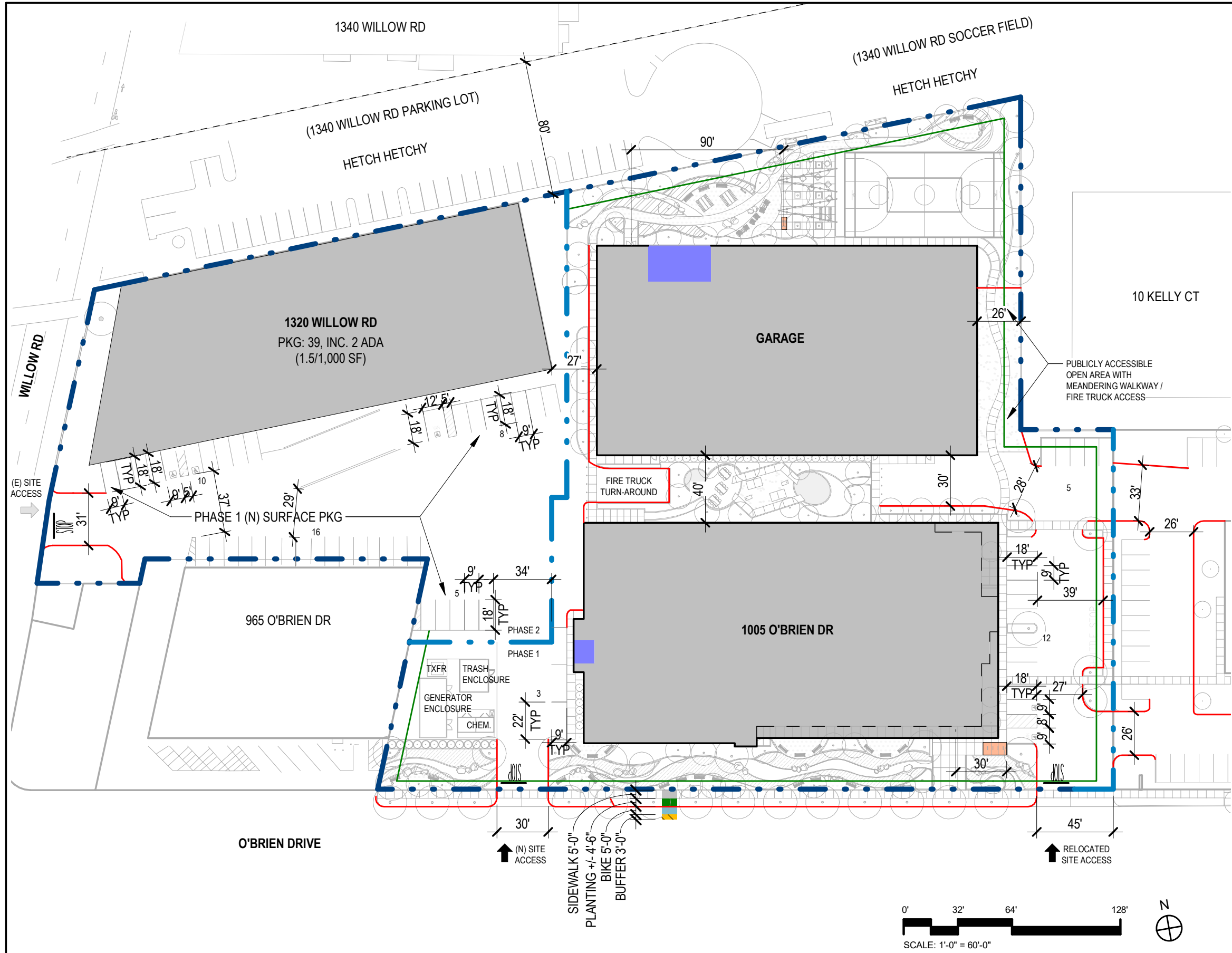
KIER+WRIGHT logo and contact information: Phone: (925) 346-8188, www.kierwright.com, 2005 Collier Canyon Road, Livermore, CA 94551.

TOPOGRAPHIC SURVEY OF 1001-1015 O'BRIEN DRIVE O'BRIEN DRIVE PORTFOLIO, LLC CALIFORNIA

10-28-2022 C.U.P. RESPONSE 3
02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

A5.2 N.T.S.

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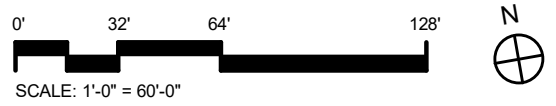


SHEET NOTES

KEYNOTES

LEGEND

- · — · — EXISTING PROPERTY LINE
- · — · — PROPOSED LOT LINE ADJUSTMENT
- LS-ZONING SETBACKS
- FIRE LANE - NO PARKING
- SITE COVERAGE
- ENCLOSED LONG-TERM BICYCLE
SEE SHEET A9.2 & A13.4
- EXTERIOR LOOPS SHORT-TERM
SEE SHEET A13.4 FOR BIKE PARKING COUNT
- TXFR TRANSFORMER



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

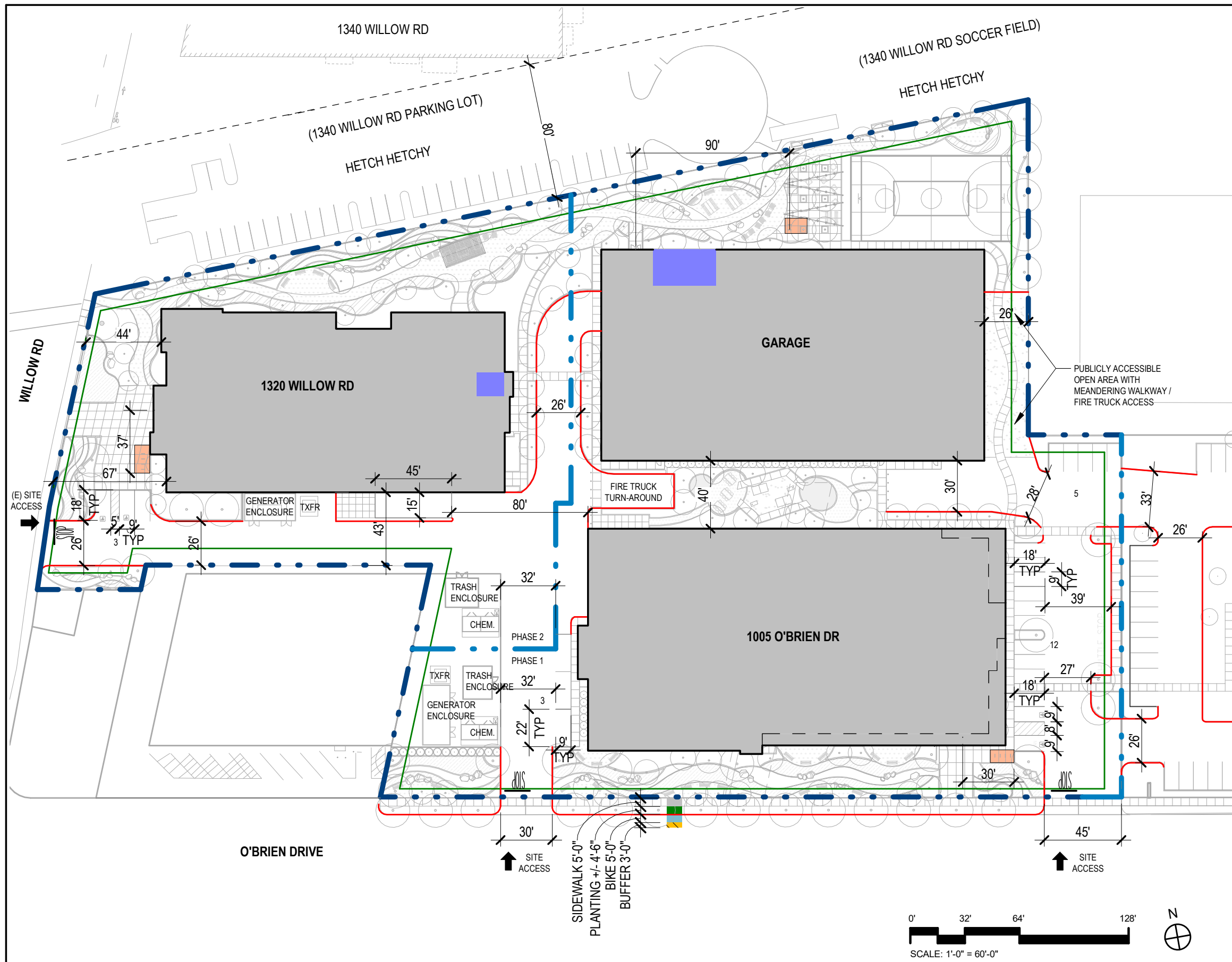


985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3
02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

PHASE 1 PROPOSED SITE PLAN









A6.1 **DES**
ARCHITECTS
ENGINEERS
PAGE E-2 26

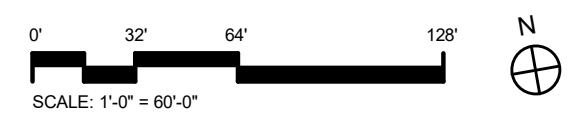


SHEET NOTES

KEYNOTES

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  LS-ZONING SETBACKS
-  FIRE LANE - NO PARKING
-  SITE COVERAGE
-  ENCLOSED LONG-TERM BICYCLE
SEE SHEET A11.2 & A13.4
-  EXTERIOR LOOPS SHORT-TERM
SEE SHEET A13.4 FOR BIKE PARKING
COUNT
-  TXFR TRANSFORMER



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



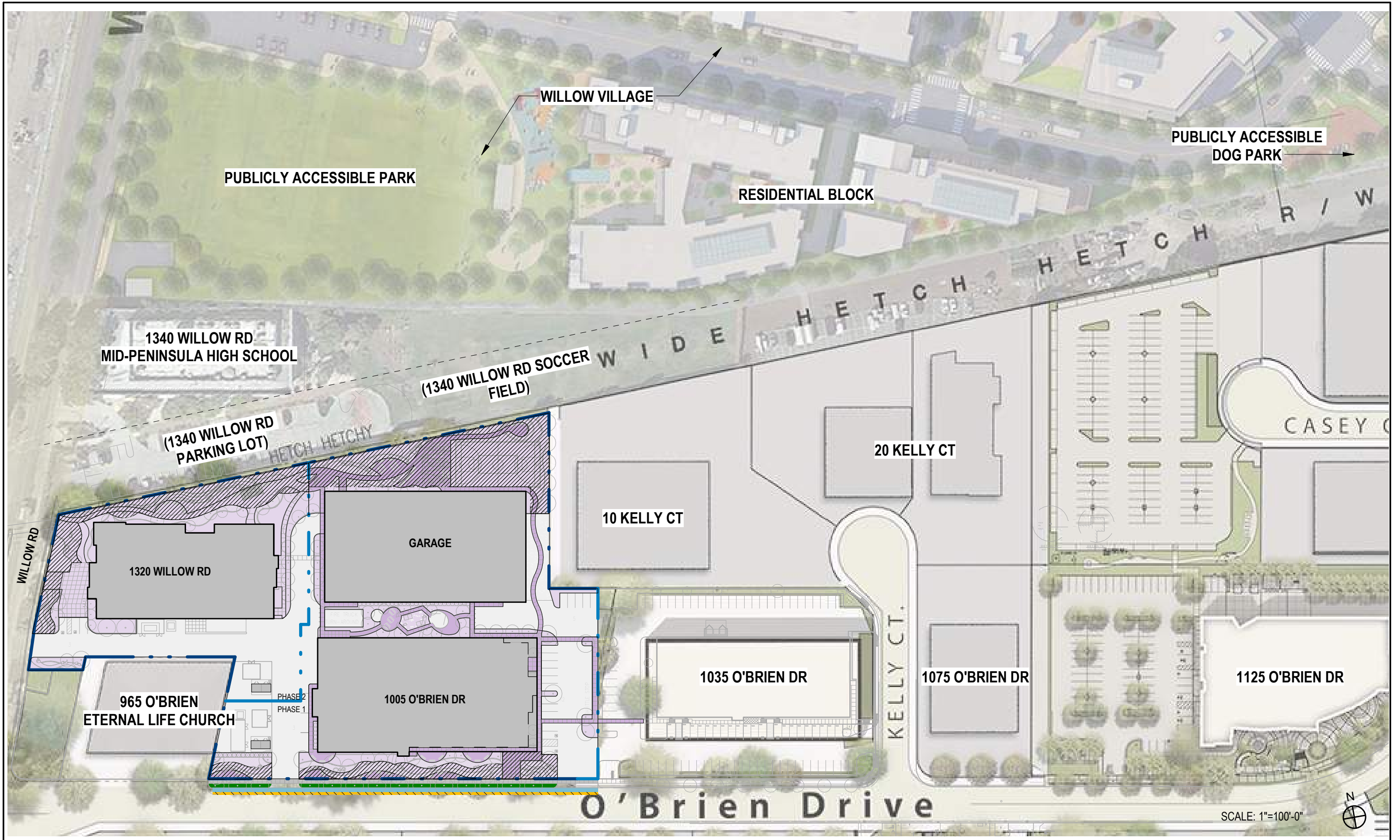
985 & 1001 O'BRIEN DR
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02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

PHASE 2 PROPOSED SITE PLAN

A6.2 

PAGE E-2



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
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 10-28-2022 C.U.P. RESPONSE 3
 02-17-2023 C.U.P. RESPONSE 4
 07-12-2023 C.U.P. RESPONSE 5

NEIGHBORHOOD OPEN SPACE



SHEET NOTES

KEYNOTES







PHASE 1
AREA: 123,738 SF

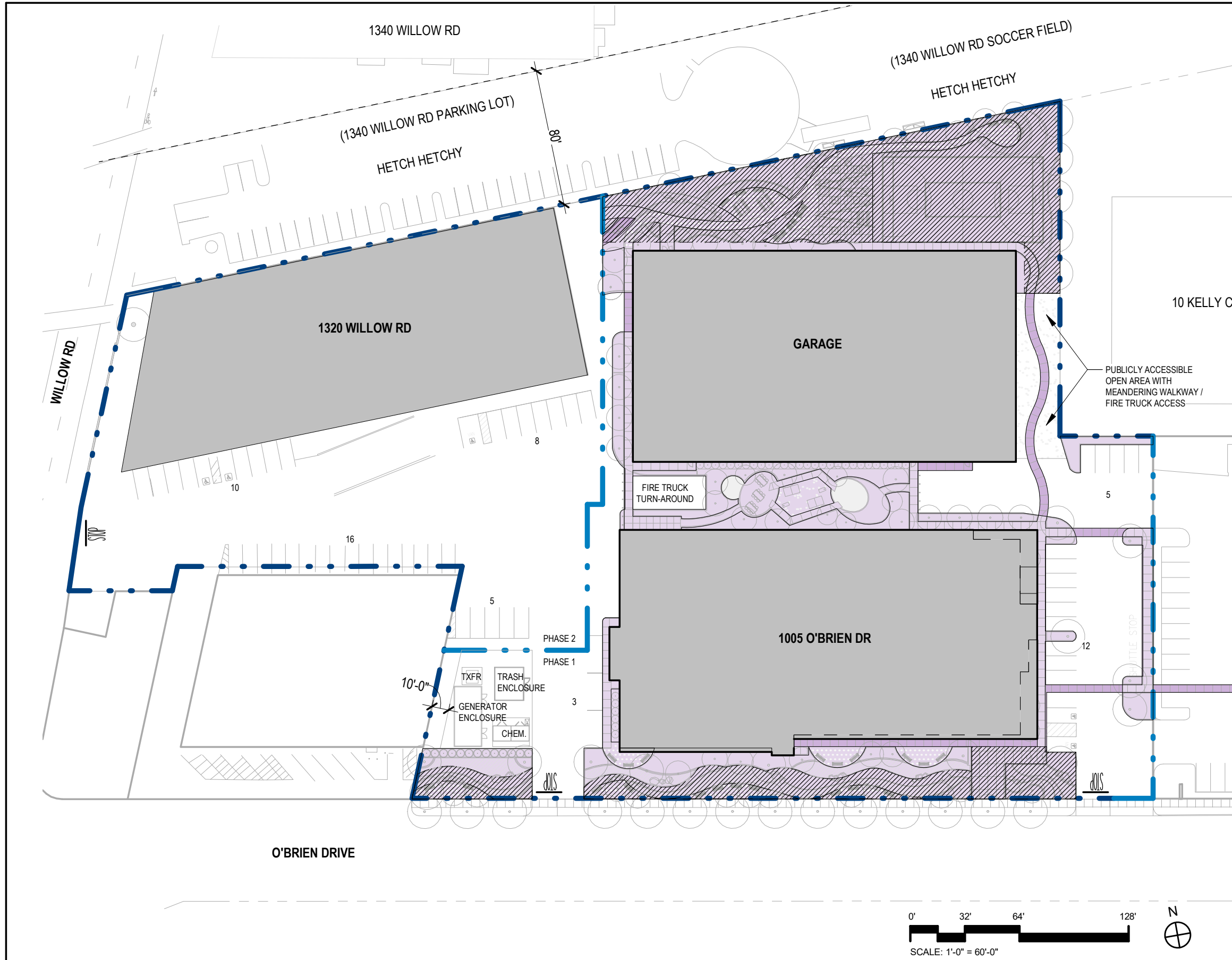
SITE COVERAGE: 59,860 SF (48%)

OPEN SPACE:
 REQUIRED = 24,748 SF (20% OF SITE)
 PROVIDED = 38,559 SF (31% OF SITE)

PUBLIC OPEN SPACE:
 REQUIRED = 12,374 SF (50% OF REQ'D OPEN SPACE)
 PROVIDED = 21,633 SF (87% OF REQ'D OPEN SPACE)

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  SITE COVERAGE
-  OPEN SPACE
-  PUBLIC OPEN SPACE
-  PEDESTRIAN PATHS (PAVER, CONCRETE, DG)



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



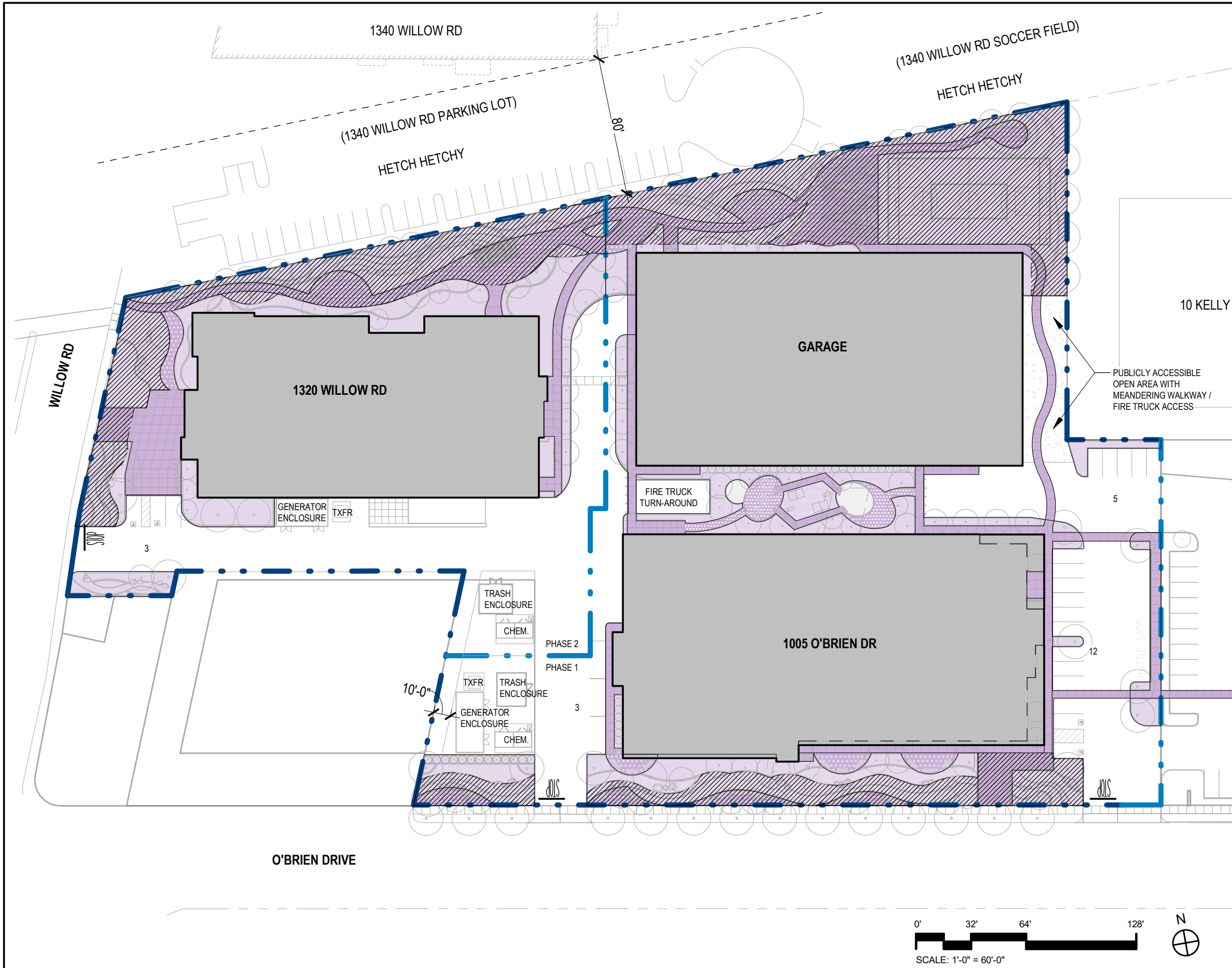
985 & 1001 O'BRIEN DR
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PHASE 1 OPEN SPACE DIAGRAM

A7.1 
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BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



SHEET NOTES	
PHASE 2	AREA: 59,878 SF
SITE COVERAGE:	21,494 SF
OPEN SPACE:	REQUIRED = 11,976 SF (20% OF SITE) PROVIDED = 20,785 SF (35% OF SITE)
PUBLIC OPEN SPACE:	REQUIRED = 5,988 SF (50% OF REQ'D OPEN SPACE) PROVIDED = 9,902 SF (83% OF REQ'D OPEN SPACE)
PHASE 1 + 2	PROJECT SITE AREA: 182,616 SF
SITE COVERAGE:	80,354 SF (ALL STRUCTURES)
OPEN SPACE:	REQUIRED = 36,724 SF (20% OF SITE) PROVIDED = 59,344 SF (32% OF SITE)
PUBLIC OPEN SPACE:	REQUIRED = 18,362 SF (50% OF REQ'D OPEN SPACE) PROVIDED = 31,535 SF (86% OF REQ'D OPEN SPACE)

LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED LOT LINE ADJUSTMENT
	SITE COVERAGE
	OPEN SPACE
	PUBLIC OPEN SPACE
	PEDESTRIAN PATHS (PAVER, CONCRETE, DG)

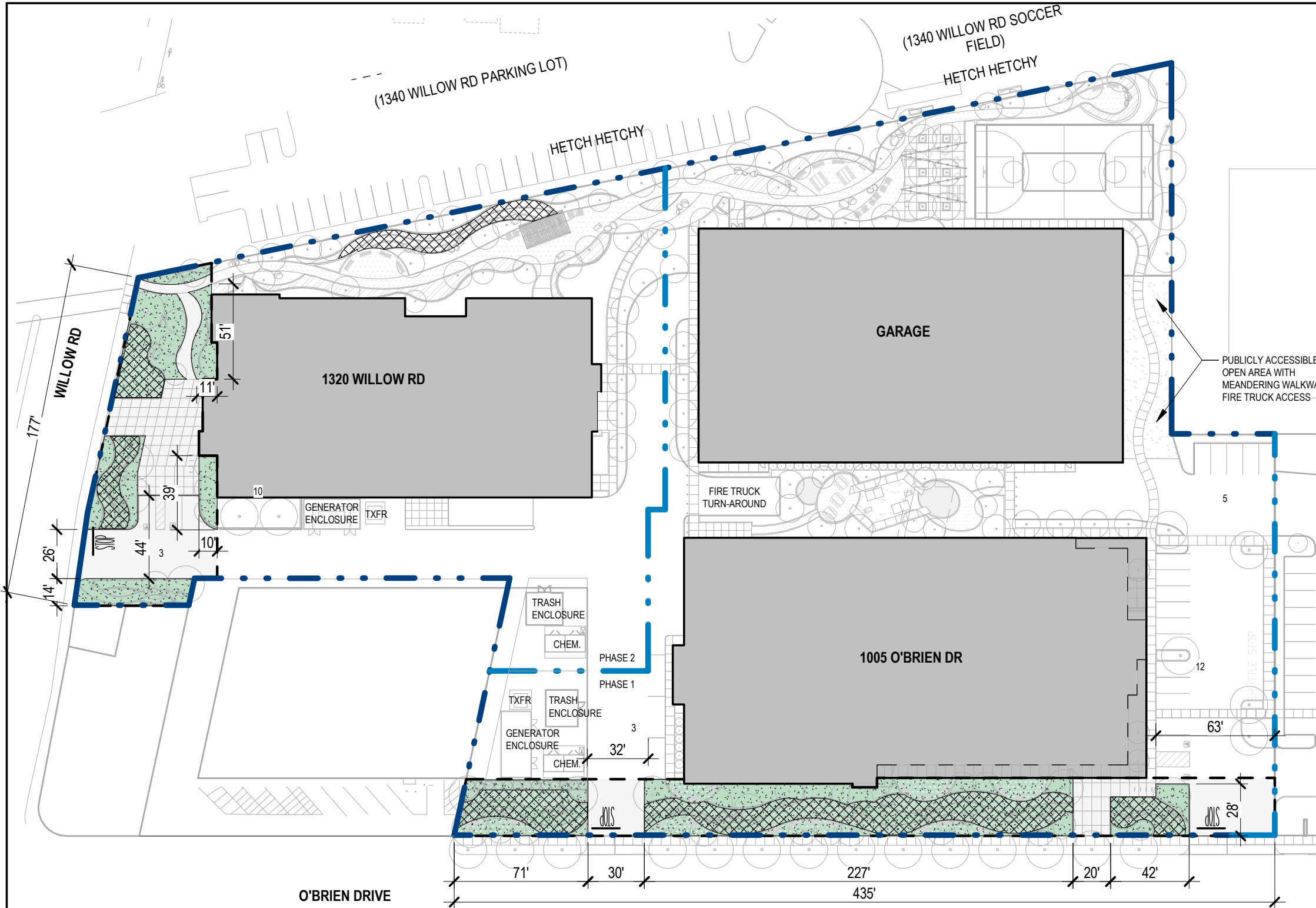


985 & 1001 O'BRIEN DR
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02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

PHASE 2 OPEN SPACE DIAGRAM

A7.2 DES ARCHITECTS ENGINEERS
PAGE E-2 30



SHEET NOTES

PHASE 1
FRONTAGE: 13,070 SF

FRONTAGE LANDSCAPE:
 REQUIRED = 3,268 SF (25% OF FRONTAGE)
 PROVIDED = 9,620 SF (75% OF FRONTAGE)

FRONTAGE STORMWATER TREATMENT:
 REQUIRED = 1,634 SF (50% OF FRONTAGE LANDSCAPE)
 PROVIDED = 4,900 SF (300% OF REQUIRED AREA)

PHASE 2
FRONTAGE: 9,964 SF

FRONTAGE LANDSCAPE:
 REQUIRED = 2,491 SF (25% OF FRONTAGE)
 PROVIDED = 4,674 SF (47% OF FRONTAGE)

FRONTAGE STORMWATER TREATMENT:
 REQUIRED = 1,246 SF (50% OF FRONTAGE LANDSCAPE)
 PROVIDED = 1,160 SF (93% OF REQUIRED AREA)

PHASE 1 + 2
FRONTAGE: 23,034 SF

FRONTAGE LANDSCAPE:
 REQUIRED = 5,759 SF (25% OF FRONTAGE)
 PROVIDED = 14,494 SF (63% OF FRONTAGE)

FRONTAGE STORMWATER TREATMENT:
 REQUIRED = 2,880 SF (50% OF FRONTAGE LANDSCAPE)
 PROVIDED = 6,060 SF (210% OF FRONTAGE LANDSCAPE)

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE ADJUSTMENT
- SITE COVERAGE
- FRONTAGE
- FRONTAGE LANDSCAPE
- STORMWATER TREATMENT

PHASE 1		PHASE 2	
FRONTAGE: 435'		FRONTAGE: 177'	
PKG ALONG FRONTAGE		PKG ALONG FRONTAGE	
MAX	PROPOSED	MAX	PROPOSED
108.75' (25%)	95' (22%)	44.25' (25%)	44' (25%)



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

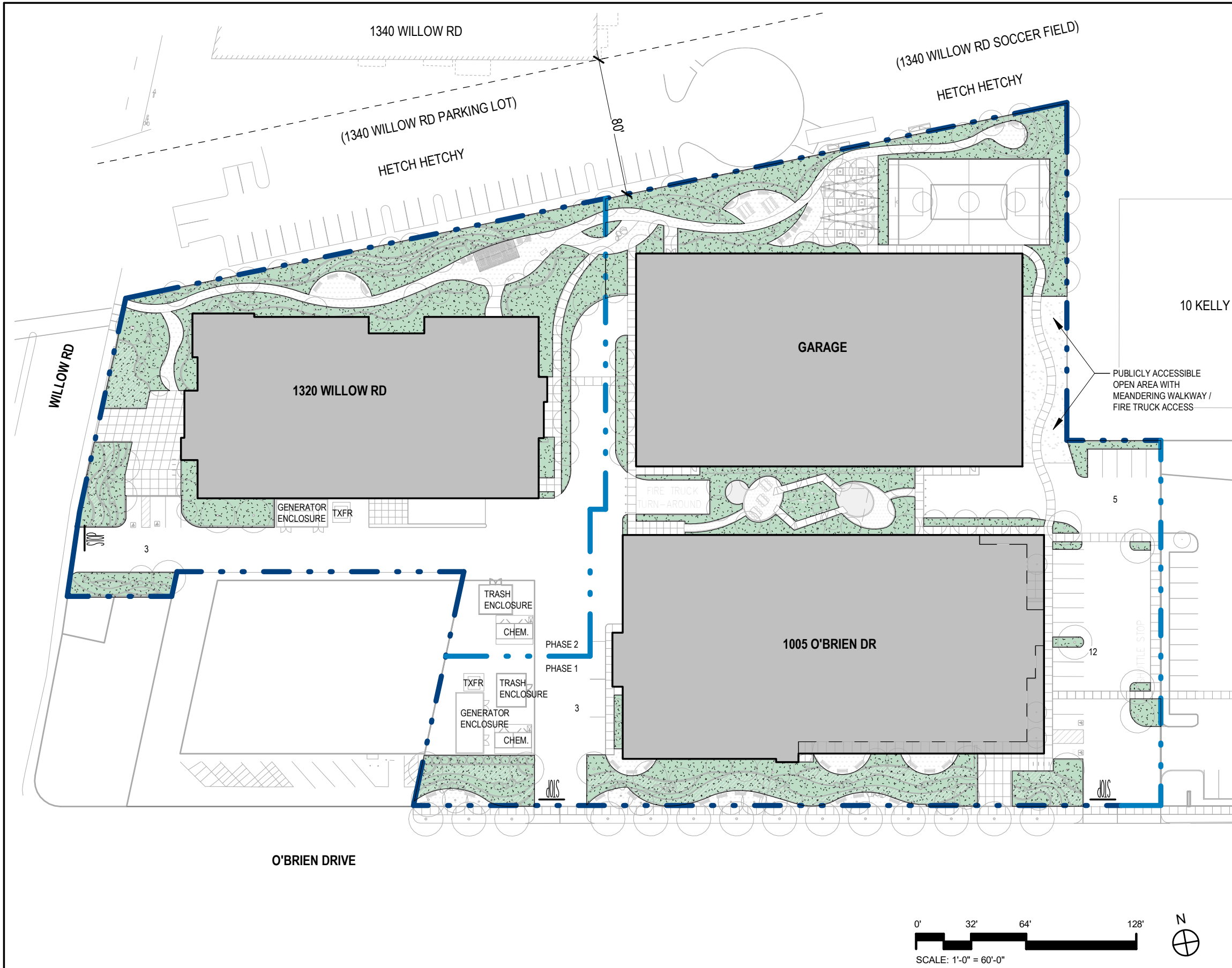


985 & 1001 O'BRIEN DR
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PHASE 1 & 2 FRONTAGE DIAGRAM

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

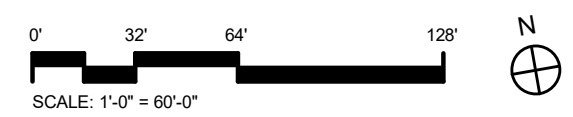


SHEET NOTES

PHASE 1 AREA:	123,738 SF
LANDSCAPE AREA:	19,889 SF (16%)
PHASE 2 AREA:	59,878 SF
LANDSCAPE AREA:	14,026 SF (23%)
PHASE 1 + 2 PROJECT SITE AREA:	182,616 SF
PROJECT SITE LANDSCAPE AREA:	33,915 SF (19%)

LEGEND

- - - EXISTING PROPERTY LINE
- - - PROPOSED LOT LINE ADJUSTMENT
- SITE COVERAGE
- LANDSCAPE



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3
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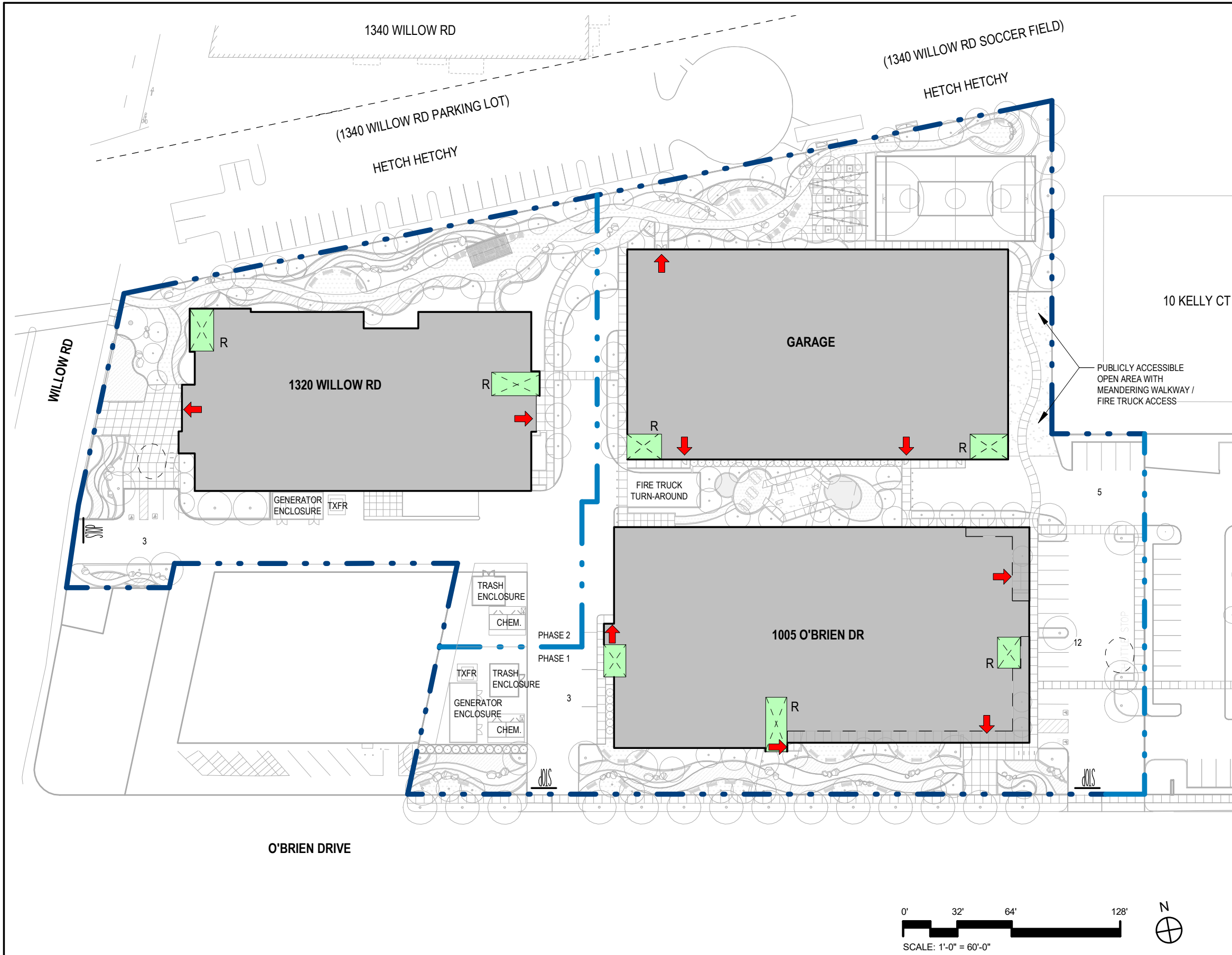
OVERALL SITE LANDSCAPE AREA CALCS

A7.4

DES ARCHITECTS ENGINEERS







PAGE E-2 32

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



SHEET NOTES

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  EGRESS / EXIT
-  STAIR TOWER
-  STAIR TOWER WITH ROOF ACCESS
-  SAFETY GATHERING AREA

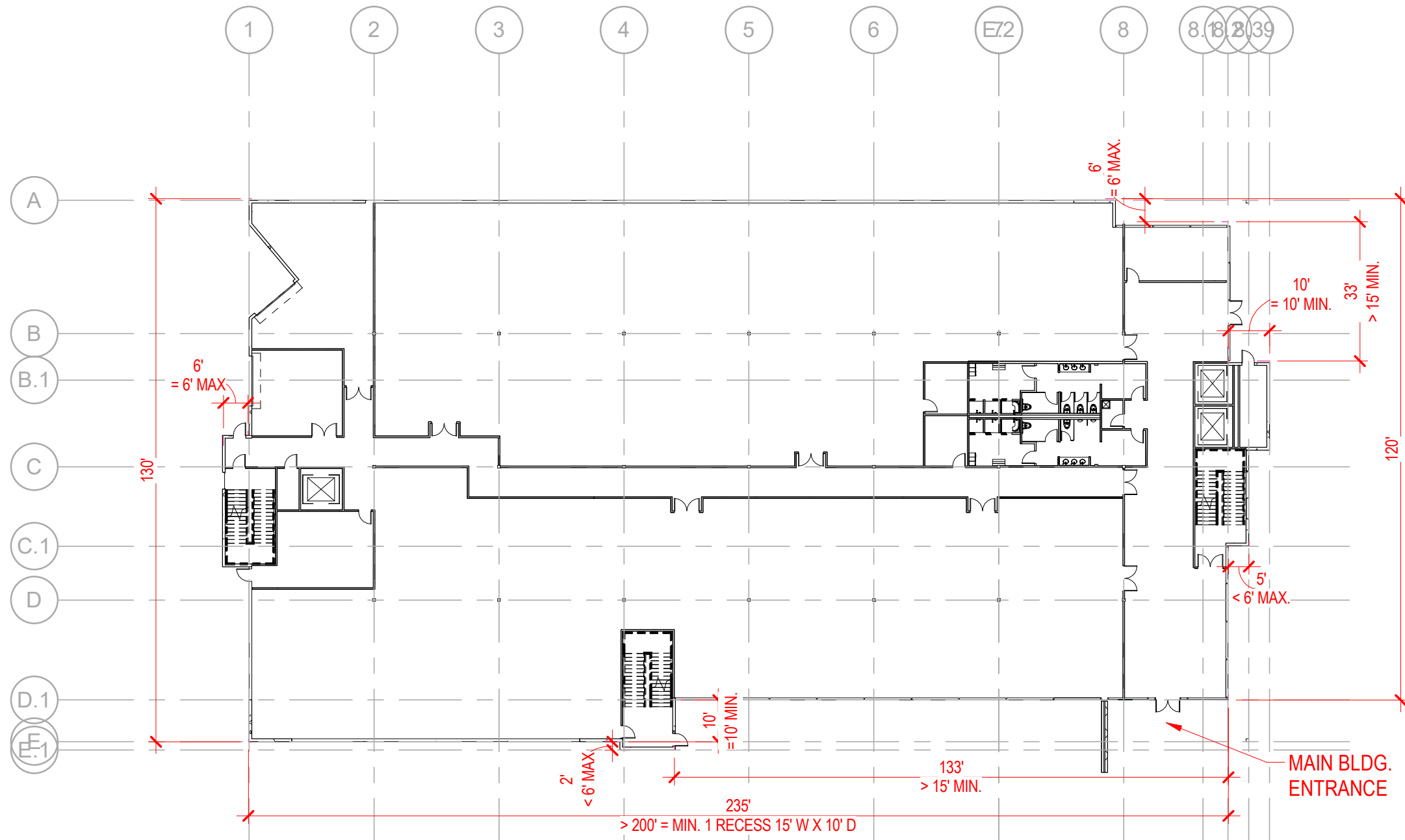


985 & 1001 O'BRIEN DR
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 07-12-2023 C.U.P. RESPONSE 5

SITE SERVICE / EMERGENCY PLAN

A8 **DES**
 ARCHITECTS
 ENGINEERS
 PAGE E-2.33

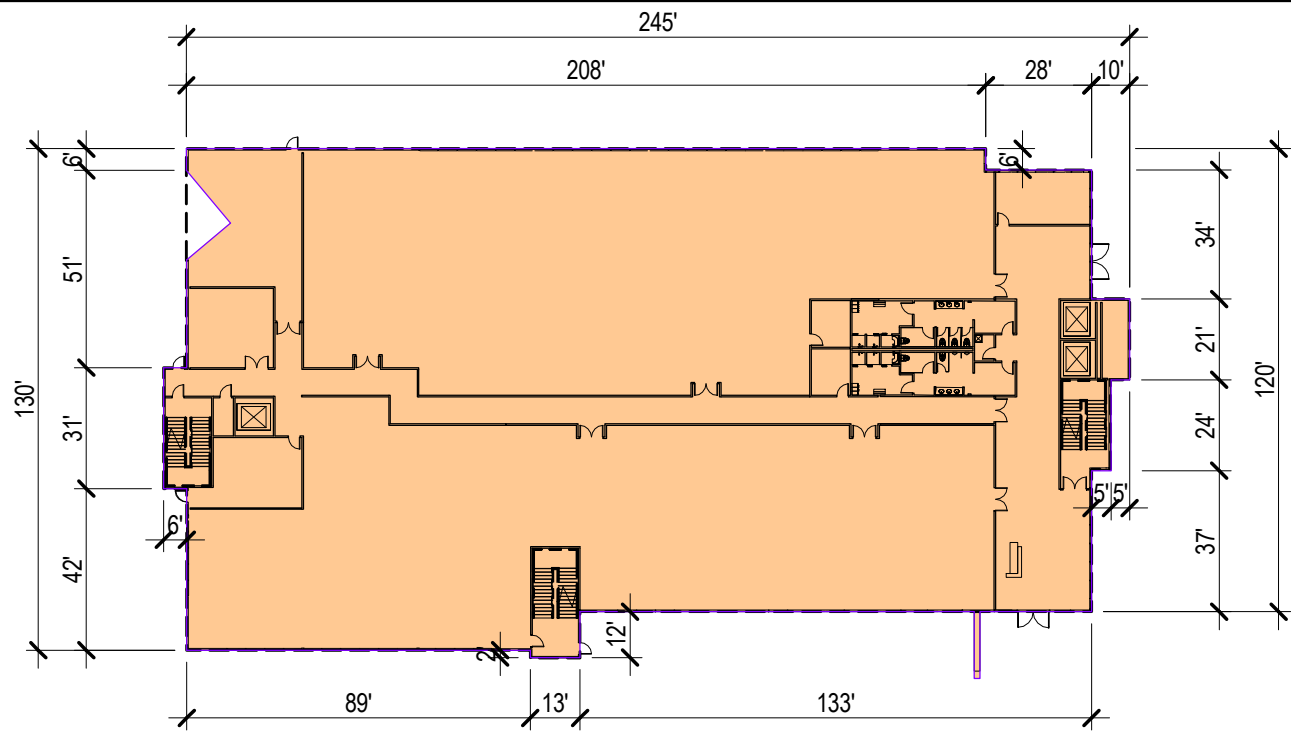


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

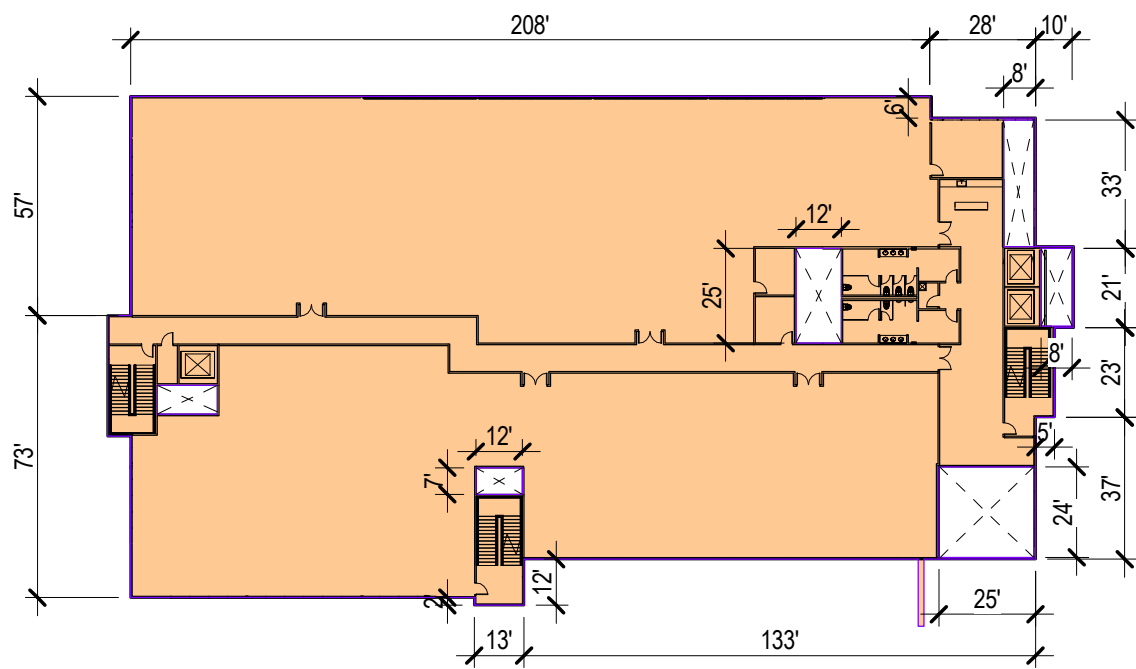
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 06-22-2022 C.U.P. RESPONSE 2
 02-17-2023 C.U.P. RESPONSE 4
 07-12-2023 C.U.P. RESPONSE 5

1005 O'BRIEN BLDG. MODULATION

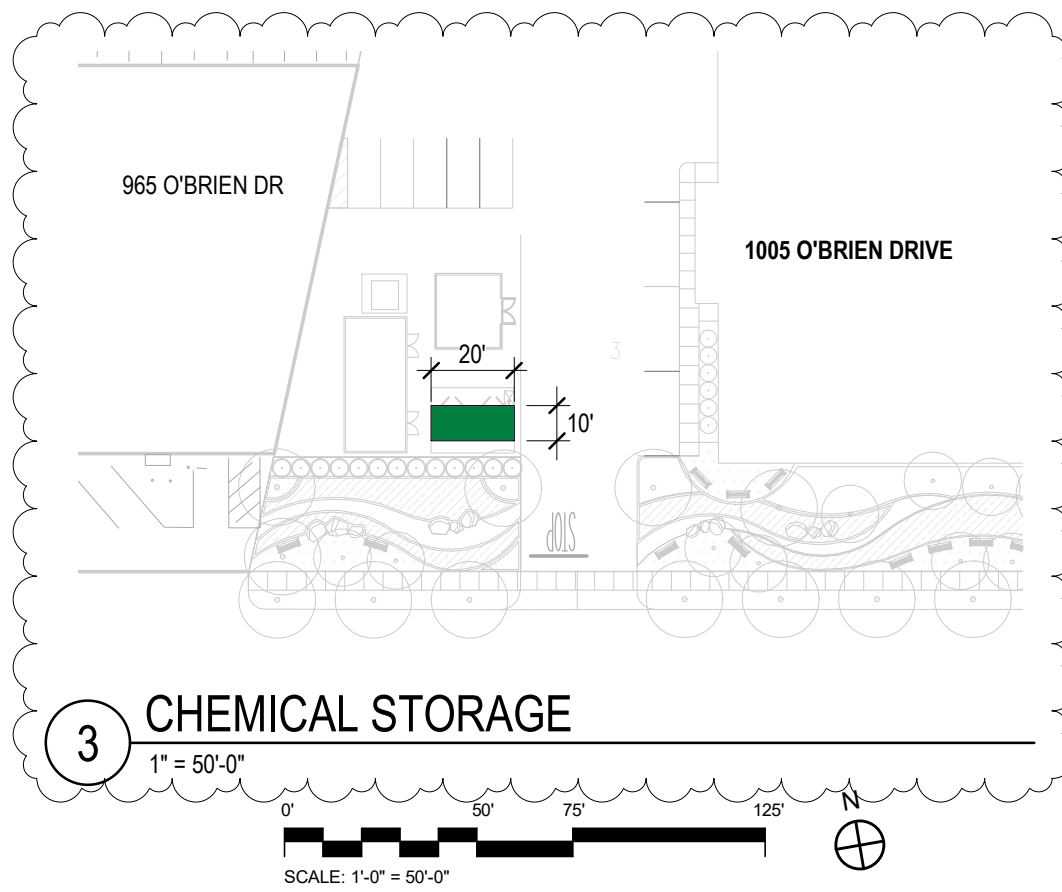
A9 **DES**
 ARCHITECTS
 ENGINEERS
 PAGE E-2 34



1 1005 LEVEL 1
1" = 50'-0"



2 1005 LEVEL 2
1" = 50'-0"



3 CHEMICAL STORAGE
1" = 50'-0"

SHEET NOTES

GROSS FLOOR AREA:

LEVEL 1 R&D AREA	29,643 SF
LEVEL 2 R&D AREA	28,265 SF
LEVEL 3 R&D AREA	30,962 SF
LEVEL 4 R&D AREA	30,962 SF
LEVEL 5 R&D AREA	30,962 SF
ROOF STAIRS & ELEV.	1,407 SF
ROOF CONFERENCE	1,670 SF
ROOF STORAGE	510 SF
CHEMICAL STORAGE	200 SF

TOTAL: 154,581 SF

OUTDOOR ROOF DECK:

CIRCULATION:	1,517 SF
LANDSCAPE:	1,403 SF
SEATING/OPEN AREA:	953 SF
TOTAL:	3,873 SF

LEGEND

- BUILDING (FAR)**
- R&D AREA
 - ROOF STAIRS & ELEVATOR
 - CONFERENCE ROOM
 - ROOF STORAGE
 - CHEMICAL STORAGE
- BUILDING (NOT INCLUDED IN FAR)**
- ROOF DECK SEATING
 - ROOF DECK CIRCULATION
 - ROOF DECK LANDSCAPE
 - ROOF (UNOCCUPIED)
 - MECHANICAL
 - SHAFTS/OPENINGS

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

SHEET NOTES

GROSS FLOOR AREA:

LEVEL 1 R&D AREA	29,643 SF
LEVEL 2 R&D AREA	28,265 SF
LEVEL 3 R&D AREA	30,962 SF
LEVEL 4 R&D AREA	30,962 SF
LEVEL 5 R&D AREA	30,962 SF
ROOF STAIRS & ELEV.	1,407 SF
ROOF CONFERENCE	1,670 SF
ROOF STORAGE	510 SF
CHEMICAL STORAGE	200 SF

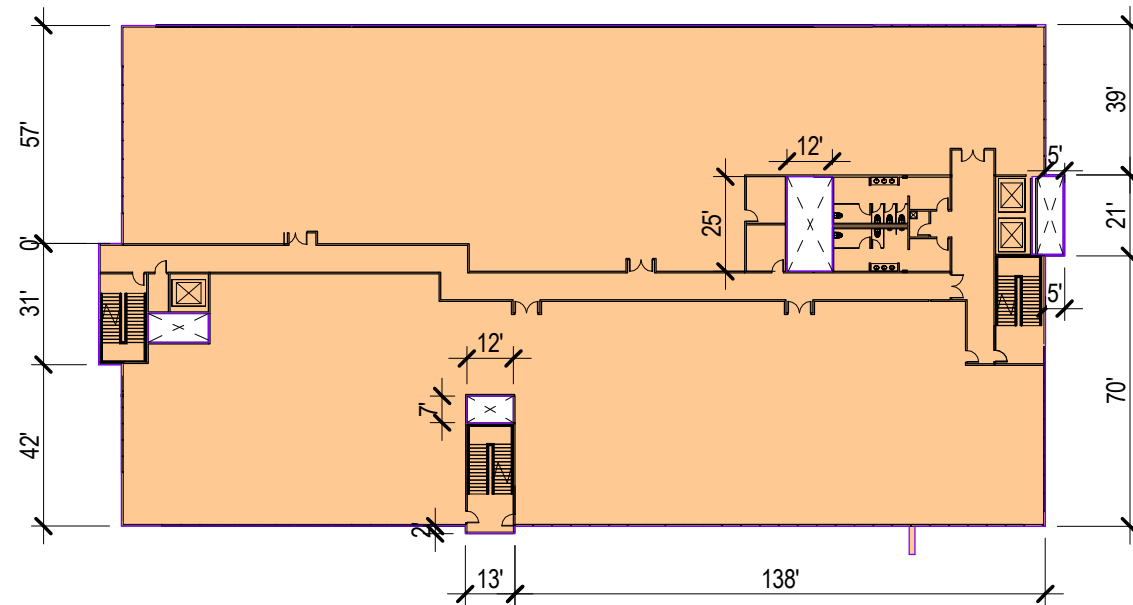
TOTAL: 154,581 SF

OUTDOOR ROOF DECK:

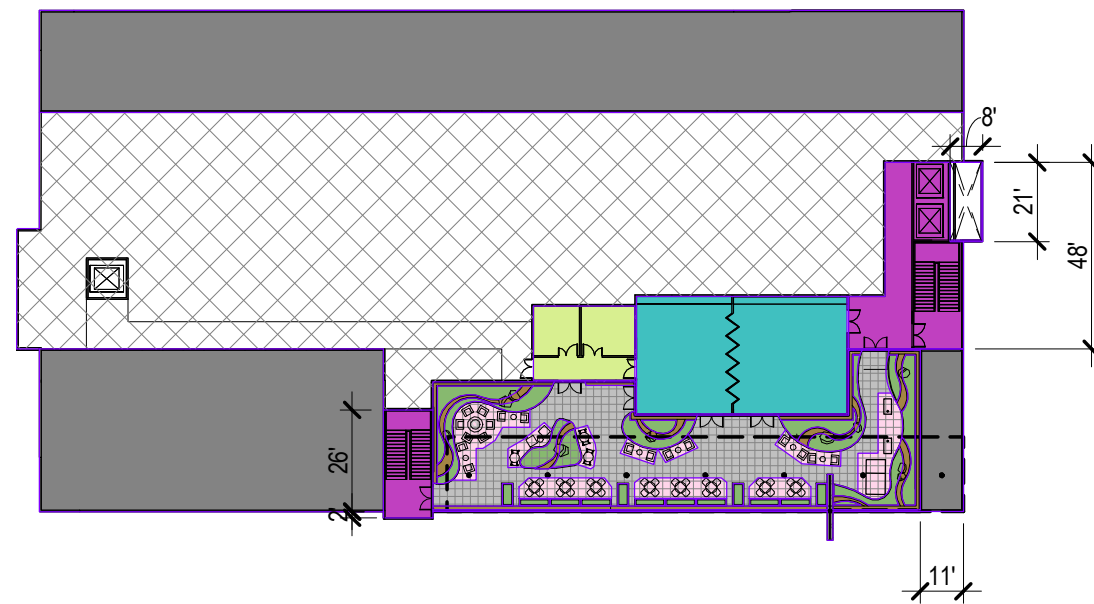
CIRCULATION:	1,517 SF
LANDSCAPE:	1,403 SF
SEATING/OPEN AREA:	953 SF
TOTAL:	3,873 SF

LEGEND

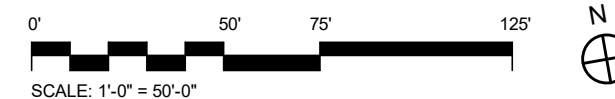
- BUILDING (FAR)**
- R&D AREA
 - ROOF STAIRS & ELEVATOR
 - CONFERENCE ROOM
 - ROOF STORAGE
 - CHEMICAL STORAGE
- BUILDING (NOT INCLUDED IN FAR)**
- ROOF DECK SEATING
 - ROOF DECK CIRCULATION
 - ROOF DECK LANDSCAPE
 - ROOF (UNOCCUPIED)
 - MECHANICAL
 - SHAFTS/OPENINGS



1 1005 LEVEL 3-5
1" = 50'-0"



2 1005 ROOF
1" = 50'-0"



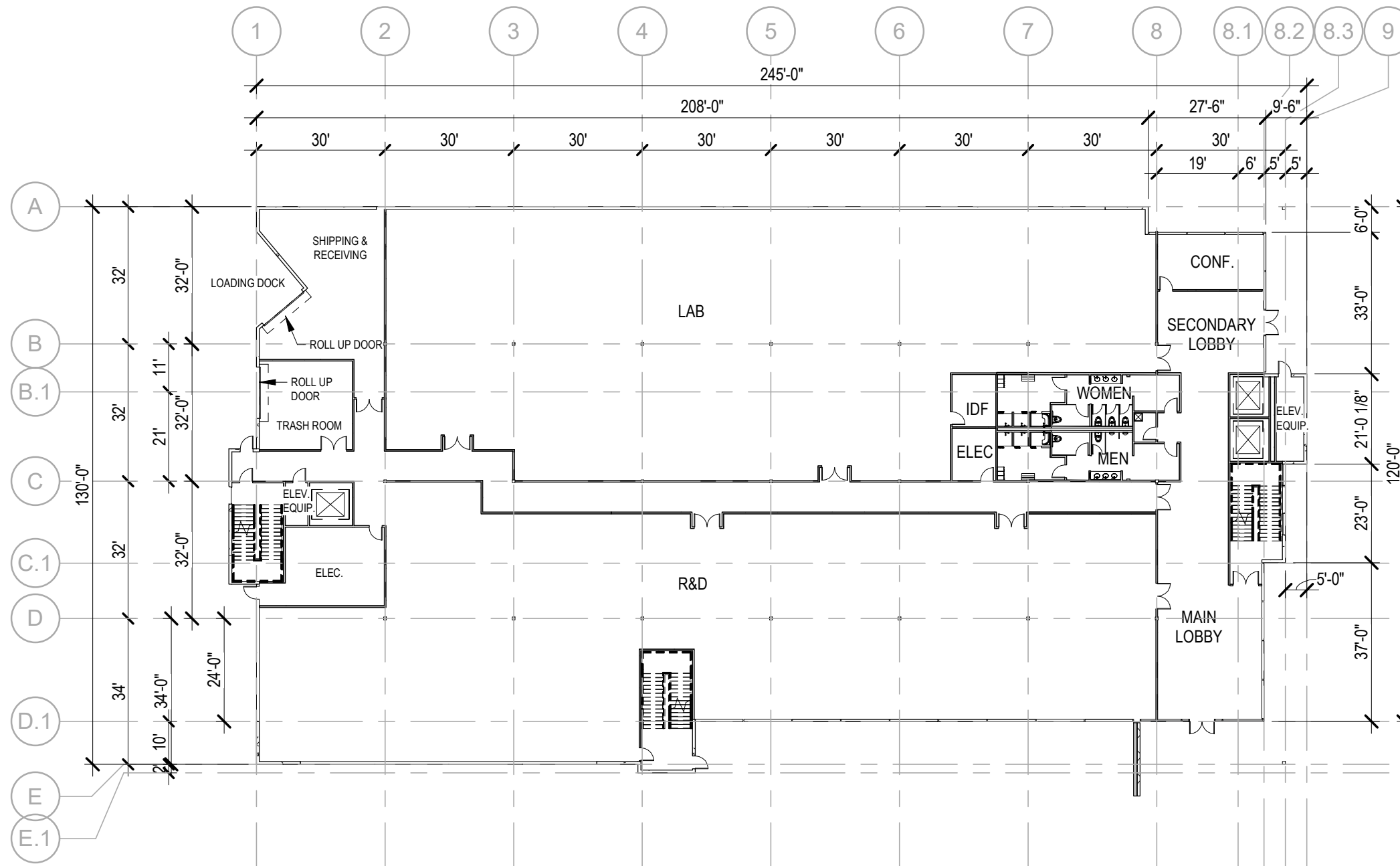
985 & 1001 O'BRIEN DR
1320 WILLOW RD
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1005 O'BRIEN GROSS FLOOR AREA
DIAGRAMS



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



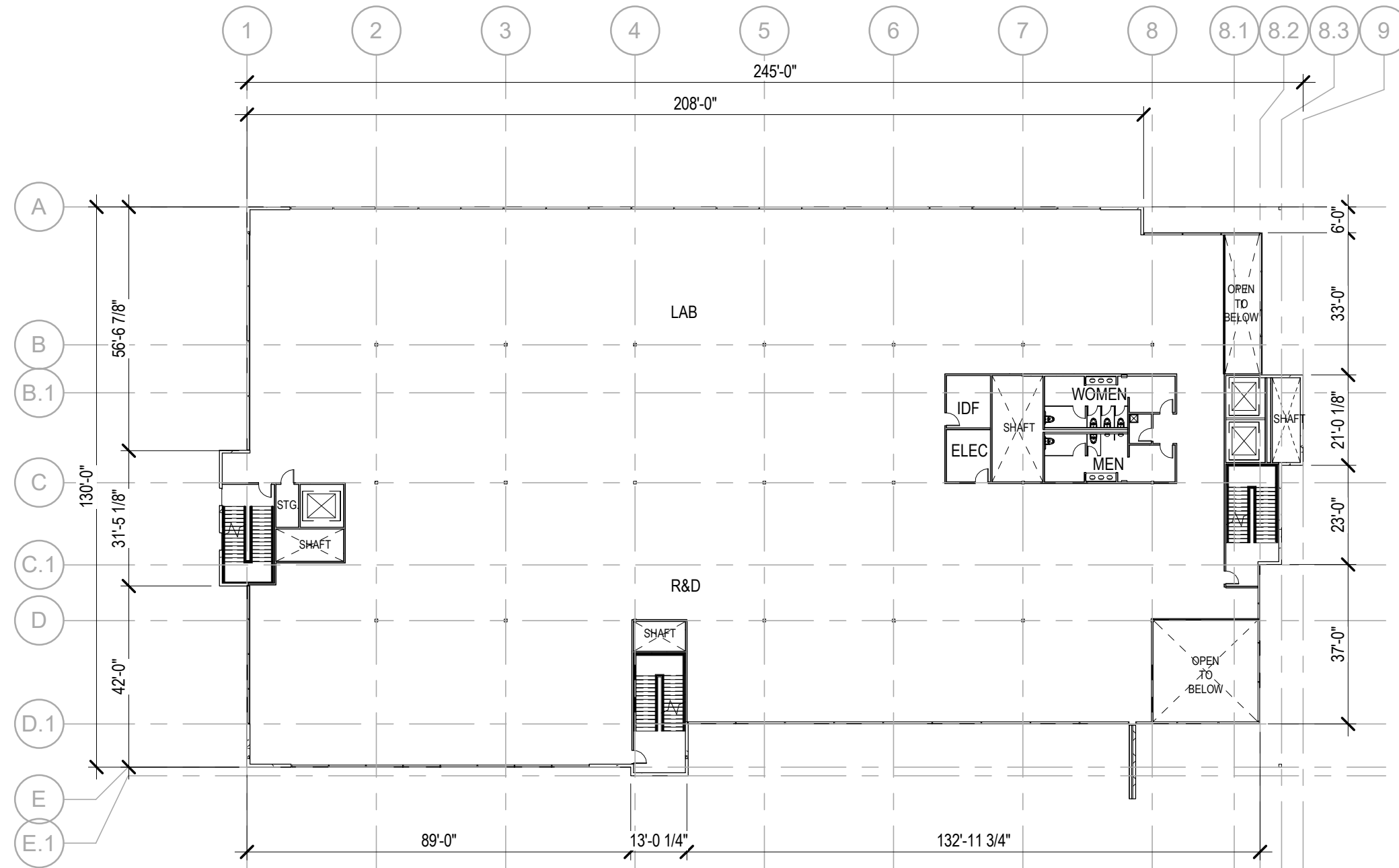
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1005 O'BRIEN LEVEL 1

A9.2 DES
 ARCHITECTS
 ENGINEERS

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



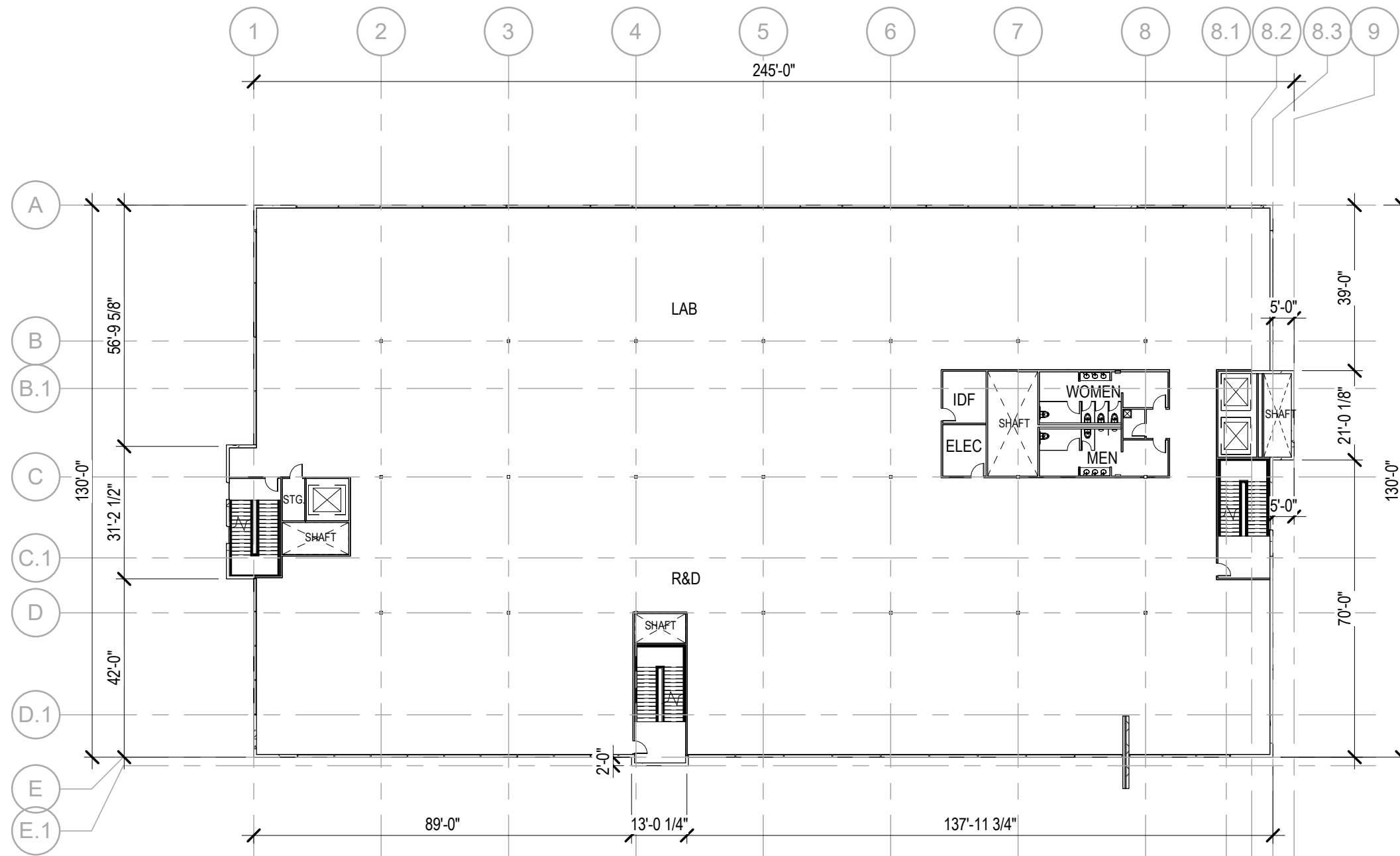
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1005 O'BRIEN LEVEL 2

A9.3
 DES ARCHITECTS ENGINEERS
 PAGE E-2 38

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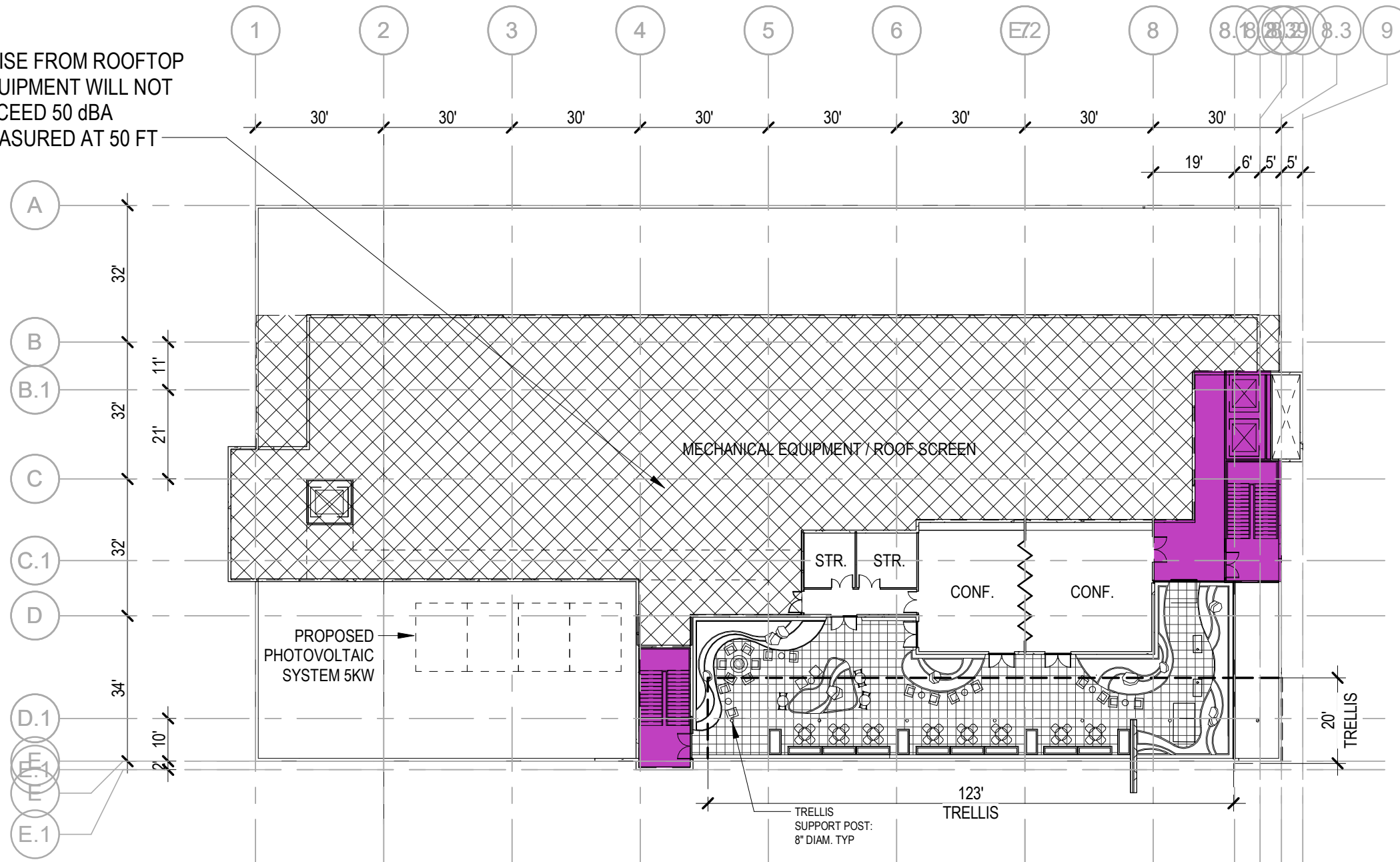
1005 O'BRIEN LEVEL 3-5



A9.4

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

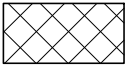


NOISE FROM ROOFTOP EQUIPMENT WILL NOT EXCEED 50 dBA MEASURED AT 50 FT



EMPLOYEE USE ONLY



LEGEND

-  MECHANICAL EQUIPMENT / ROOF SCREEN AREA
-  ROOF ACCESS & CIRCULATION
-  ROOF TOP TRELLIS



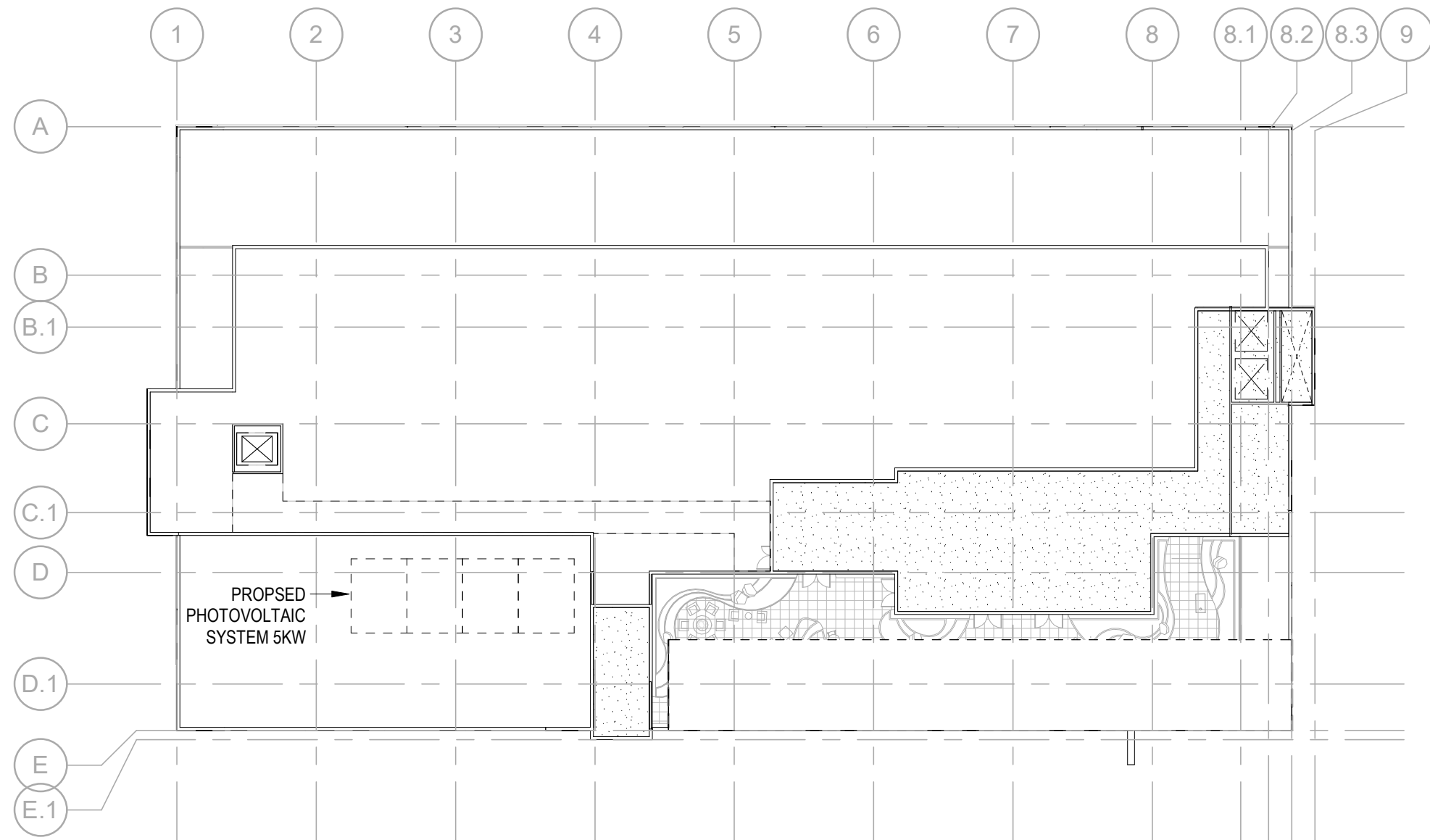
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1005 O'BRIEN ROOF DECK

A9.5
 DES ARCHITECTS ENGINEERS
 PAGE E-2.40

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
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06-22-2022 C.U.P. RESPONSE 2
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1005 O'BRIEN ROOF PLAN

A9.6
 DES ARCHITECTS ENGINEERS
 PAGE E-241



① GLASS (TYP), LOW-E, TINTED BLUE (BIRD SAFE GLASS)



② GLASS (LOBBY), LOW-E, CLEAR DOUBLE GLASS (BIRD SAFE GLASS)



③ WINDOW MULLIONS: JLR MZG GRAY MICA II



④ METAL PANEL SYSTEM AT LOWER CANOPY



⑤ CORRUGATED METAL PANEL: ROOF SCREEN, WALL CLADDING COLOR TO MATCH DUNN CHARCOAL SKETCH



⑨ PERFORATED METAL AWNINGS POWDER COATED GREY



⑥ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS RECLAIMED WOOD



⑦ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



⑧ HIGH DENSITY COMPOSITE EXTERIOR CLADDING: WOOD LOOK

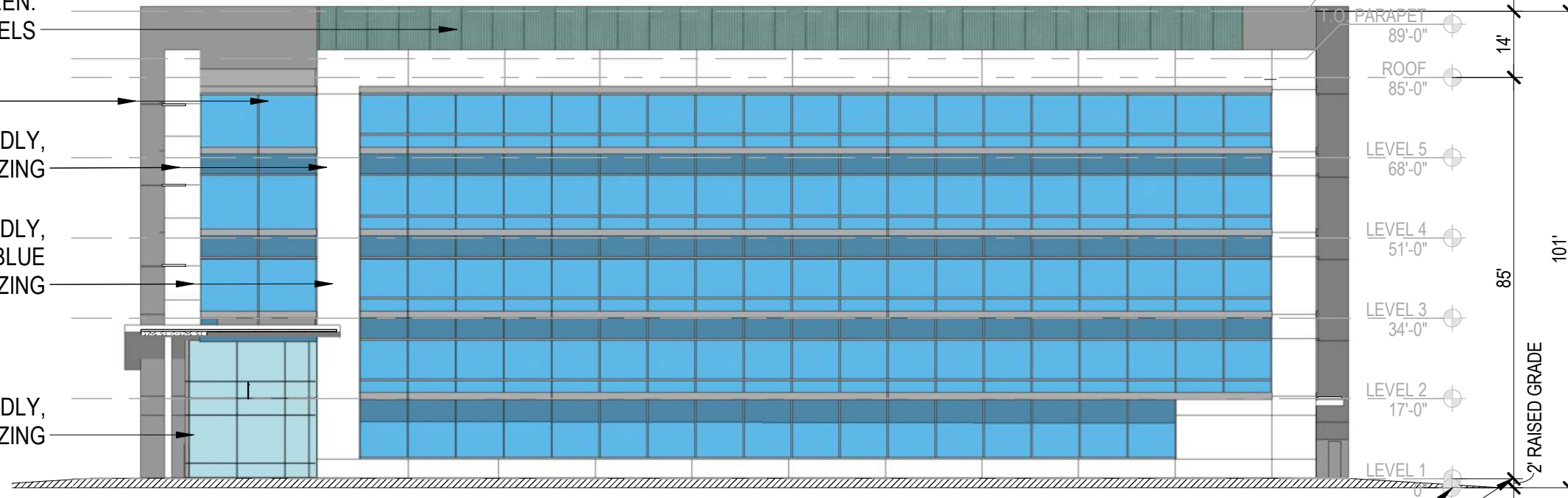


MECH SCREEN:
ALUMINUM PANELS

GFR
BIRD-FRIENDLY,
SPANDREL GLAZING

BIRD-FRIENDLY,
SOLAR BLUE
GLAZING

BIRD-FRIENDLY,
CLEAR GLAZING



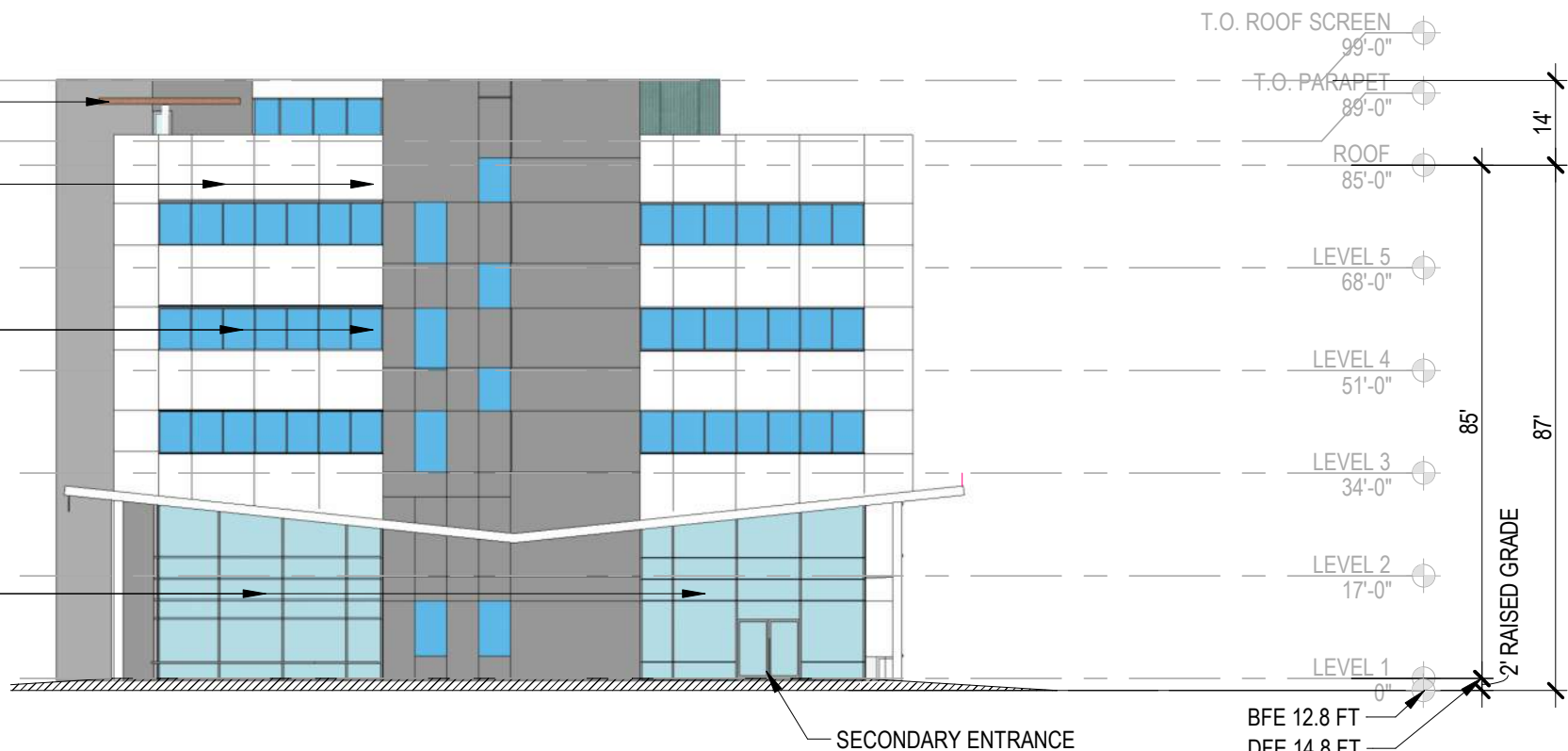
NORTH ELEVATION

TRELLIS W/POWDER COATED EXTRUDED
ALUMINUM LOUVERS

GFR

BIRD-FRIENDLY,
SOLAR BLUE GLAZING

BIRD-FRIENDLY,
CLEAR GLAZING



EAST ELEVATION



LEGEND

- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 4,375 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE
REQUIRED: 1,750 SF (40%)
PROVIDED: 2,063 SF (47%)

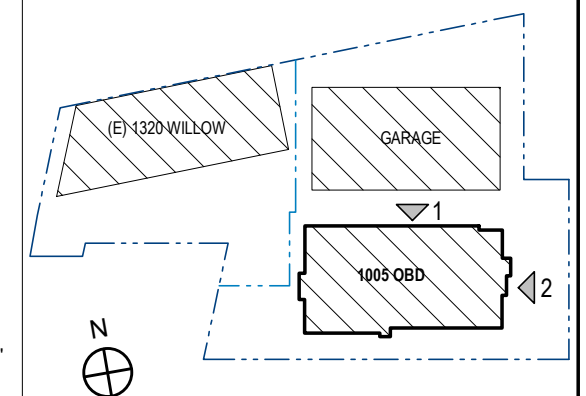
PROPOSED GLAZING RATIO

NORTH ELEVATION: 22,400 SF
SOLAR BLUE GLAZING: 15,000 SF (67%)
CLEAR GLAZING: 810 SF (4%)

EAST ELEVATION: 11,150 SF
SOLAR BLUE GLAZING: 2,000 SF (18%)
CLEAR GLAZING: 2,000 SF (18%)

NOTE:
ALUMINUM FRAMES AT WINDOWS AND DOORS

KEY PLAN



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

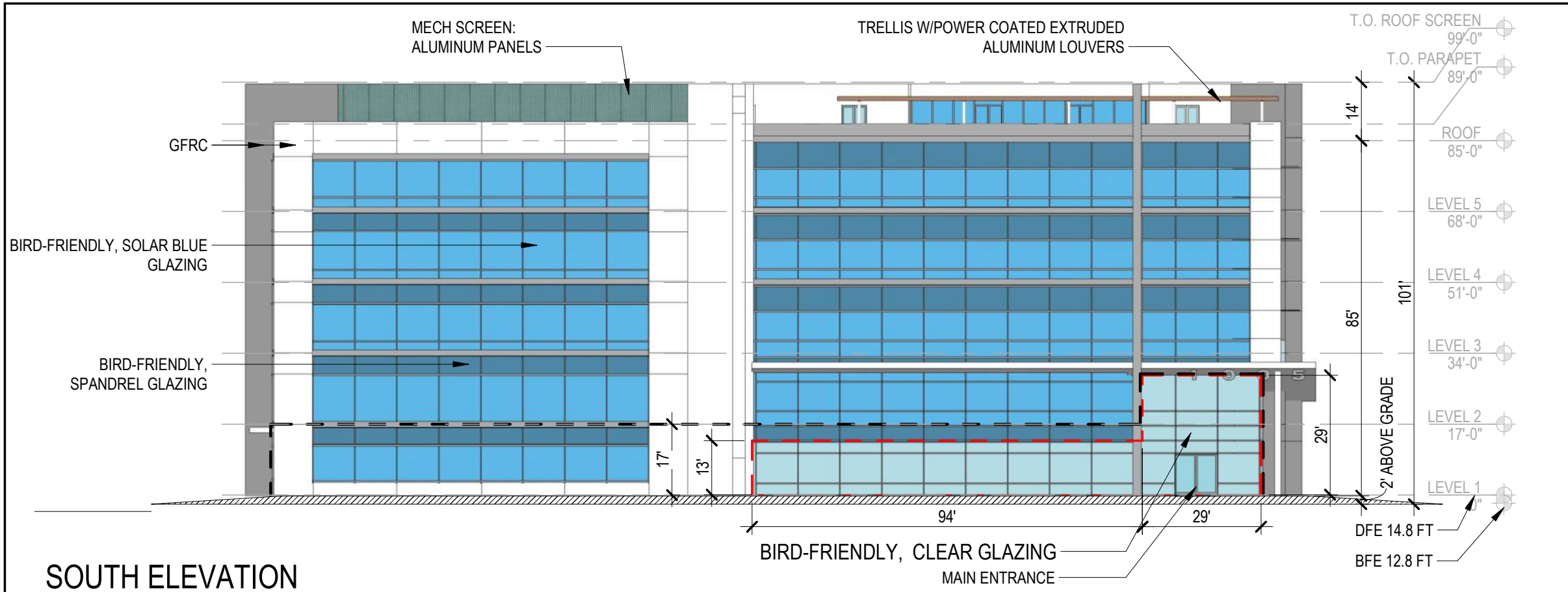


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1005 O'BRIEN BUILDING
ELEVATIONS

A10.1 **DES**
ARCHITECTS
ENGINEERS
PAGE E-2.43



SOUTH ELEVATION

LEGEND

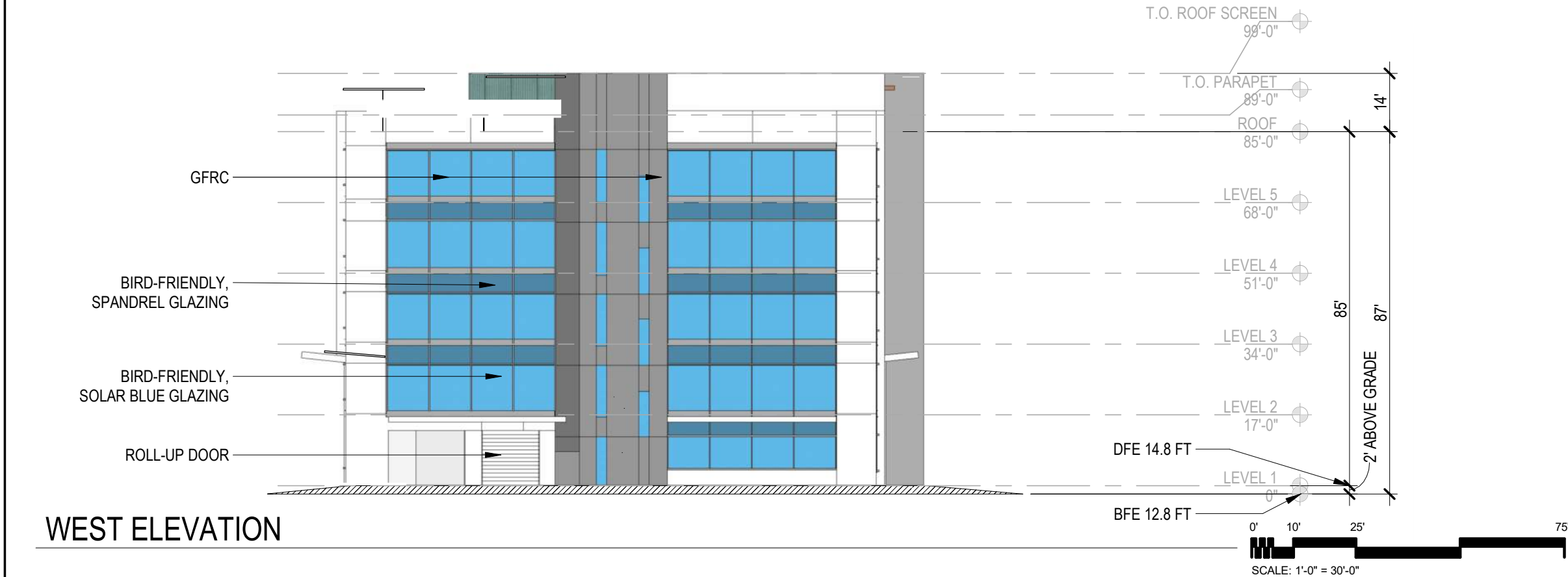
- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 4,375 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE REQUIRED: 1,750 SF (40%) PROVIDED: 2,063 SF (47%)

PROPOSED GLAZING RATIO

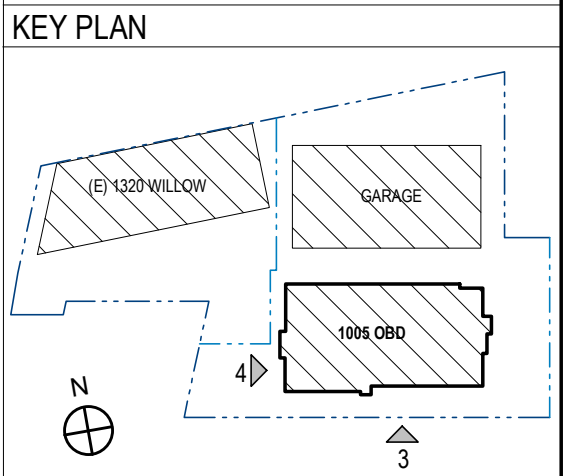
SOUTH ELEVATION: 22,000 SF
 SOLAR BLUE GLAZING: 13,510 SF (61%)
 CLEAR GLAZING: 2,063 SF (9%)

WEST ELEVATION: 10,800 SF
 SOLAR BLUE GLAZING: 3,700 SF (34%)

NOTE:
 ALUMINUM FRAMES AT WINDOWS AND DOORS



WEST ELEVATION



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



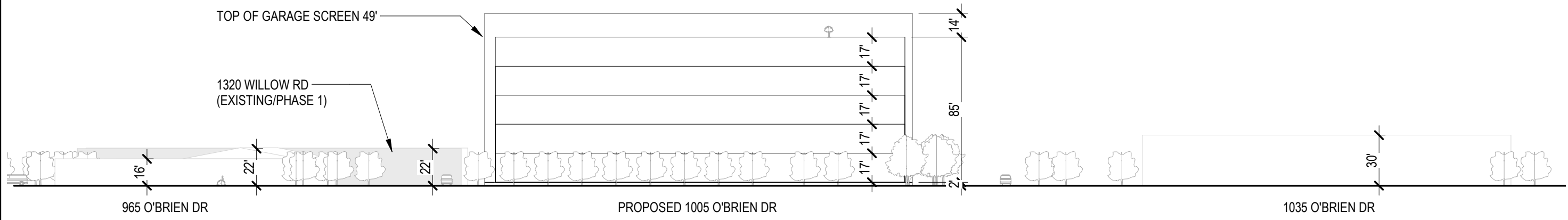
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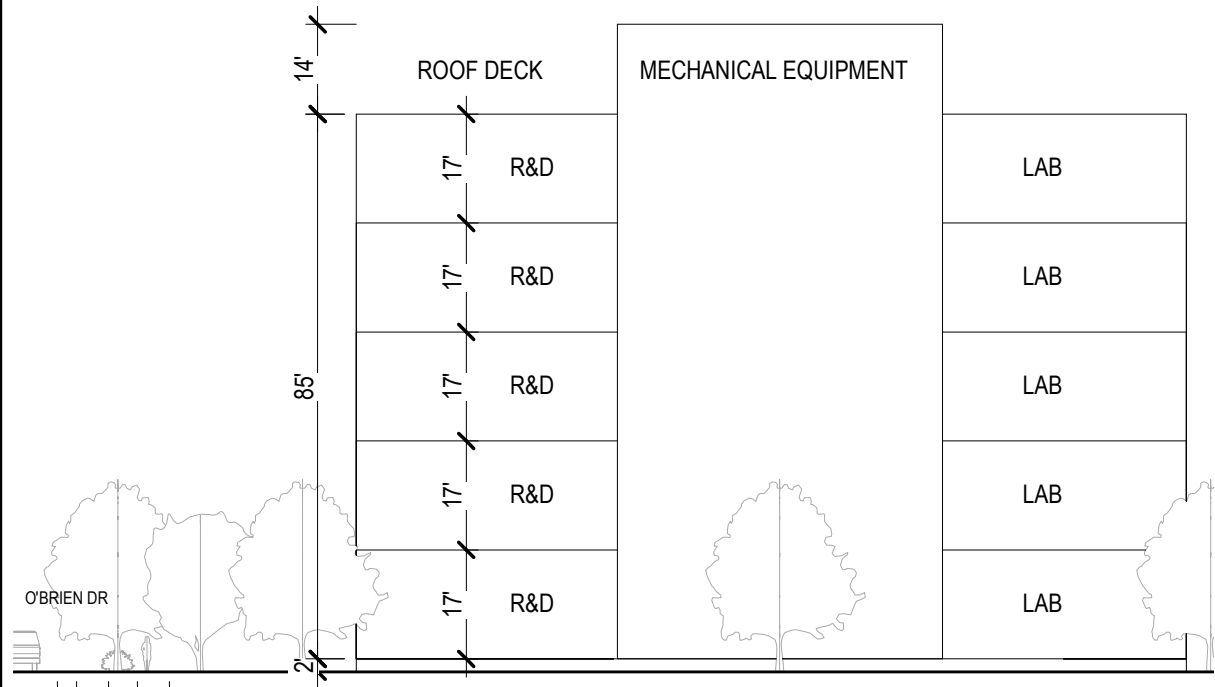
1005 O'BRIEN BUILDING
 ELEVATIONS

A10.2

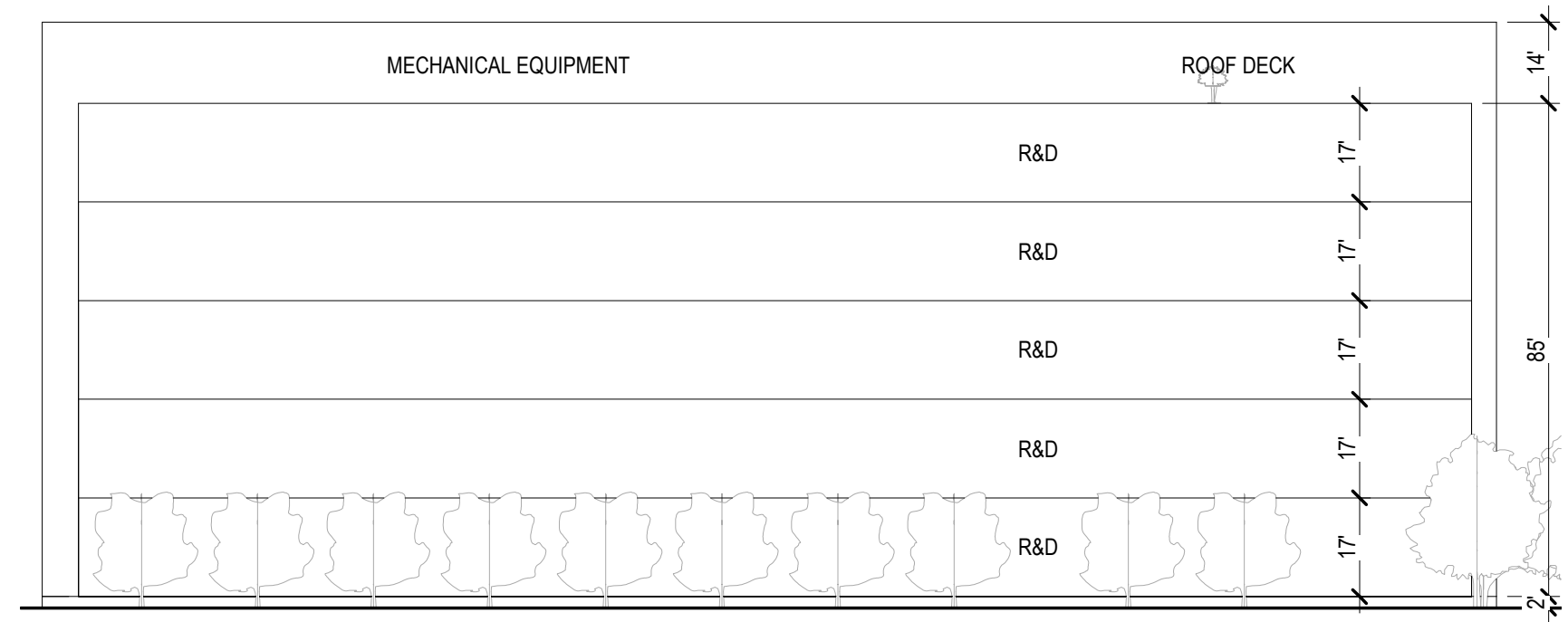
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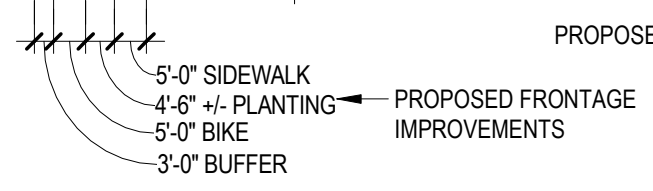
1005 O'BRIEN DR STREETScape - SOUTH



1005 O'BRIEN DR SECTION - EAST



1005 O'BRIEN DR SECTION - SOUTH



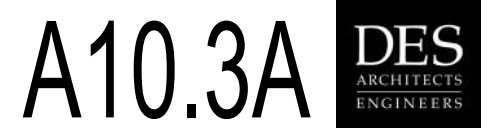
BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



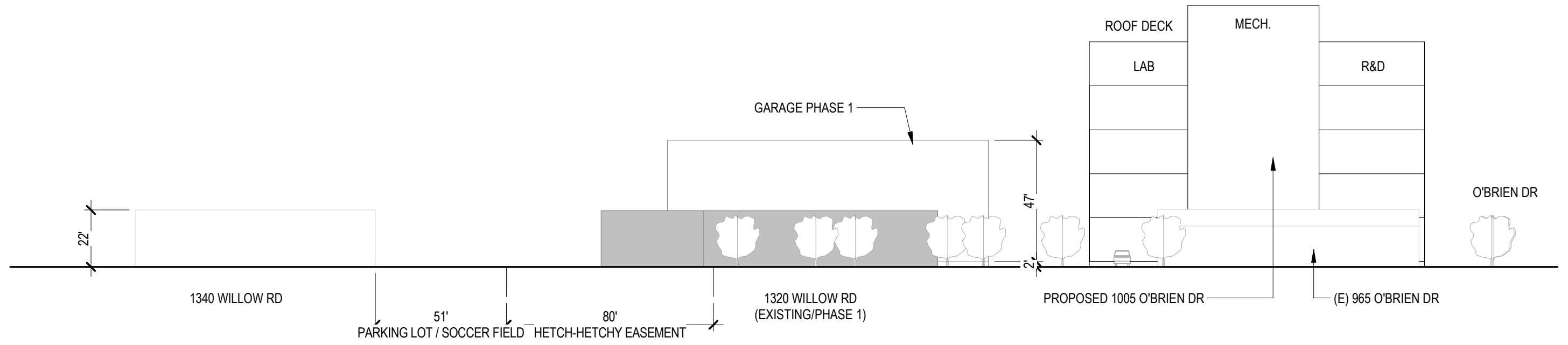
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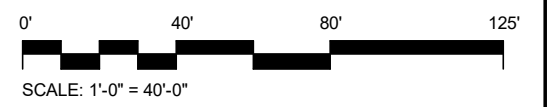
1005 O'BRIEN CROSS SECTION &
STREETScape - PHASE 1



A10.3A



1 WILLOW ROAD - WEST
1" = 40'-0"



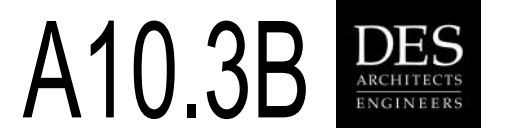
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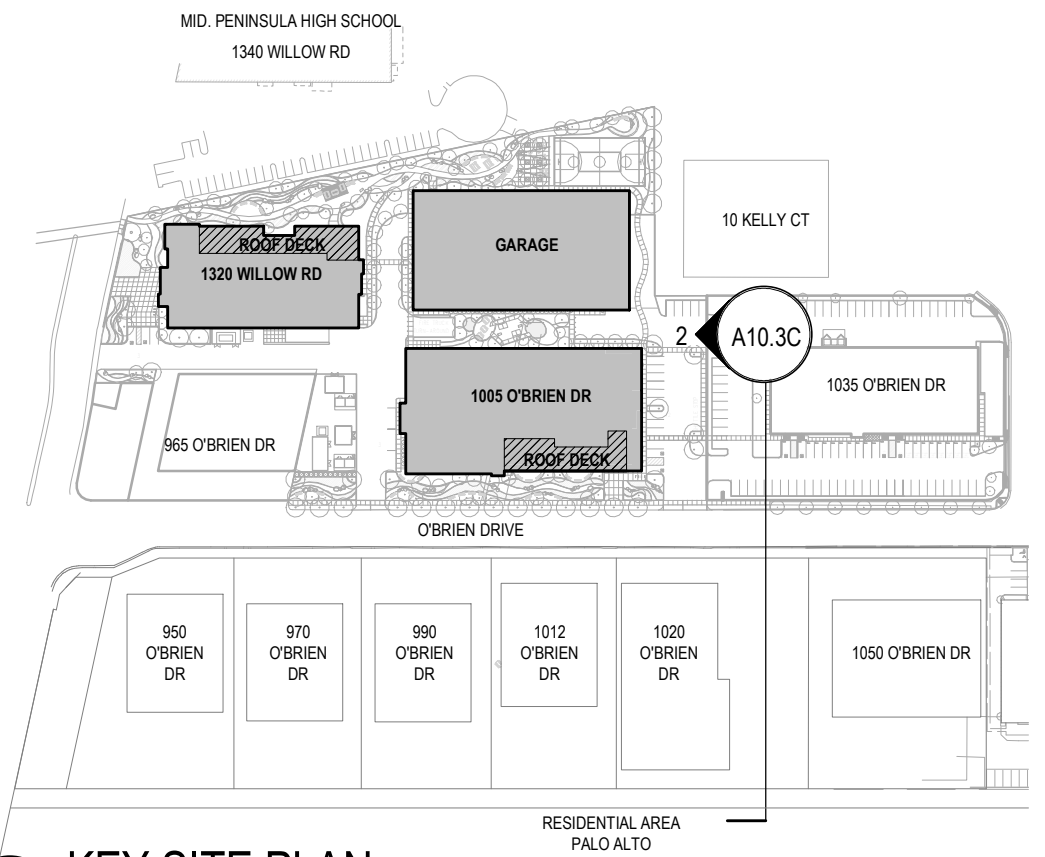


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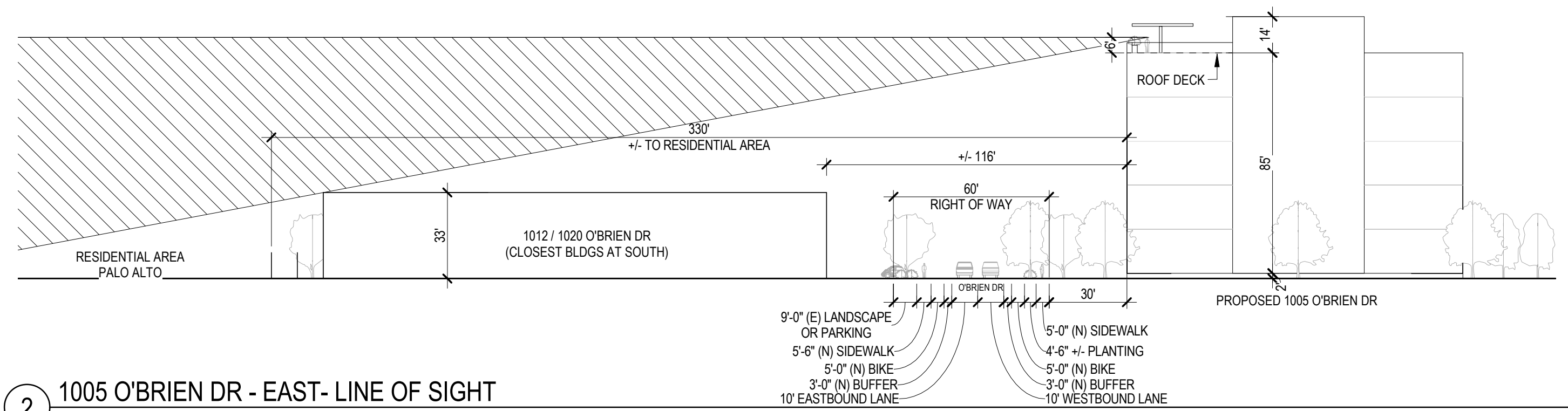
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1320 WILLOW CROSS SECTION &
STREETSCAPE - PHASE 1





1 KEY SITE PLAN
1" = 200'-0"



2 1005 O'BRIEN DR - EAST- LINE OF SIGHT
1" = 40'-0"

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
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07-12-2023 C.U.P. RESPONSE 5

LINE OF SIGHT STUDY

A10.3C

DES ARCHITECTS ENGINEERS

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FRONT VIEW



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1005 O'BRIEN 3D MASSING

A10.4





NORTH-EAST VIEW



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1005 O'BRIEN 3D MASSING

A10.5 **DES**
ARCHITECTS
ENGINEERS



SOUTH-EAST AERIAL VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

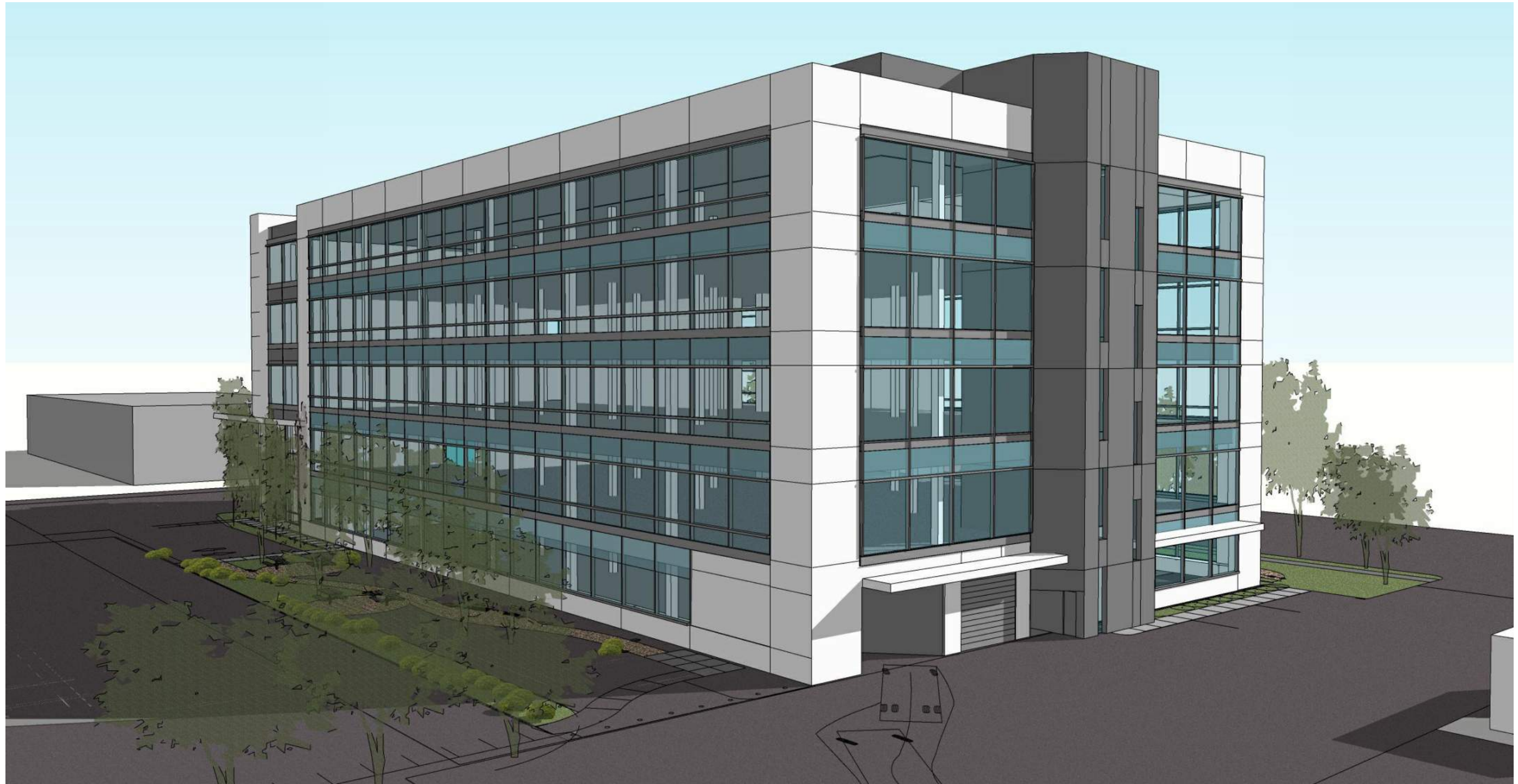


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1005 O'BRIEN 3D MASSING

A10.6 
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NORTH-WEST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



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1005 O'BRIEN 3D MASSING





BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



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1005 O'BRIEN 3D MASSING

A10.8



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NORTH-EAST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



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SPORTS COURT 3D MASSING

A10.20





NORTH VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



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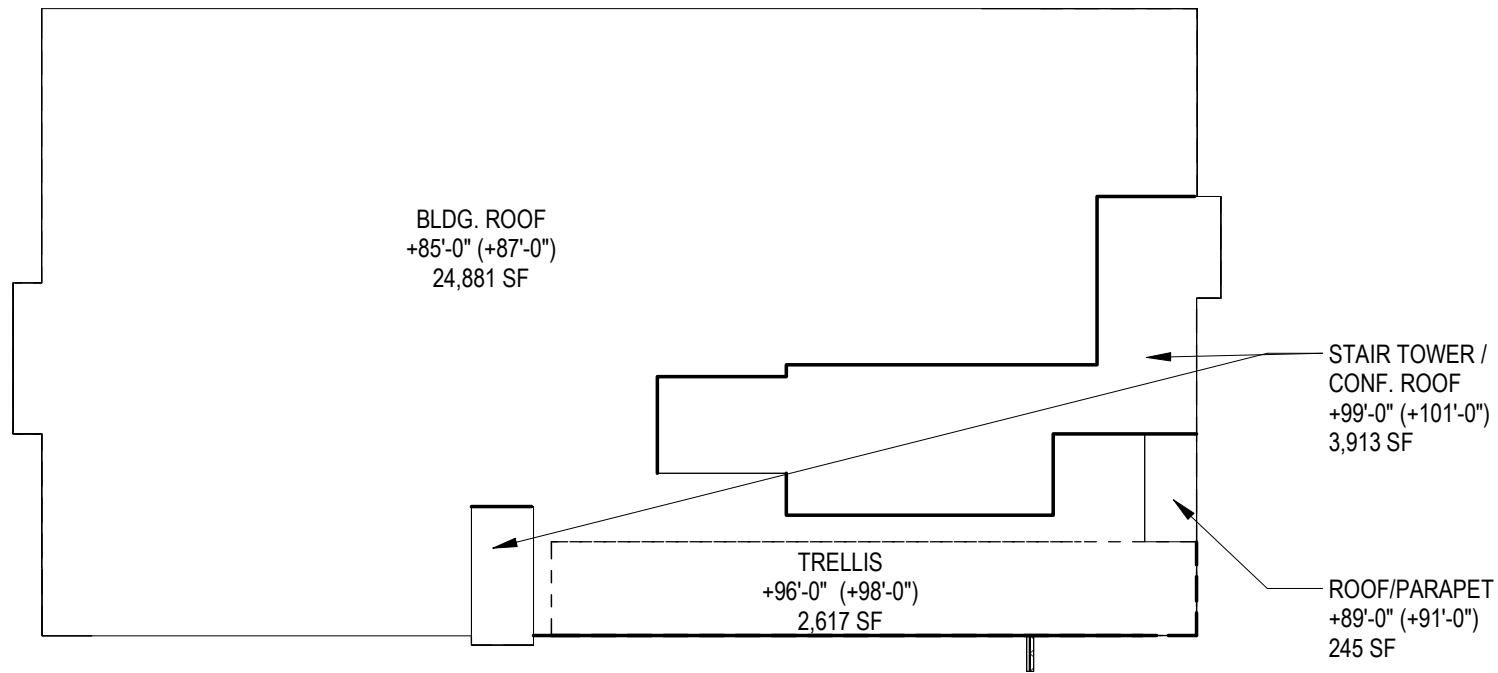
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SPORTS COURT 3D MASSING

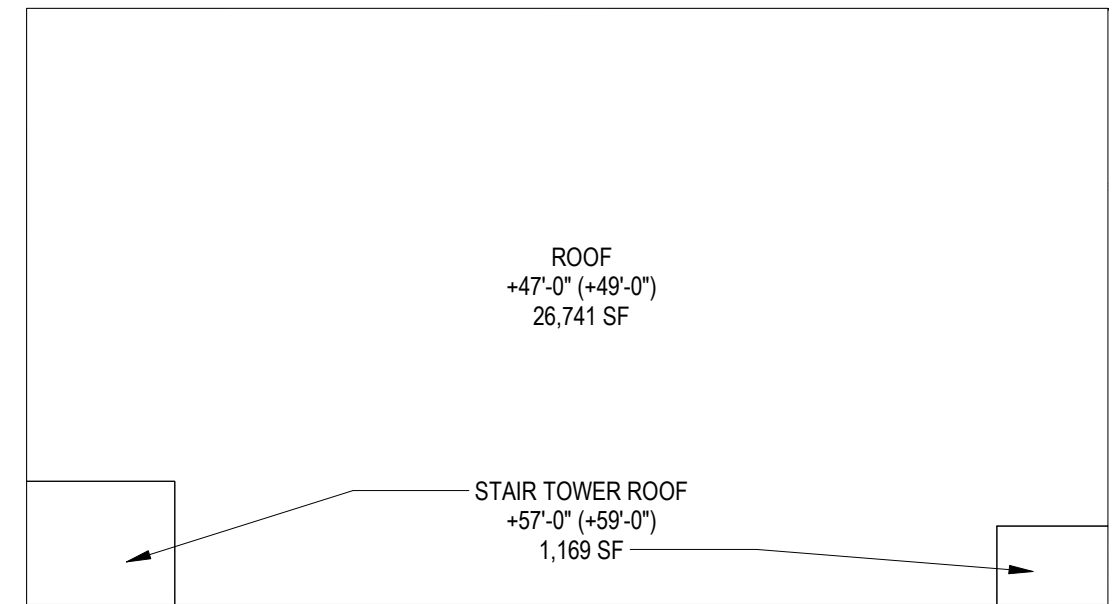
A10.21



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



1 1005 O'BRIEN - PHASE 1
1" = 40'-0"

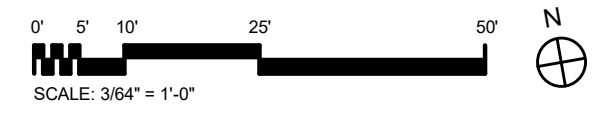
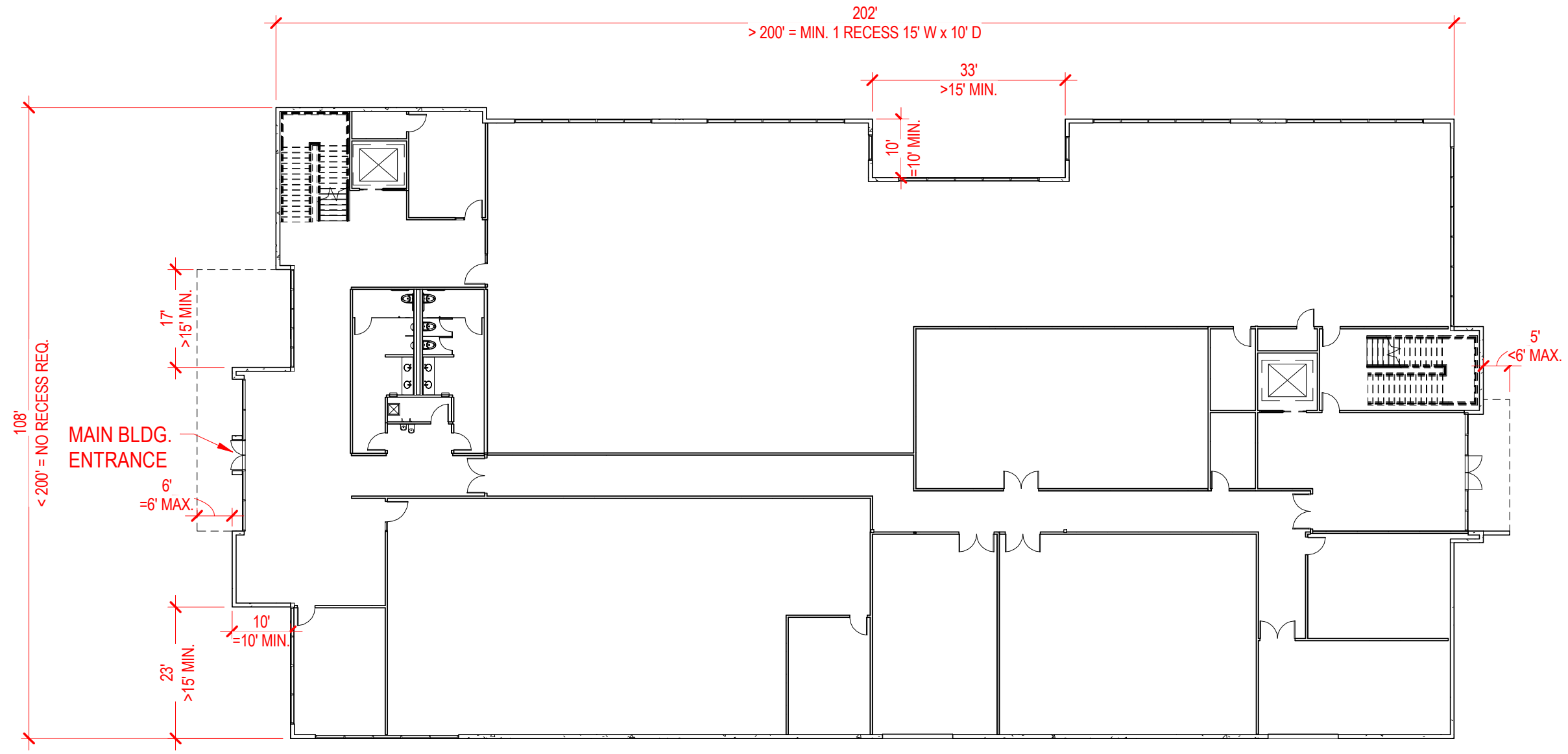


2 GARAGE PHASE 1
1" = 40'-0"

AVERAGE HEIGHT CALCULATION - PHASE 1				
BUILDING		FLOORPLATE (SF)	BLDG. HEIGHT (FT)*	FLOORPLATE x BLDG. HEIGHT
1005 R&D (85')	BLDG. ROOF	24,881	87	2,164,647
	ROOF/PARAPET	245	91	22,295
	TRELLIS	2,617	98	256,466
	STAIRS / CONF....	3,913	101	395,213
GARAGE - PH1 (47')	GARAGE ROOF	26,741	49	1,310,309
	STAIRS TOWERS	1,169	59	68,971
TOTAL		59,566		4,217,901
AVERAGE HEIGHT (TOTAL FLOORPLATE x BLDG. HEIGHT/TOTAL FLOORPLATE)				70.81

AVERAGE HEIGHT MAX. = 77.5 FT (INC. 10FT INCREASE PER IN FLOOD ZONE LOCATION)

* INCLUDES 2FT RAISED GRADE ABOVE EXISTING GRADE TO ACCOMMODATE FLOOD PLAIN REQUIREMENTS.



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3
 02-17-2023 C.U.P. RESPONSE 4
 07-12-2023 C.U.P. RESPONSE 5

1320 WILLOW BLDG. MODULATION



SHEET NOTES

GROSS FLOOR AREA:

LEVEL 1 R&D AREA	21,312 SF
LEVEL 2 R&D AREA	20,270 SF
LEVEL 3 R&D AREA	20,923 SF
LEVEL 4 R&D AREA	8,912 SF
ROOF STAIRS & ELEV.	2,200 SF
CHEMICAL STORAGE	200 SF

TOTAL: 73,817 SF

OUTDOOR ROOF DECK:

CIRCULATION:	1,643 SF
LANDSCAPE:	1,538 SF
SEATING/OPEN AREA:	1,168 SF
TOTAL:	4,349 SF

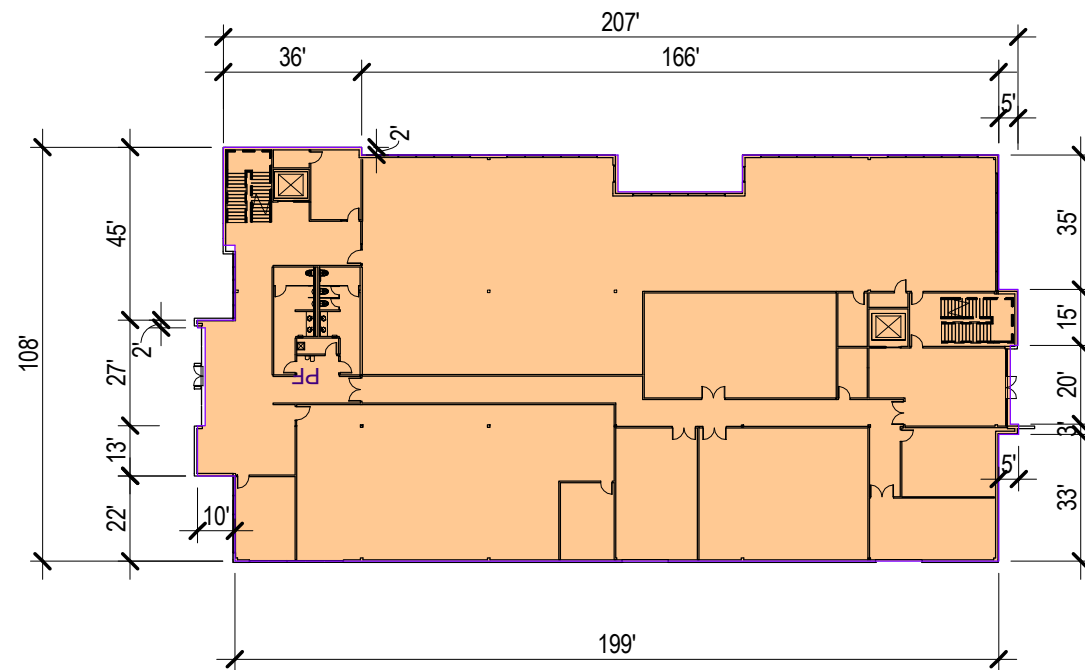
LEGEND

BUILDING (FAR)

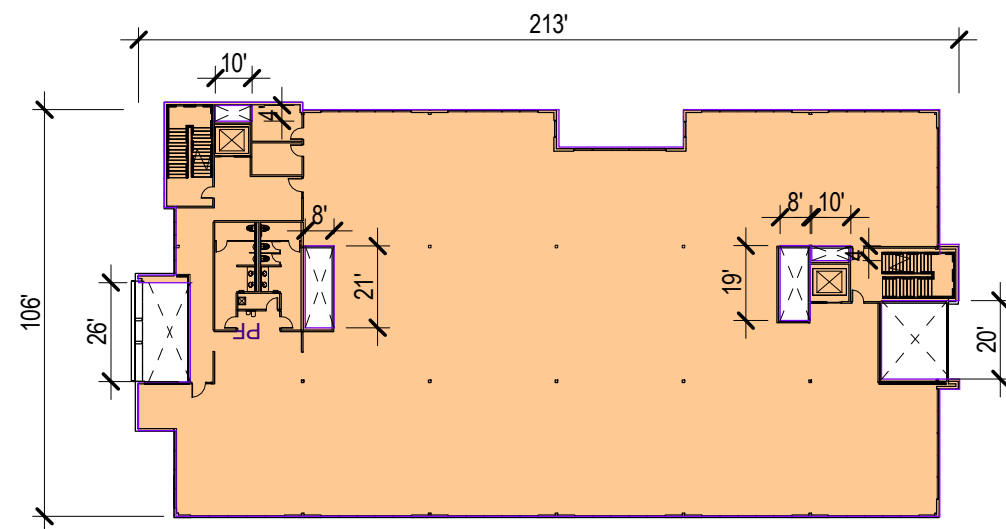
- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE
- CHEMICAL STORAGE

BUILDING (NOT INCLUDED IN FAR)

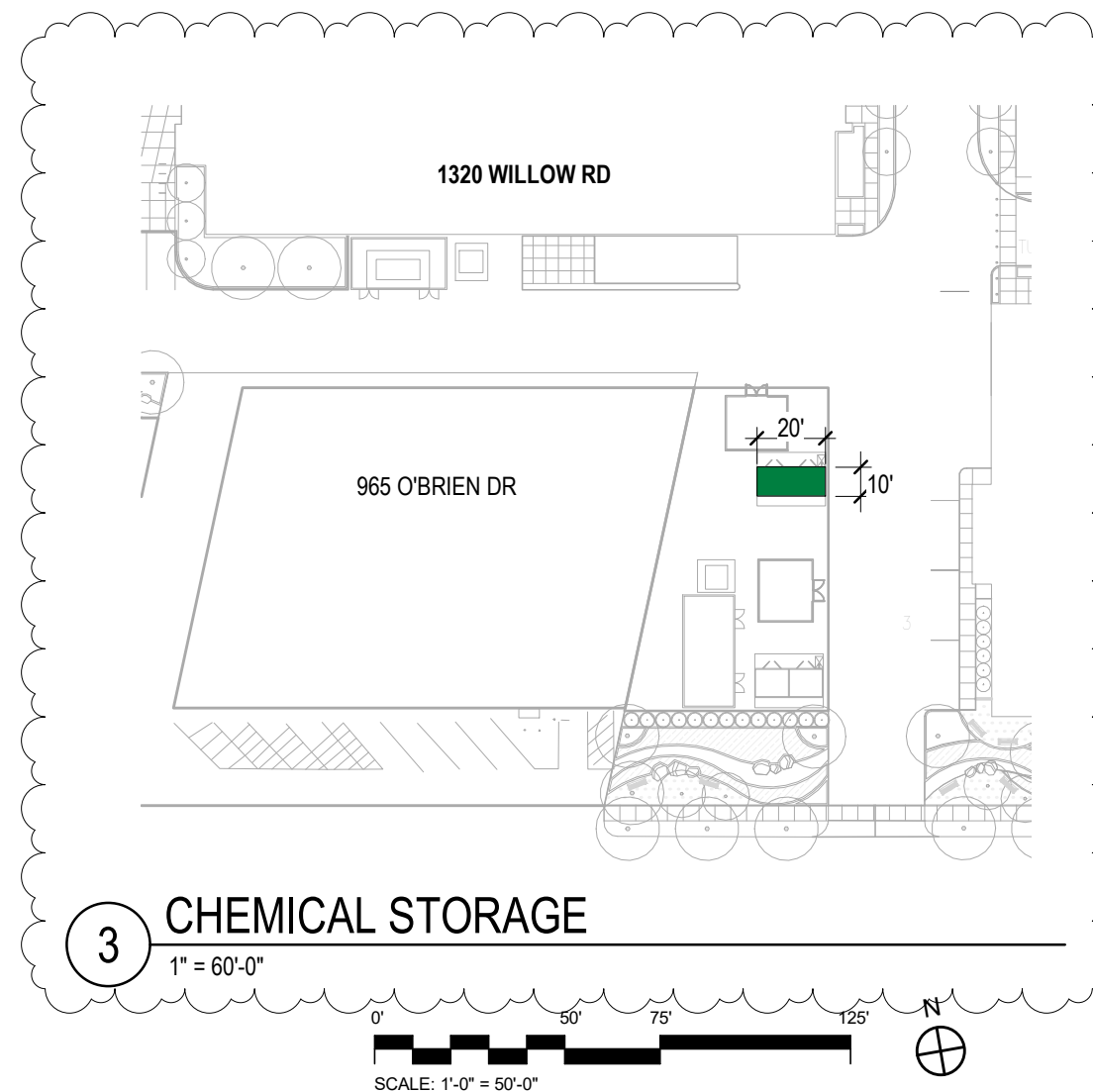
- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS



1 1320 LEVEL 1
1" = 50'-0"



2 1320 LEVEL 2
1" = 50'-0"



3 CHEMICAL STORAGE
1" = 60'-0"

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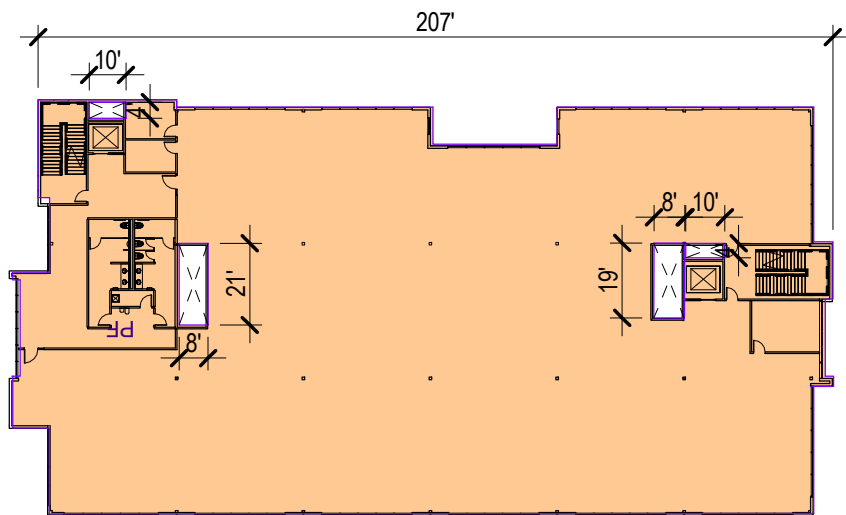
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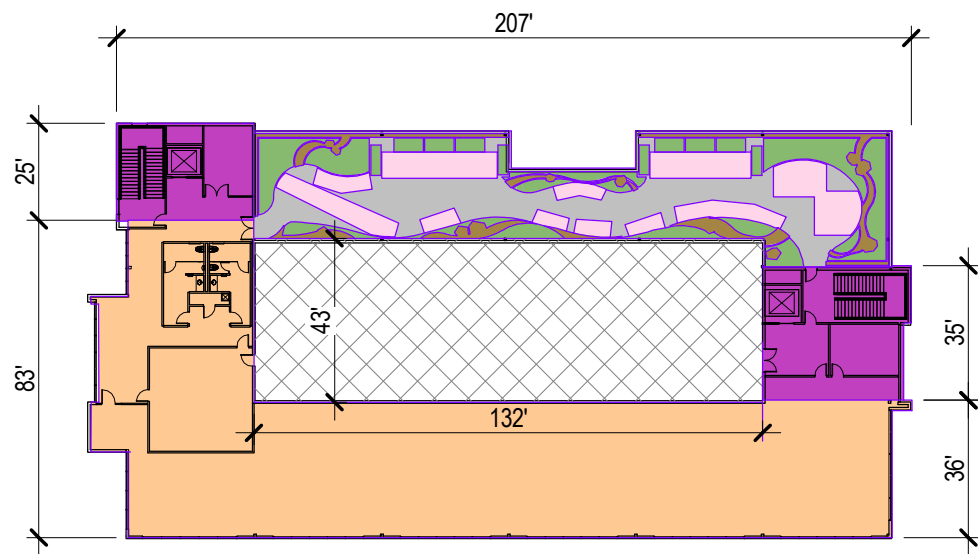
1320 WILLOW GROSS FLOOR AREA
DIAGRAMS



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



1 1320 LEVEL 3
1" = 50'-0"



2 1320 LEVEL 4/ROOF
1" = 50'-0"

SHEET NOTES

GROSS FLOOR AREA:

LEVEL 1 R&D AREA	21,312 SF
LEVEL 2 R&D AREA	20,270 SF
LEVEL 3 R&D AREA	20,923 SF
LEVEL 4 R&D AREA	8,912 SF
ROOF STAIRS & ELEV.	2,200 SF
CHEMICAL STORAGE	200 SF

TOTAL: 73,817 SF

OUTDOOR ROOF DECK:

CIRCULATION:	1,643 SF
LANDSCAPE:	1,538 SF
SEATING/OPEN AREA:	1,168 SF
TOTAL:	4,349 SF

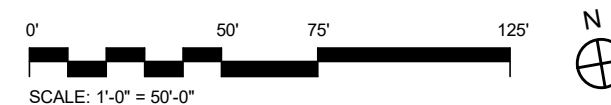
LEGEND

BUILDING (FAR)

- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE
- CHEMICAL STORAGE

BUILDING (NOT INCLUDED IN FAR)

- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS



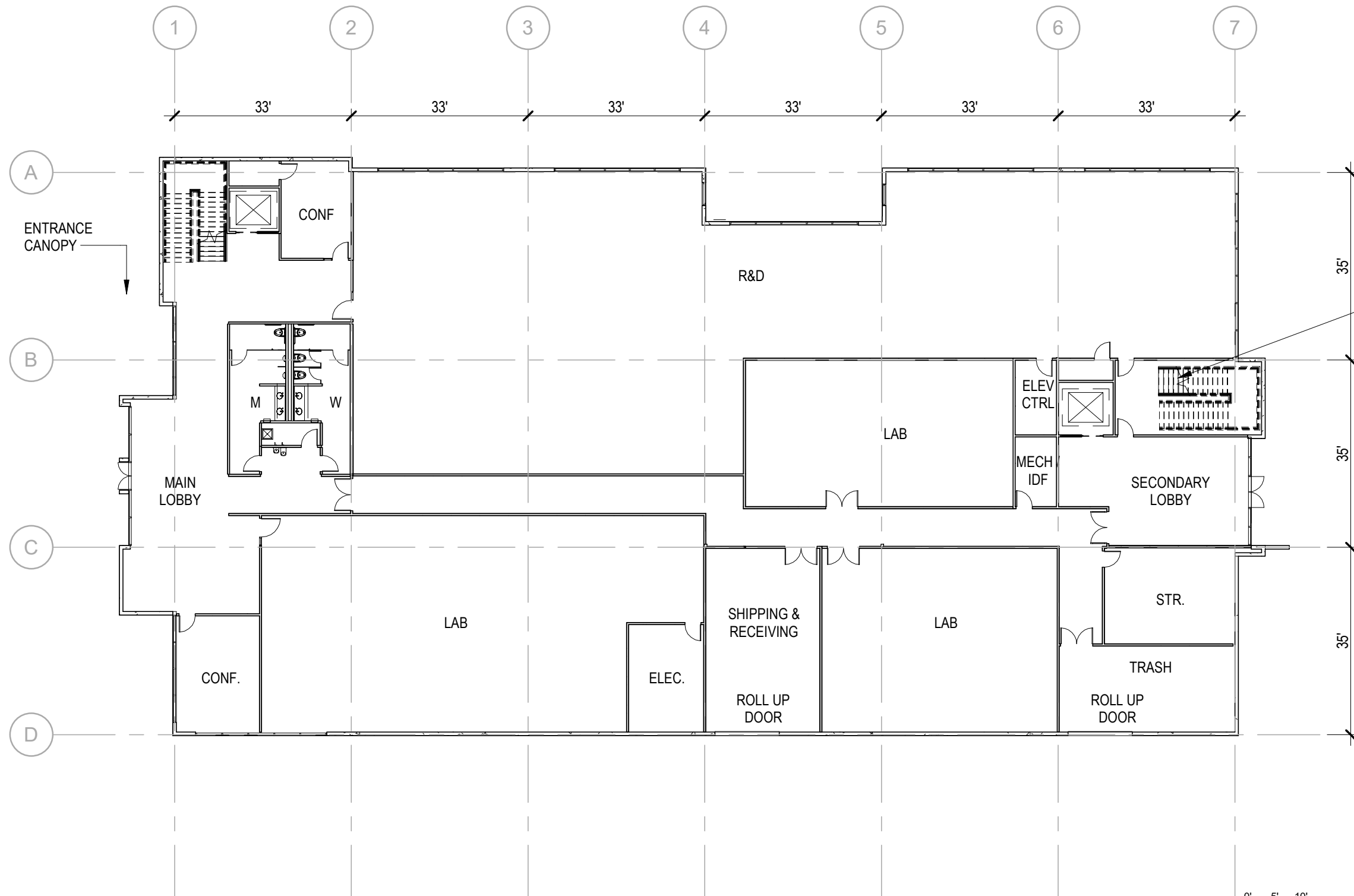
985 & 1001 O'BRIEN DR
1320 WILLOW RD
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1320 WILLOW GROSS FLOOR AREA
DIAGRAMS

A11.1B DES ARCHITECTS ENGINEERS
PAGE E-2.58

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



BIKE STORAGE UNDER STAIR FITS 5 BIKES



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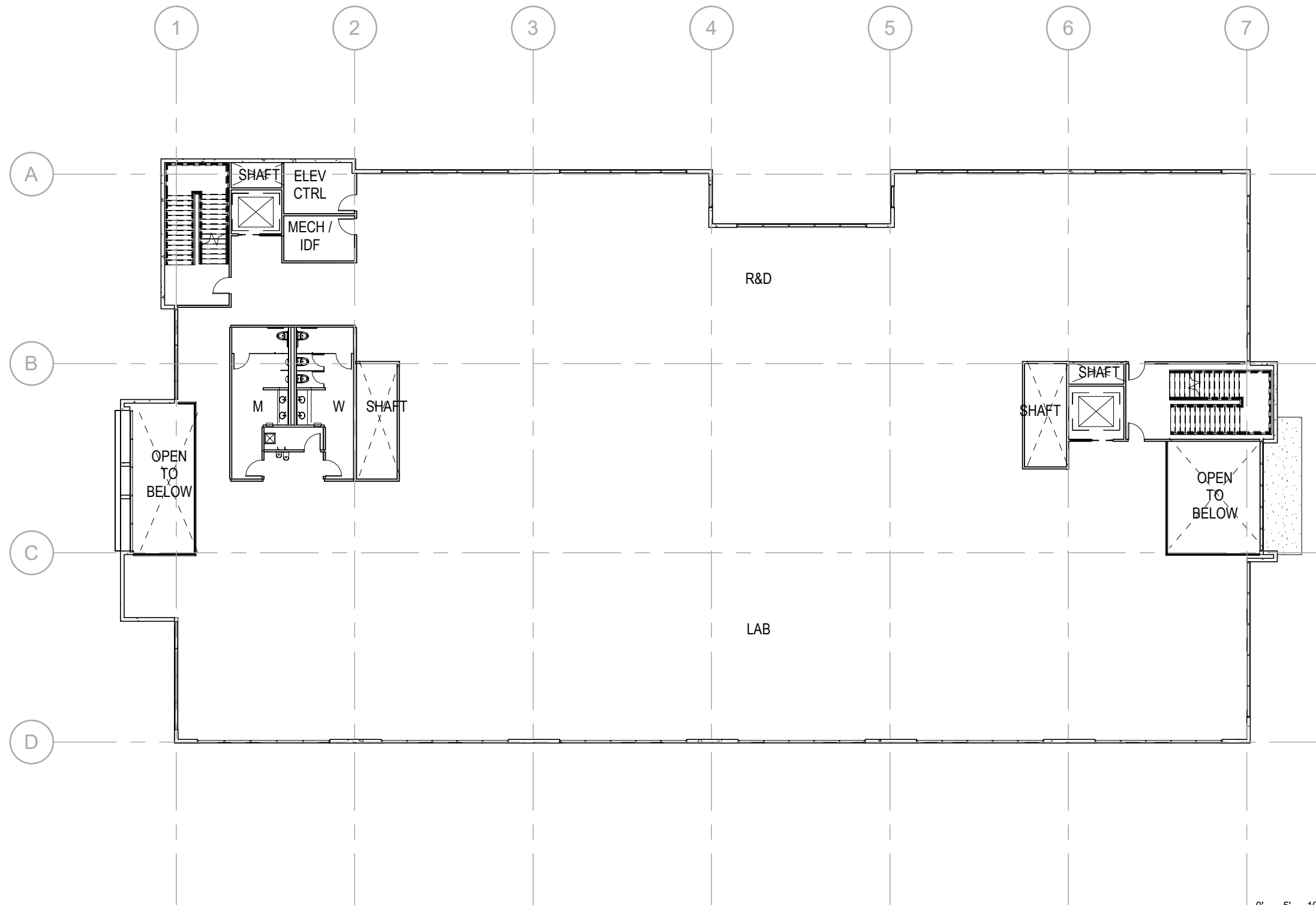
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1320 WILLOW LEVEL 1



A11.2

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



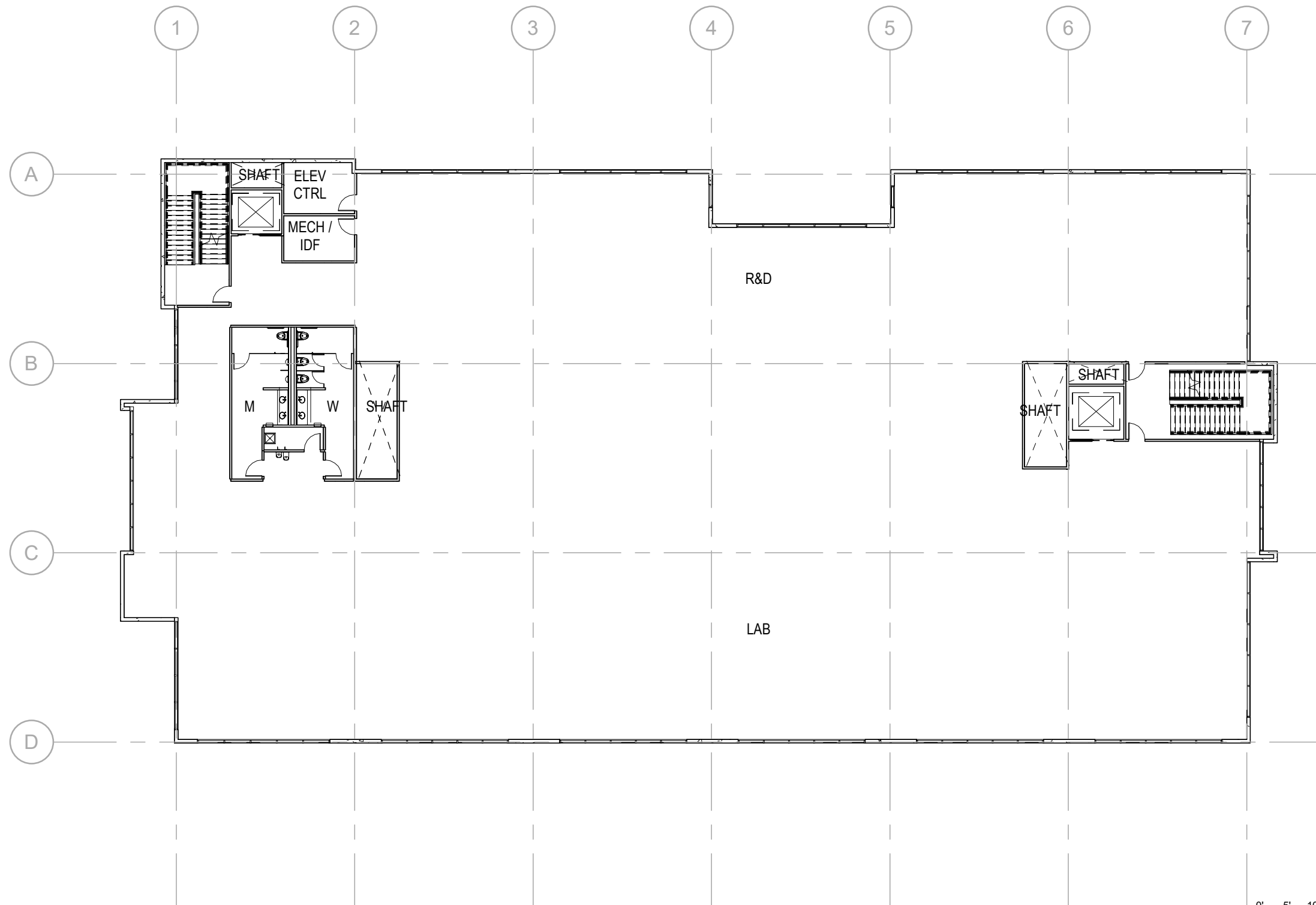
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 07-12-2023 C.U.P. RESPONSE 5

1320 WILLOW LEVEL 2

A11.3 **DES**
 ARCHITECTS
 ENGINEERS
 PAGE E-2.60

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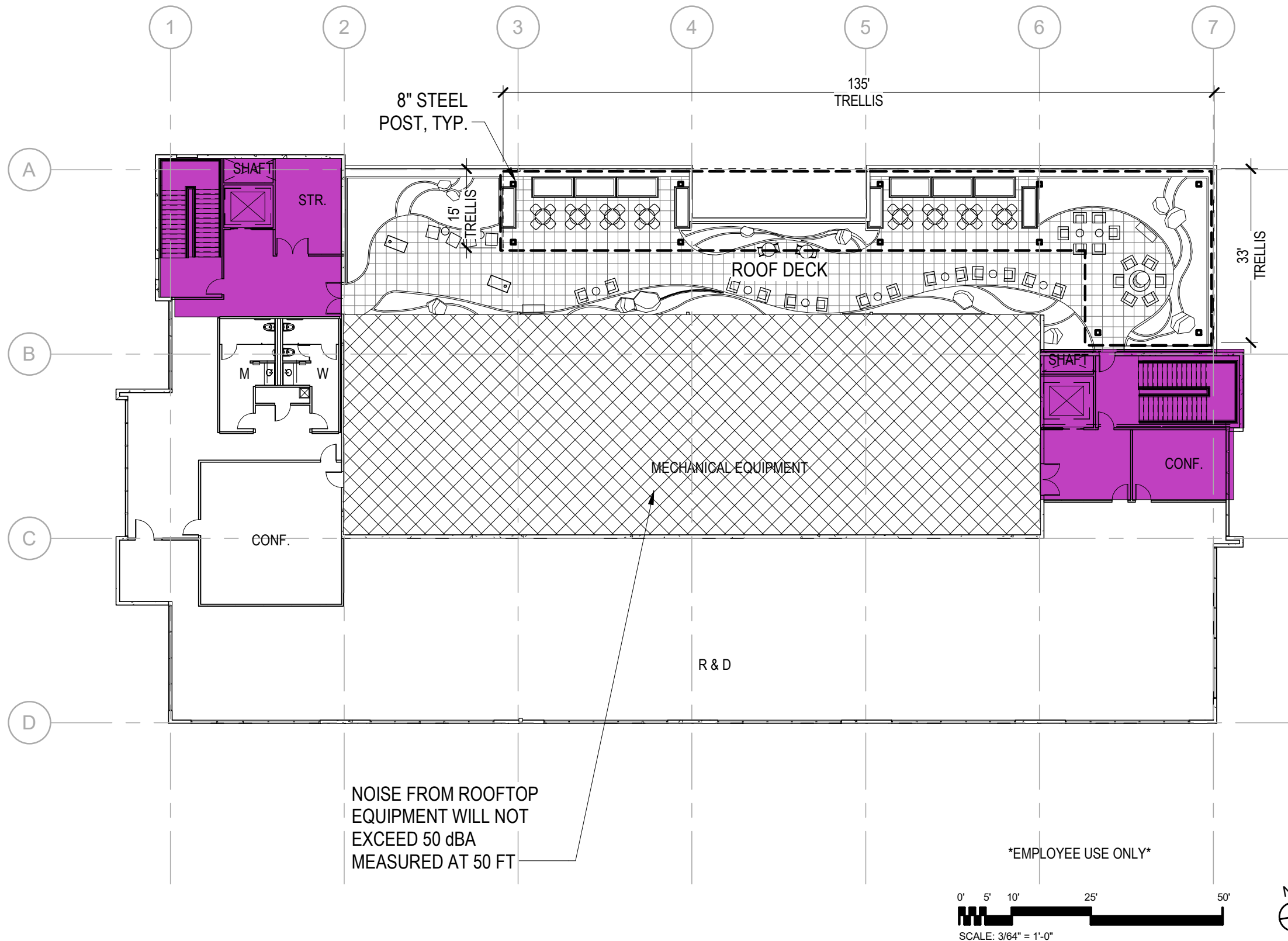
985 & 1001 O'BRIEN DR
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1320 WILLOW LEVEL 3



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



LEGEND

-  MECHANICAL EQUIPMENT / ROOF SCREEN AREA
-  ROOF ACCESS & CIRCULATION
-  ROOF TOP TRELLIS



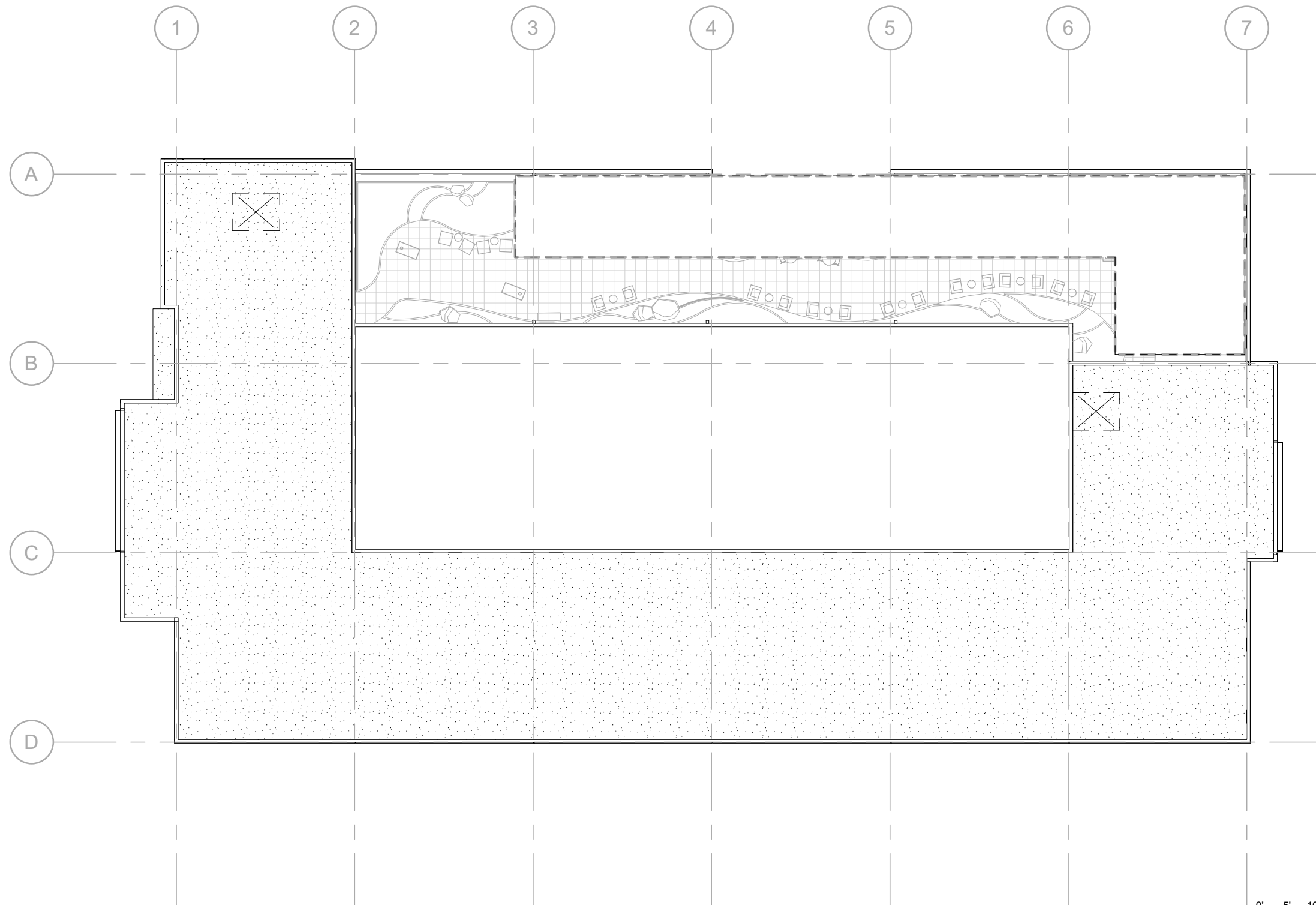
985 & 1001 O'BRIEN DR
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1320 WILLOW LEVEL 4 / ROOF DECK

A11.5 
 PAGE E-2.62

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



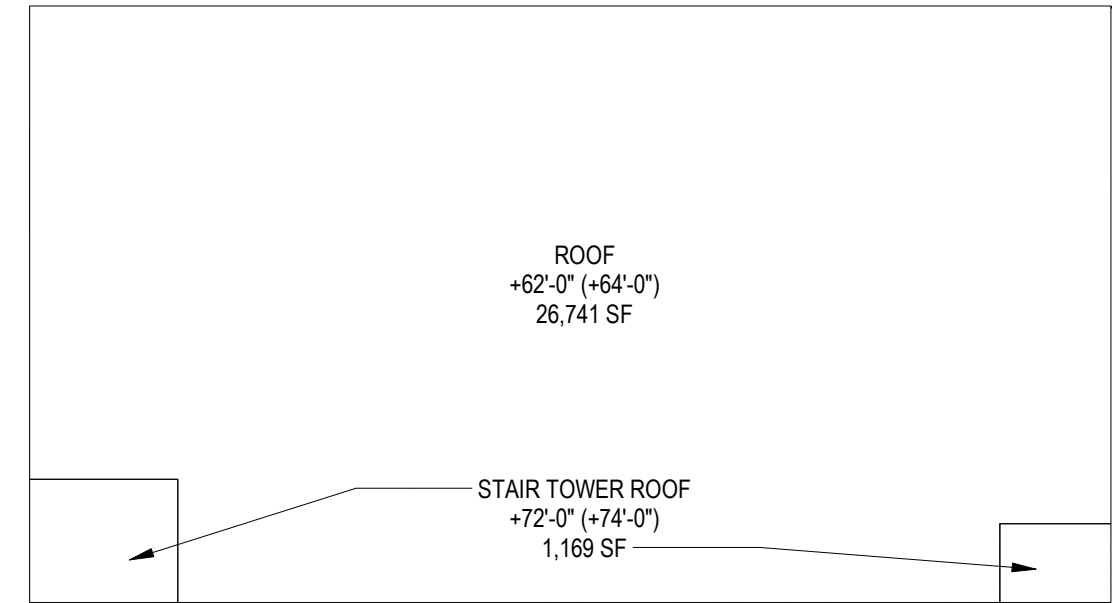
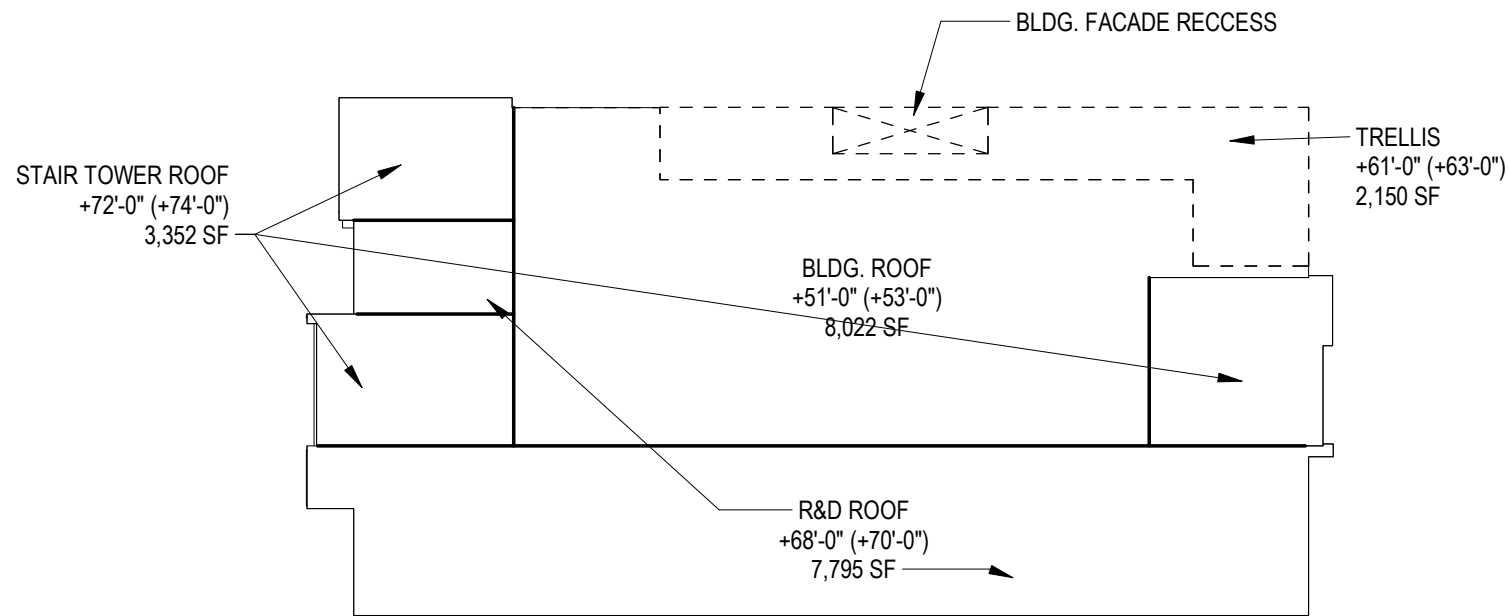
985 & 1001 O'BRIEN DR
 1320 WILLOW RD
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 07-12-2023 C.U.P. RESPONSE 5

1320 WILLOW ROOF



A11.6



1 1320 WILLOW - PHASE 2
1" = 40'-0"

2 GARAGE PHASE 2
1" = 40'-0"

AVERAGE HEIGHT CALCULATION - PHASE 2				
BUILDING		FLOORPLATE (SF)	BLDG. HEIGHT (FT)*	FLOORPLATE x BLDG. HEIGHT
1005 R&D (85')	BLDG. ROOF	24,881	87	2,164,647
	ROOF/PARAPET	245	91	22,295
	TRELLIS	2,617	98	256,466
	STAIRS / CONF....	3,913	101	395,213
GARAGE - PH2 (62')	GARAGE ROOF	26,741	64	1,711,424
	STAIRS TOWERS	1,169	74	86,506
1320 WILLOW - PH2 (68')	BLDG. ROOF	8,022	53	425,166
	TRELLIS	2,150	63	135,450
	BLDG. ROOF	7,795	70	545,650
	STAIRS TOWERS	3,352	74	248,048
TOTAL		80,885		5,990,865

AVERAGE HEIGHT (TOTAL FLOORPLATE x BLDG. HEIGHT/TOTAL FLOORPLATE)	74.07
---	-------

AVERAGE HEIGHT MAX. = 77.5 FT (INC. 10FT INCREASE PER IN FLOOD ZONE LOCATION)

* INCLUDES 2FT RAISED GRADE ABOVE EXISTING GRADE TO ACCOMMODATE FLOOD PLAIN REQUIREMENTS.

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3
02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

PHASE 2 HEIGHT CALCULATION

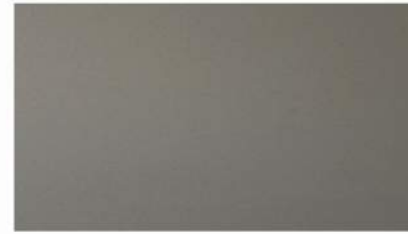




① GLASS (TYP), LOW-E, TINTED BLUE (BIRD SAFE GLASS)



② GLASS (LOBBY), LOW-E, CLEAR DOUBLE GLASS (BIRD SAFE GLASS)



③ WINDOW MULLIONS: JLR MZG GRAY MICA II



④ METAL PANEL SYSTEM AT ENTRY CANOPY



⑤ CORRUGATED METAL PANEL: ROOF SCREEN, WALL CLADDING COLOR TO MATCH DUNN CHARCOAL SKETCH

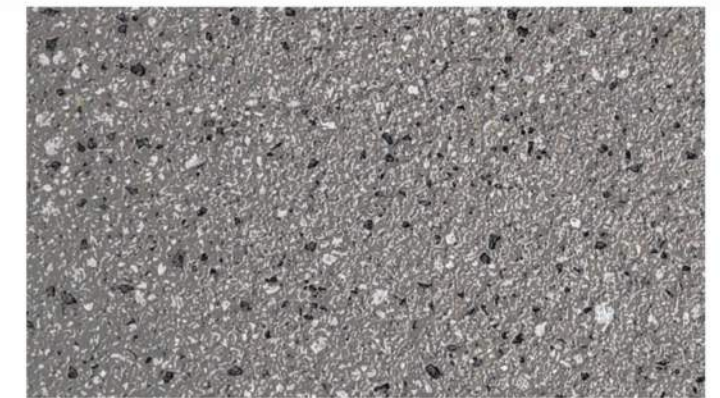


⑨ PERFORATED METAL AWNINGS: POWDER COATED GREY

⑩ PAINTED METAL TUBE LOUVERS COLOR TO MATCH DUNN EDWARDS AUTUMN BARK



⑥ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS RECLAIMED WOOD



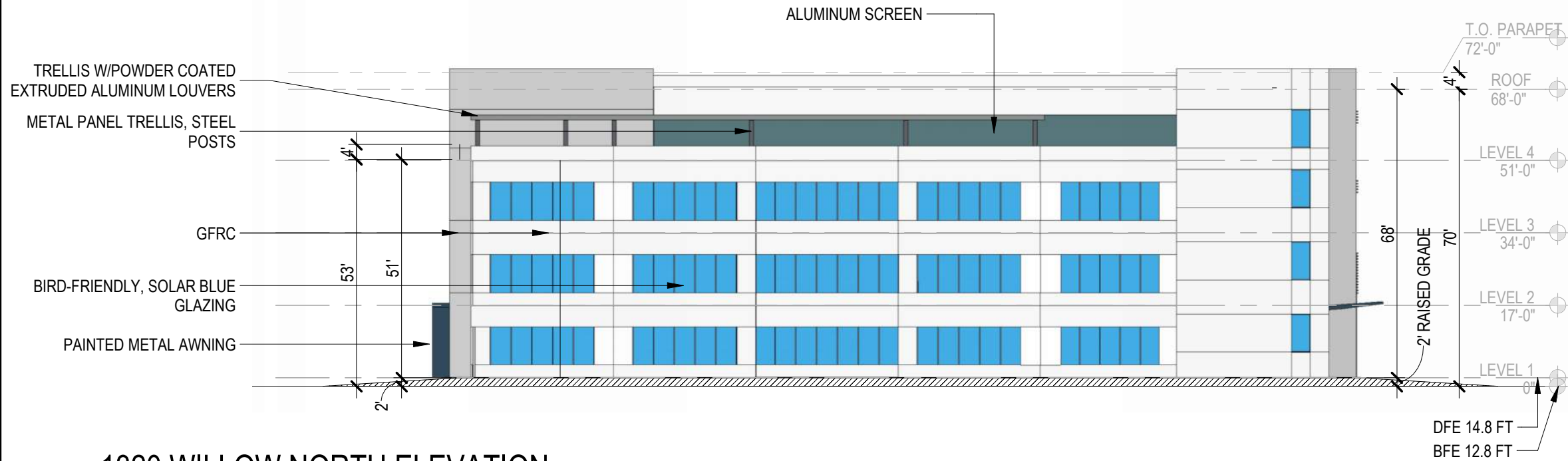
⑦ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



⑧ TRELLIS: HIGH DENSITY COMPOSITE EXTERIOR CLADDING: WOOD LOOK



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1320 WILLOW NORTH ELEVATION

LEGEND

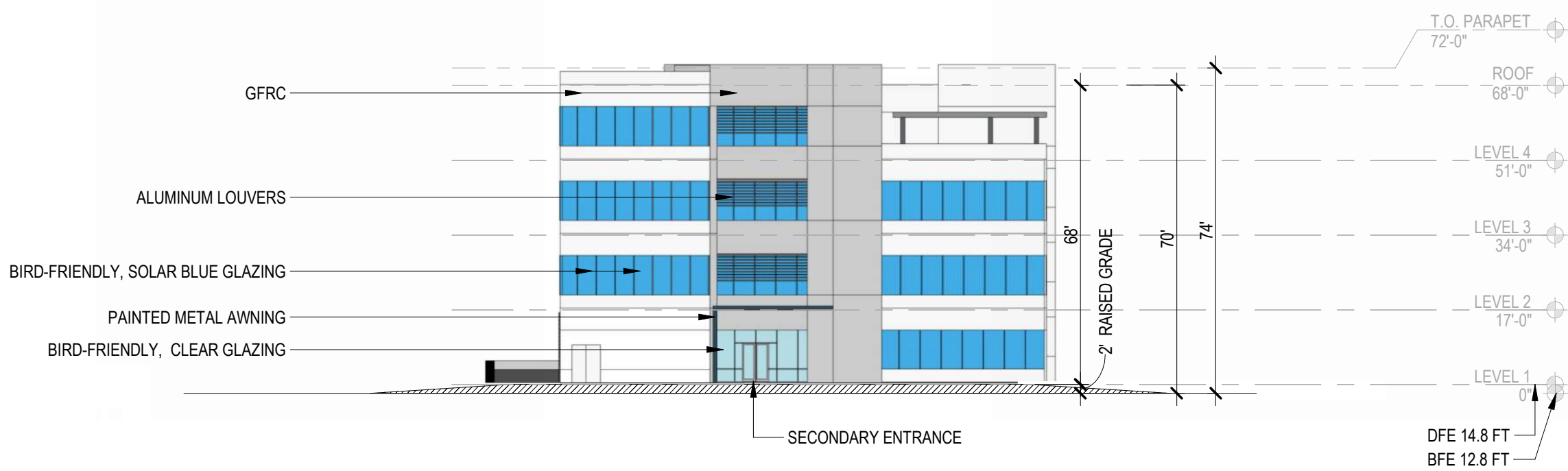
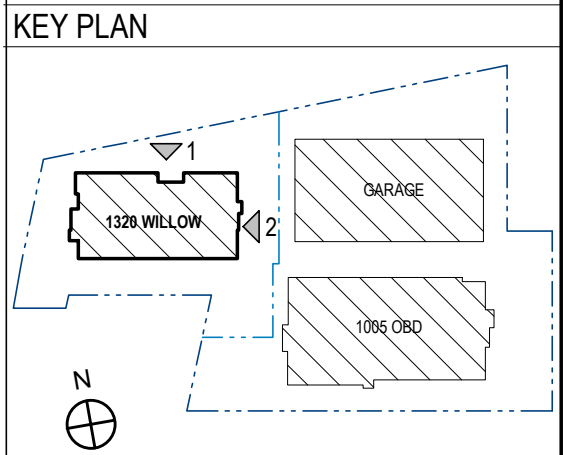
- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 1,914 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE
REQUIRED: 766 SF (40%)
PROVIDED: 939 SF (49%)

PROPOSED GLAZING RATIO

NORTH ELEVATION: 11,000 SF
SOLAR BLUE GLAZING: 3,250 SF (30%)

EAST ELEVATION: 7,200 SF
SOLAR BLUE GLAZING: 2,500 SF (35%)
CLEAR GLAZING: 250 SF (4%)

NOTE:
ALUMINUM FRAMES AT WINDOWS AND DOORS



1320 WILLOW EAST ELEVATION



985 & 1001 O'BRIEN DR
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1320 WILLOW BUILDING
ELEVATIONS

A12.1

PAGE E-2.06

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



1320 WILLOW SOUTH ELEVATION

LEGEND

- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 1,914 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE REQUIRED: 766 SF (40%) PROVIDED: 939 SF (49%)

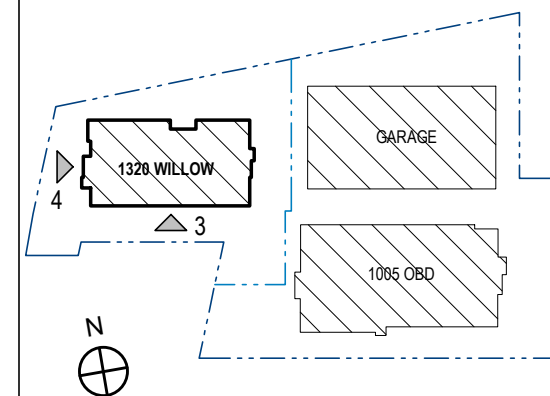
PROPOSED GLAZING RATIO

SOUTH ELEVATION: 14,400 SF
 SOLAR BLUE GLAZING: 4,265 SF (30%)

WEST ELEVATION: 8,115 SF
 SOLAR BLUE GLAZING: 2,151 SF (27%)
 CLEAR GLAZING: 939 SF (12%)

NOTE: ALUMINUM FRAMES AT WINDOWS AND DOORS

KEY PLAN



1320 WILLOW WEST ELEVATION

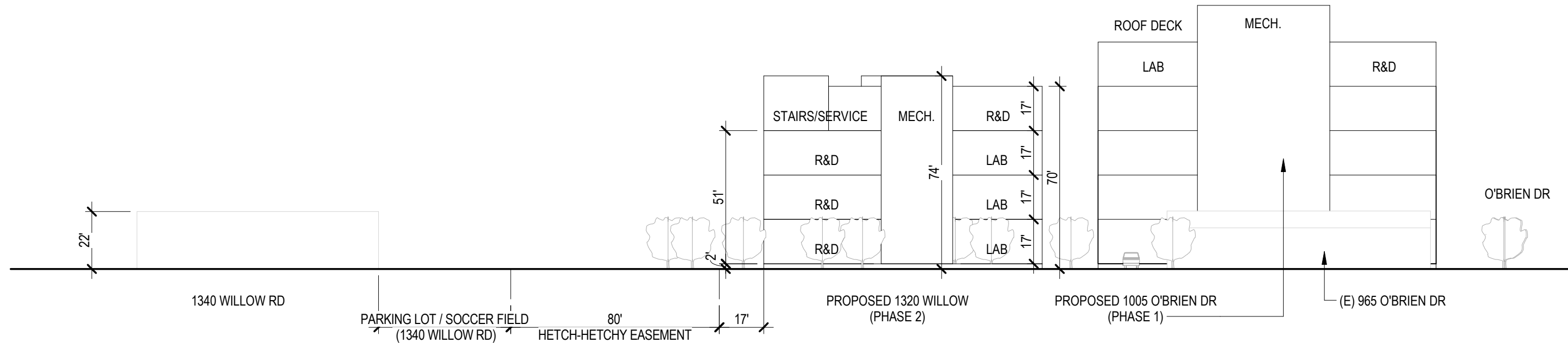


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

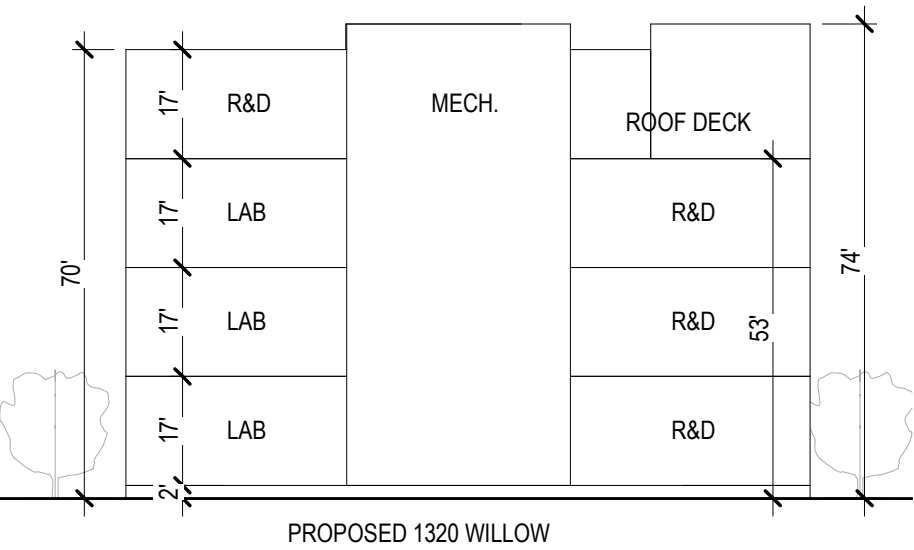
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1320 WILLOW BUILDING ELEVATIONS

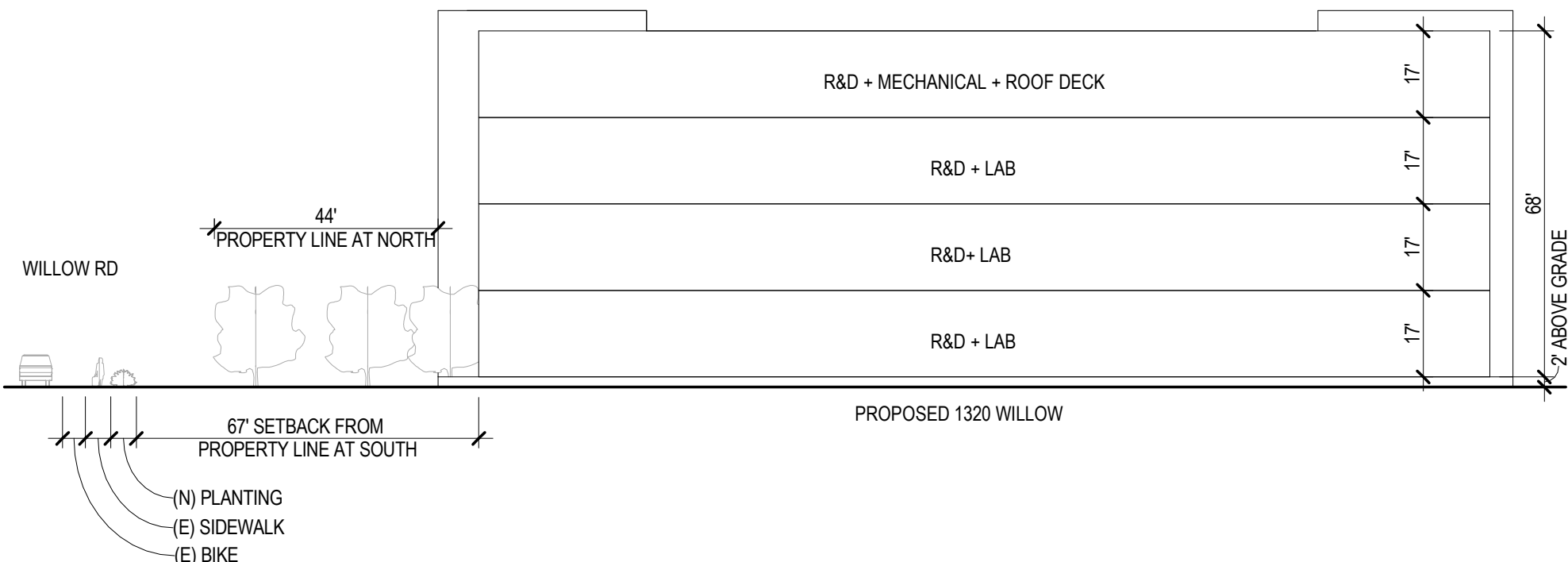
A12.2
 DES ARCHITECTS ENGINEERS
 PAGE E-2.67



1 1320 WILLOW STREETSCAPE - WEST
1" = 40'-0"



2 1320 WILLOW SECTION - FACING EAST
1" = 30'-0"



3 1320 WILLOW SECTION - SOUTH
1" = 30'-0"



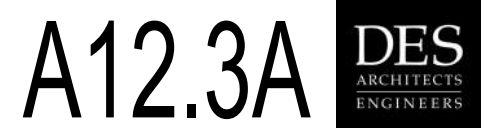
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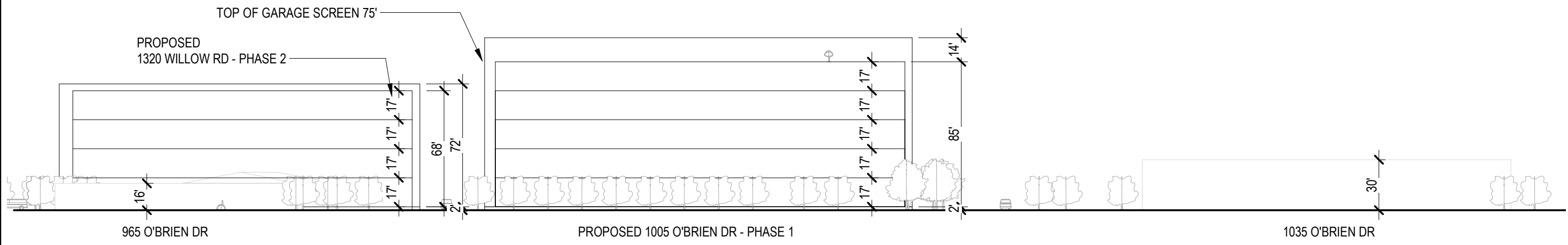
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1320 WILLOW CROSS SECTION &
STREETSCAPE - PHASE 2



A12.3A



1 1005 O'BRIEN DR STREETScape - SOUTH - PHASE 2
 1" = 60'-0"



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1005 O'BRIEN CROSS SECTION &
 STREETScape - PHASE 2





FRONT VIEW



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1320 WILLOW 3D MASSING





NORTH-WEST VIEW



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1320 WILLOW 3D MASSING

A12.5
DES ARCHITECTS ENGINEERS
PAGE E-2 2020

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SOUTH-EAST VIEW



985 & 1001 O'BRIEN DR
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MENLO PARK, CA 94025

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1320 WILLOW 3D MASSING

A12.6 **DES**
ARCHITECTS
ENGINEERS



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

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1320 WILLOW 3D VIEW OPEN
SPACE

A12.7





AERIAL VIEW

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1320 WILLOW 3D MASSING

A12.8

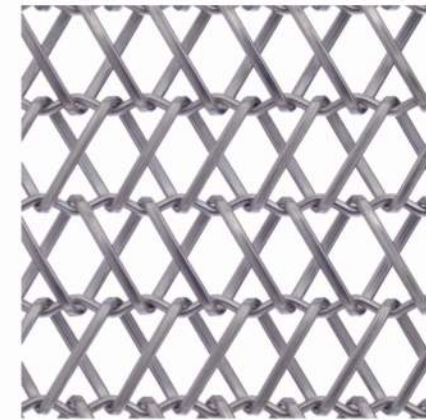




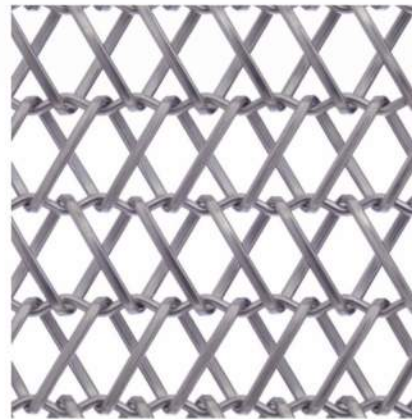
PHASE 1



① CONCRETE STRUCTURE: COLOR TO MATCH DUNN EDWARDS FOSSIL



③ FLEXIBLE METAL MESH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



② FLEXIBLE METAL MESH: COLOR TO MATCH DUNN EDWARDS FOSSIL



④ METAL STRUCTURE: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



PHASE 2

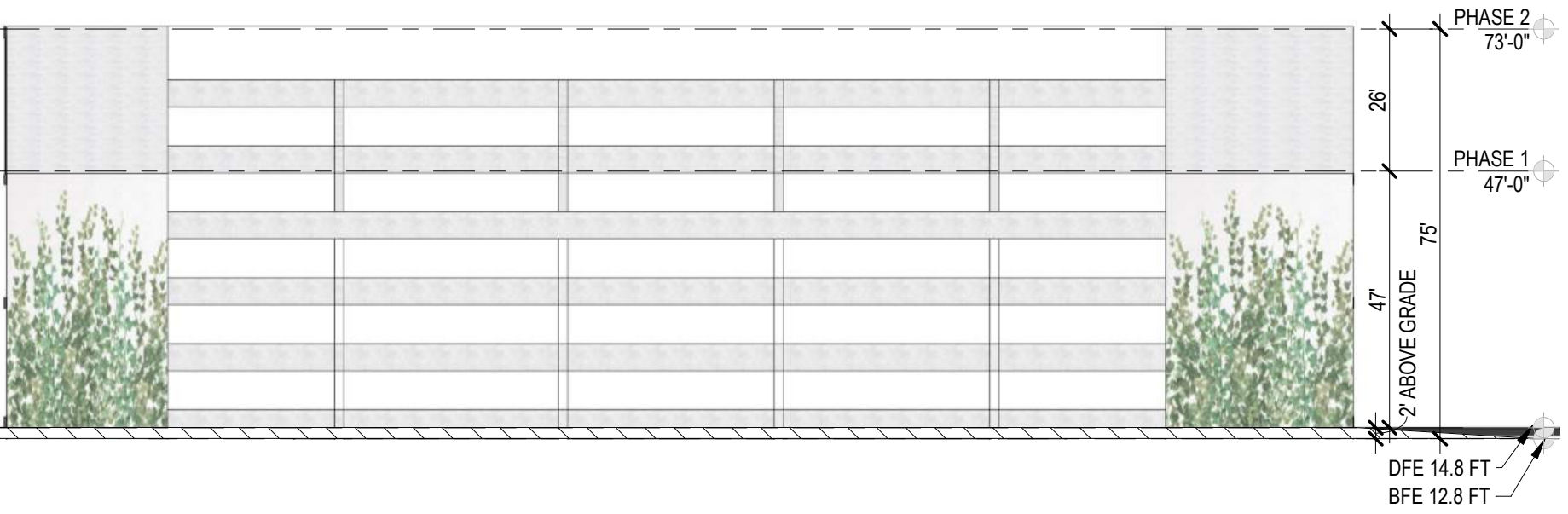
BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



GARAGE NORTH ELEVATION



GARAGE WEST ELEVATION



GARAGE SOUTH ELEVATION



GARAGE EAST ELEVATION

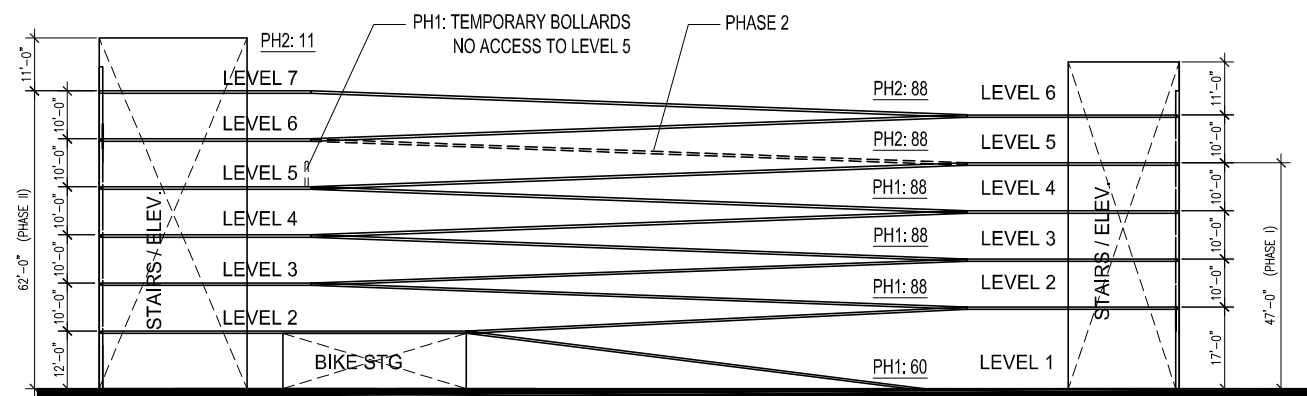


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
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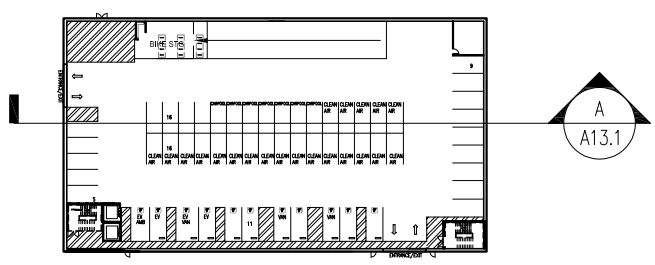
GARAGE ELEVATIONS

A13.0
 DES ARCHITECTS ENGINEERS
 PAGE E-2/6



A GARAGE SECTION
1'-0"=40'-0"

KEY PLAN



GARAGE

<u>PHASE 1:</u>	
LEVEL 1	27,900 SF
LEVEL 2	27,900 SF
LEVEL 3	27,900 SF
LEVEL 4	27,900 SF
LEVEL 5	27,900 SF (NOT ACCESSIBLE BY CARS)
	139,500 SF
<u>PHASE 2:</u>	
LEVEL 6	27,900 SF
TOTAL:	5,400 SF
	33,300 SF
LEVEL 7	172,800 SF

TOTAL REQUIRED	PHASE 1	PHASE 2	TOTAL
<u>LS ZONING:</u> RESEARCH & DEVELOPMENT: (1.5 - 2.5 / 1,000 SF)	232 - 387	111 - 186	343 - 573
<u>LEED V4.1:</u> RESEARCH & DEVELOPMENT: (3.4 / 1,000 SF - 20%) MAX	420	200	620
<u>EV / CLEAN AIR SPACES:</u>			
LS ZONING: 10% EVCS	24 - 39	12 - 19	36 - 58
5% EV READY	12 - 20	10 - 10	22 - 30
CALGREEN(TIER 2): 20% EV	47 - 75	23 - 38	70 - 113
8% CLEAN AIR/VANPOOL/CARPOOL	19 - 31	9 - 15	28 - 46
LEED V4.1: 10% EVCS	24 - 39	12 - 19	36 - 58
CBC 2019: ACCESSIBLE EVCS PER TABLE 11B-228.3.2.1	5 - 10 (PH. 1 + PH. 2)		
TOTAL PROVIDED			
<u>LS ZONING:</u> RESEARCH & DEVELOPMENT:	336	191	527 (2.3/1000 SF)
<u>LEED V4.1:</u> RESEARCH & DEVELOPMENT: < 620	336	191	527
<u>EV / CLEAN AIR SPACES:</u>			
EVCS(15%):	54	29	83
EV READY(5%):	18	10	28
CLEAN AIR/VANPOOL/CARPOOL(8%):	28	16	44
CBC 2019: ACCESSIBLE EVCS PER TABLE 11B-228.3.2.1	10		

PARKING SPACES BREAKDOWN		INTERIM AT 1320 WILLOW	PROVIDED AT PHASE 2 (1320 WILLOW)	TOTAL (PH1 + PH2)
<u>PROVIDED AT PHASE 1 (1005 O'BRIEN)</u>				
<u>SITE:</u>			<u>SITE:</u>	
STANDARD:	18	39	STANDARD:	1
ACCESSIBLE:	2	3 (1 VAN, 2 STDRD)	ACCESSIBLE:	2
<u>GARAGE (4 LEVELS):</u>			<u>GARAGE (3 LEVELS - ABV. EXISTING):</u>	
STANDARD:	197		STANDARD:	133
ACCESSIBLE:	9 (INC. REQ. FOR PHASE 2)		ACCESSIBLE:	(PROVIDED AT PHASE 1)
EVCS(15%):	54		EVCS(15%):	29
ACCESSIBLE EV:	10 (INC. REQ. FOR PHASE 2)		ACCESSIBLE EV:	(PROVIDED AT PHASE 1)
	(2 VAN, 4 STDRD, 4 AMBULATORY)			
EV READY(5%):	18		EV READY(5%):	10
CLEAN AIR/VANPOOL(6%):	21		CLEAN AIR/VANPOOL(6%):	12
CLEAN AIR/CARPOOL (2%):	7		CLEAN AIR/CARPOOL (2%):	4
TOTAL: 1005 O'BRIEN DR:	336 SPACES		TOTAL: 1320 WILLOW RD:	191 SPACES
				527 SPACES

BIM 360/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



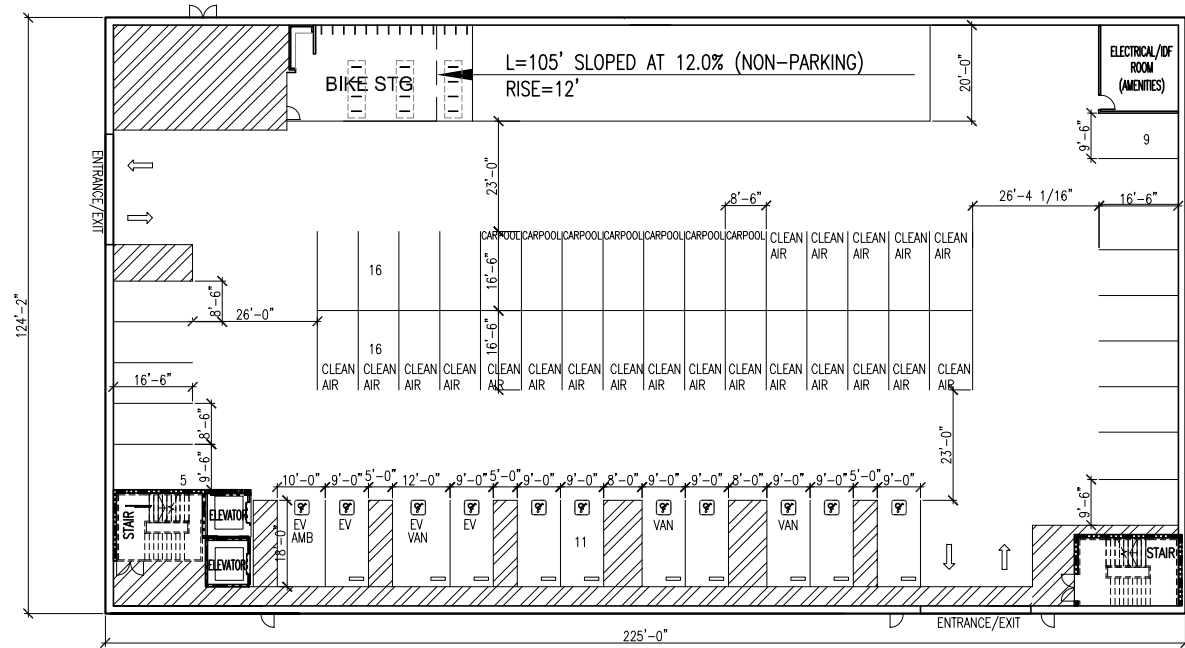
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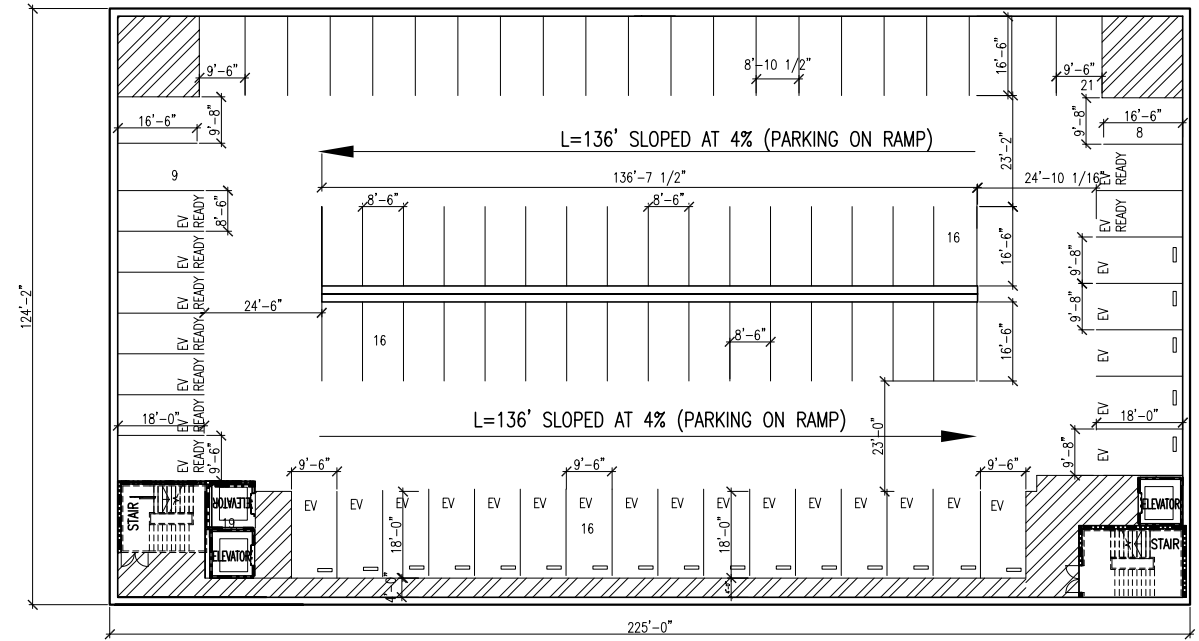
PARKING COUNT &
GARAGE SECTION

A13.1

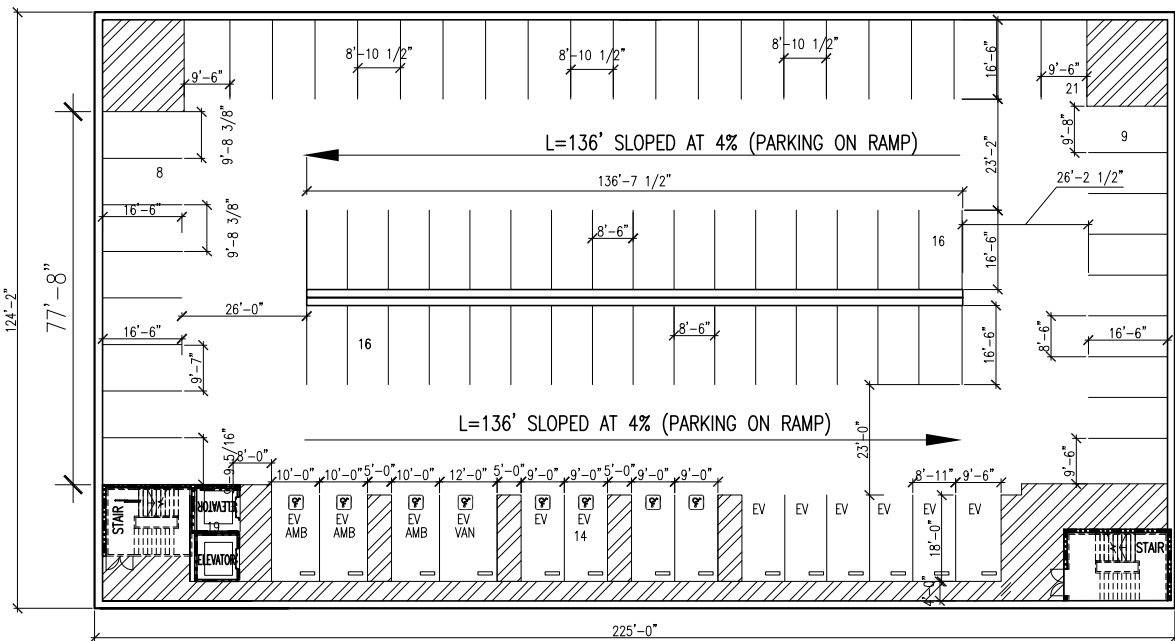




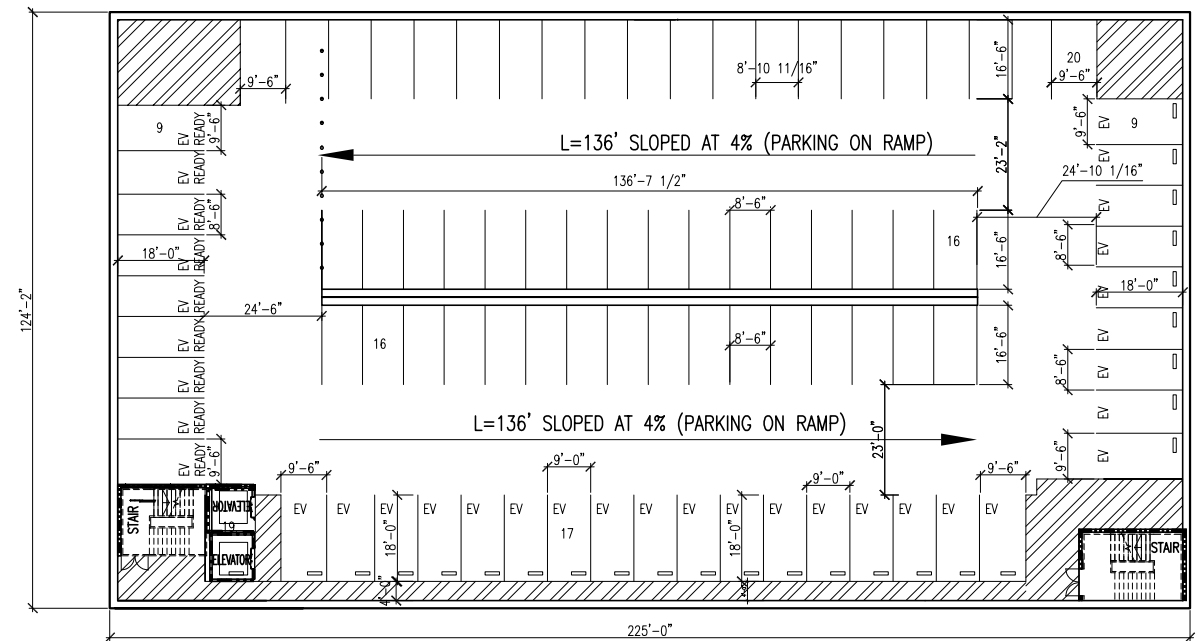
1 LEVEL 1 - NO PARKING ON RAMP (9.5% SLOPE)
1'-0"=40'-0"



3 LEVEL 3 - PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



2 LEVEL 2 - PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



4 LEVEL 4 - PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



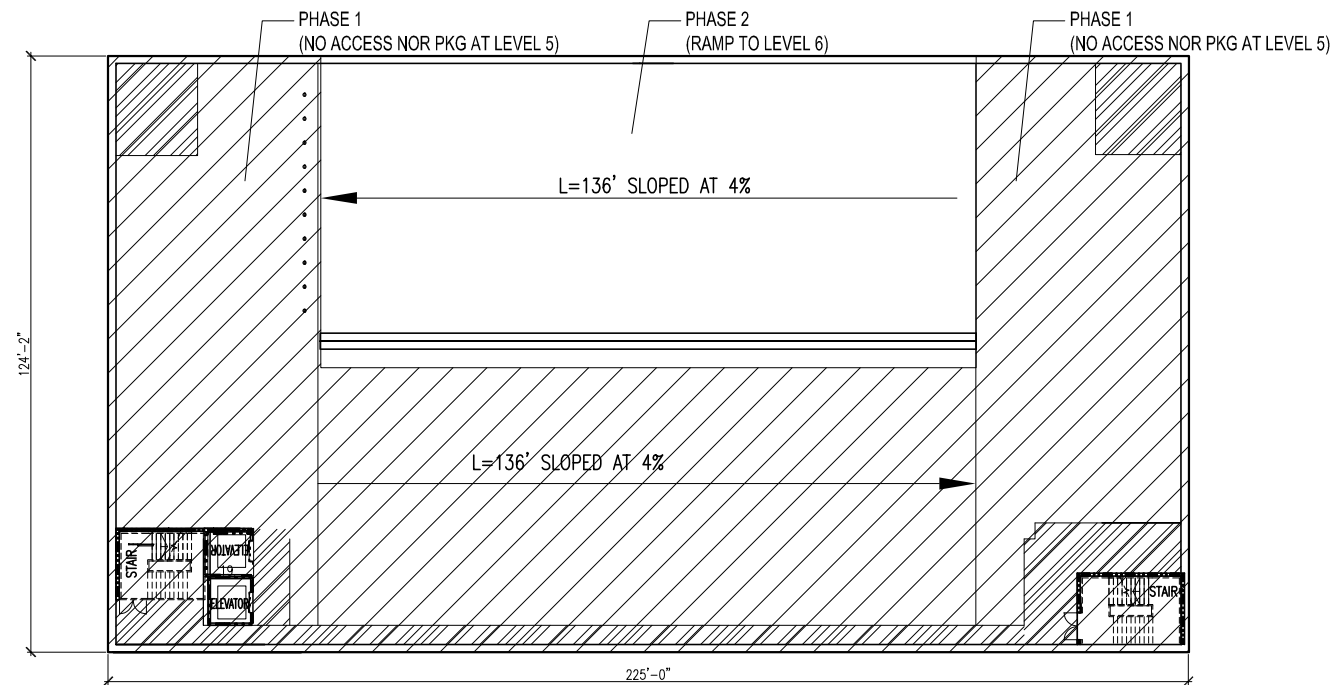
985 & 1001 O'BRIEN DR
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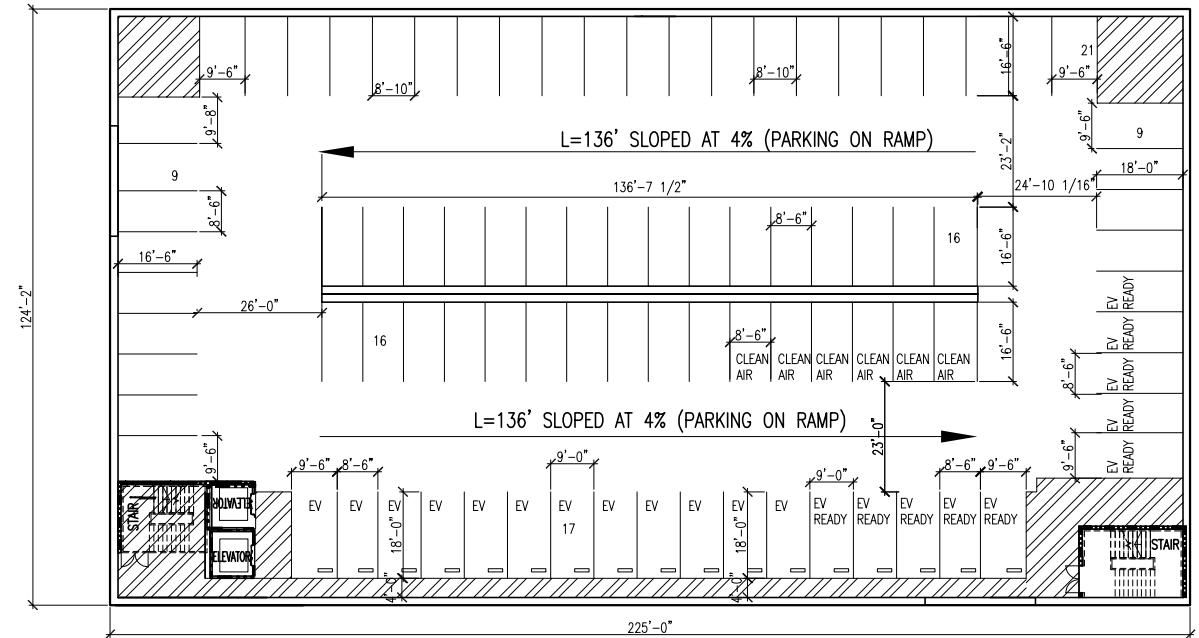
GARAGE PLANS PHASE 1

A13.2

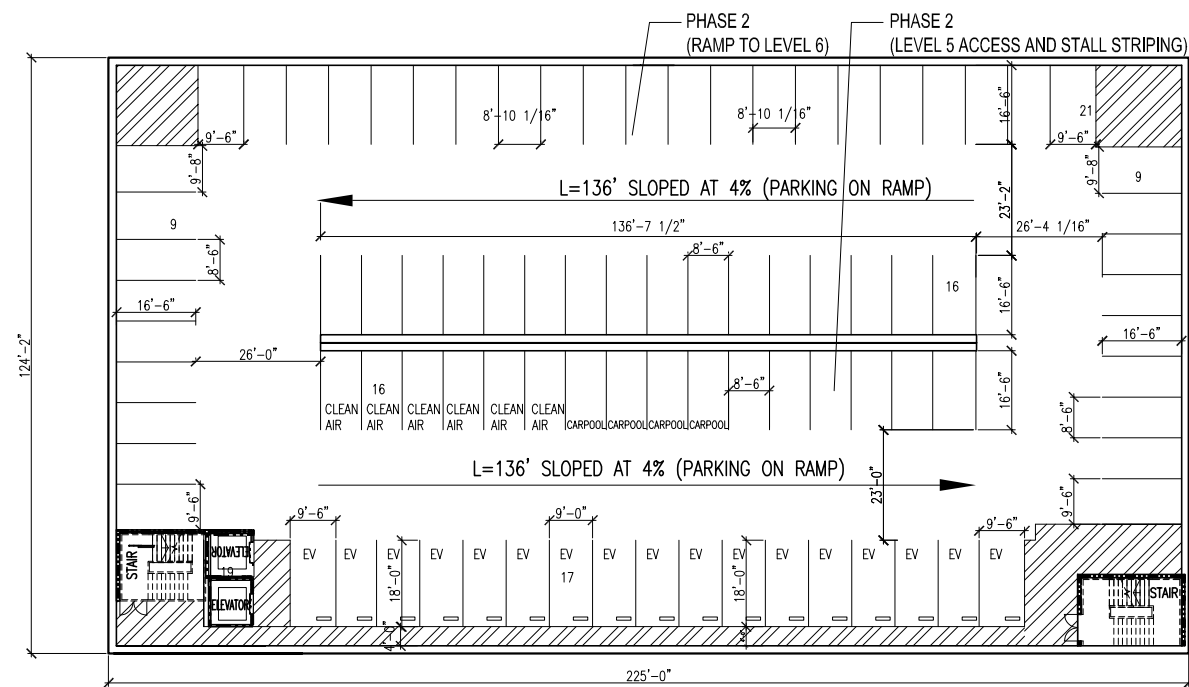




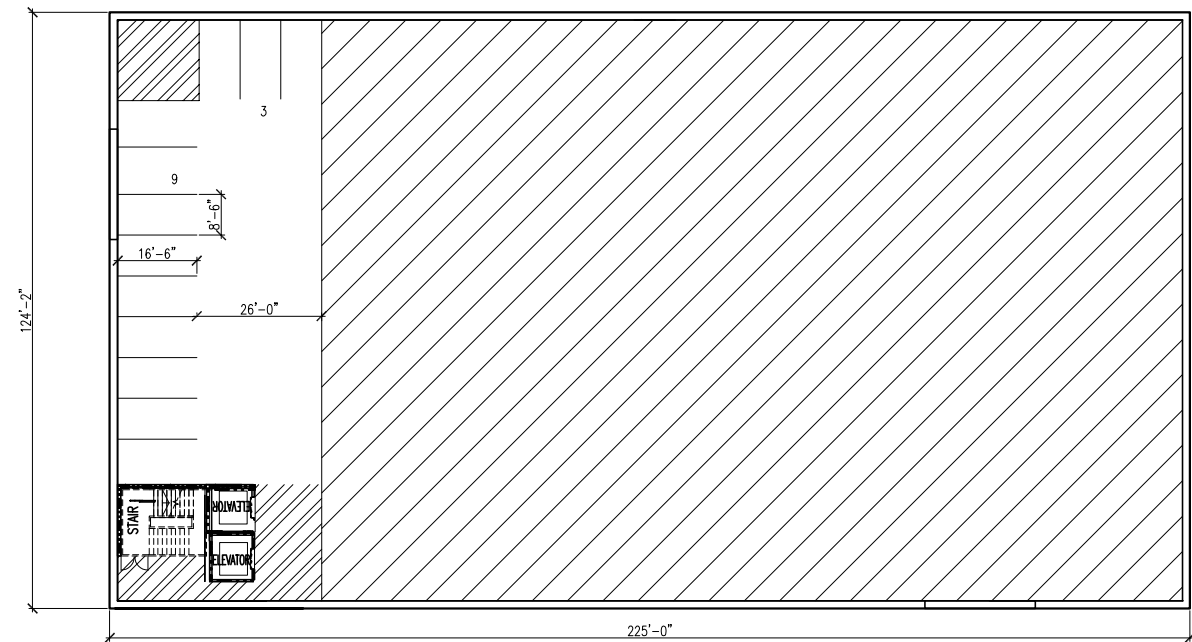
5 LEVEL 5 - RAMP (4% CONTINUOUS) - PHASE 1
1'-0"=40'-0"



6 LEVEL 6 - PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



5 LEVEL 5 - PARKING ON RAMP (4% CONTINUOUS) - PHASE 2
1'-0"=40'-0"



7 LEVEL 7
1'-0"=40'-0"

SHORT-TERM BICYCLE STORAGE

REQUIRED:

LS (R&D): 9 (20% OF TOTAL BIKE PARKING)
 CALGREEN: 4 (5% OF VISITOR PARKING, 2 MIN. PER BLDG.)
 LEED V4.1: 8 (4 MIN. PER BUILDING)

PHASE 1:

1005 O'BRIEN DR: 6

PHASE 2:

1320 WILLOW RD: 3

TOTAL REQUIRED: 9

PROVIDED:

PHASE 1:

1005 O'BRIEN DR: 8 (EXTERIOR BUILDING)
 1005 O'BRIEN DR: 4 (SPORTS COURT)

TOTAL PHASE 1: 12

PHASE 2:

1320 WILLOW RD: 8 (EXTERIOR BUILDING)

TOTAL PROVIDED: 20

LONG-TERM BICYCLE STORAGE

REQUIRED:

LS (R&D): 37 (80% OF TOTAL BIKE PARKING)
 CALGREEN: 27 (5% OF PARKING)
 LEED V4.1: 46 (5% OF BLDG. OCC.)

PHASE 1:

1005 O'BRIEN DR: 32

PHASE 2:

1320 WILLOW RD: 14

TOTAL REQUIRED: 46

PROVIDED:

PHASE 1:

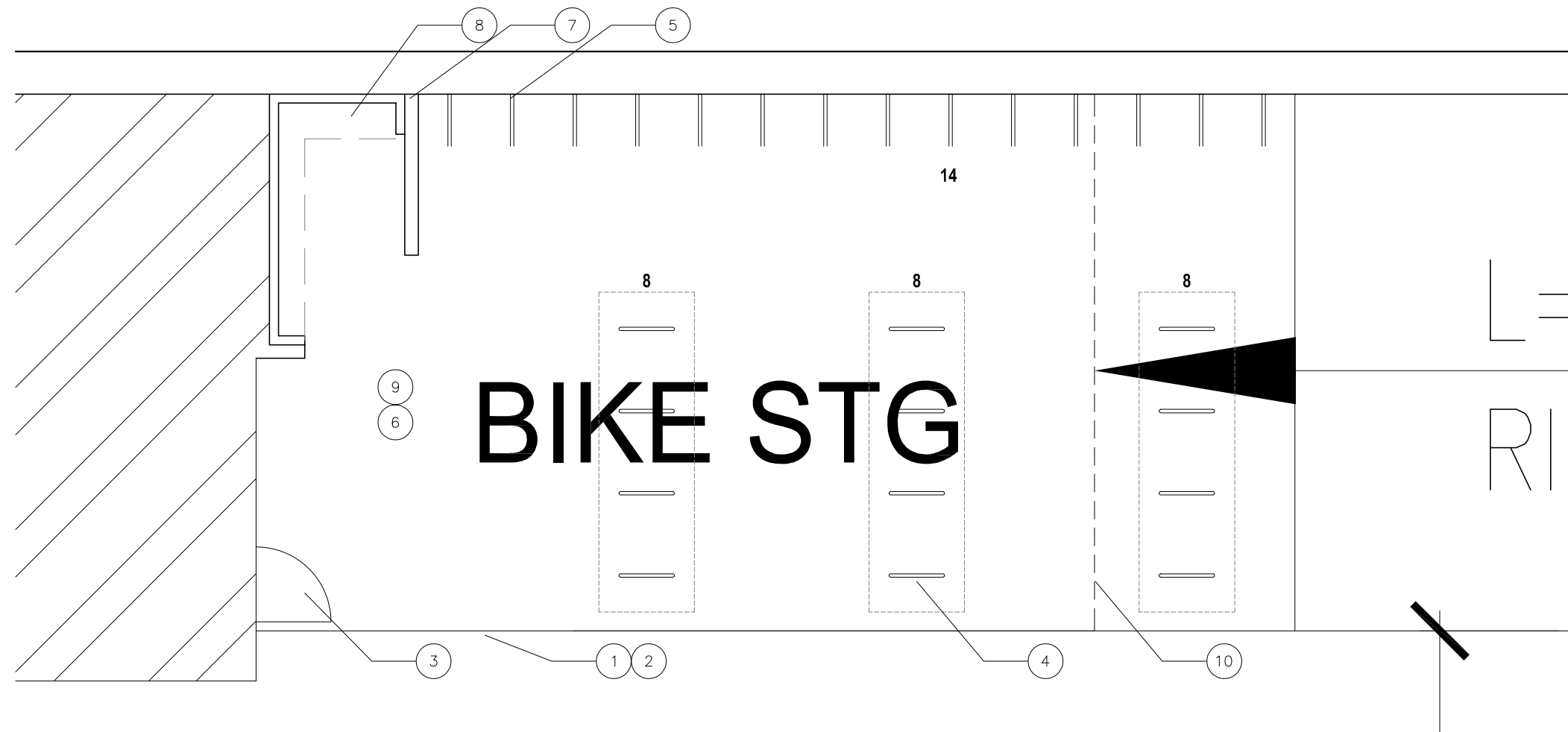
1005 O'BRIEN DR: 28 (GARAGE)
 1005 O'BRIEN DR: 5 (BUILDING LOBBY)
 FUTURE 1320 WILLOW RD: 10 (GARAGE)

TOTAL PHASE 1: 43

PHASE 2:

1320 WILLOW RD: 5 (BUILDING LOBBY)

TOTAL PROVIDED: 48



KEY NOTES

- 1 BIKE RACK CAGE - 2"X2" SQUARE TUBING
- 2 METAL MESH PANEL
- 3 3'X8' HINGE DOOR WITH ELECTRICAL HINGE
- 4 DERO FLOOR MOUNTED POST AND RING RACK
- 5 STEADYRACK CLASSIC RACK TYP.
- 6 EPOXY FLOOR
- 7 FULL HEIGHT 4" STUD FURRED WALLS TO SLAB ABOVE
- 8 HOLLMAN PHENOLIC LOCKERS (PHANTOM CHARCOAL)
- 9 ARMSTRONG PRELUDE XL GRID SYSTEM
- 10 TOP OF RAMP SLOPE ABOVE

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LONG TERM BIKE STORAGE

A13.4





NORTH-WEST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



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GARAGE 3D MASSING - PHASE 1

A13.5 
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NORTH-WEST VIEW

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GARAGE 3D MASSING - PHASE 2

A13.6





SOUTH-EAST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



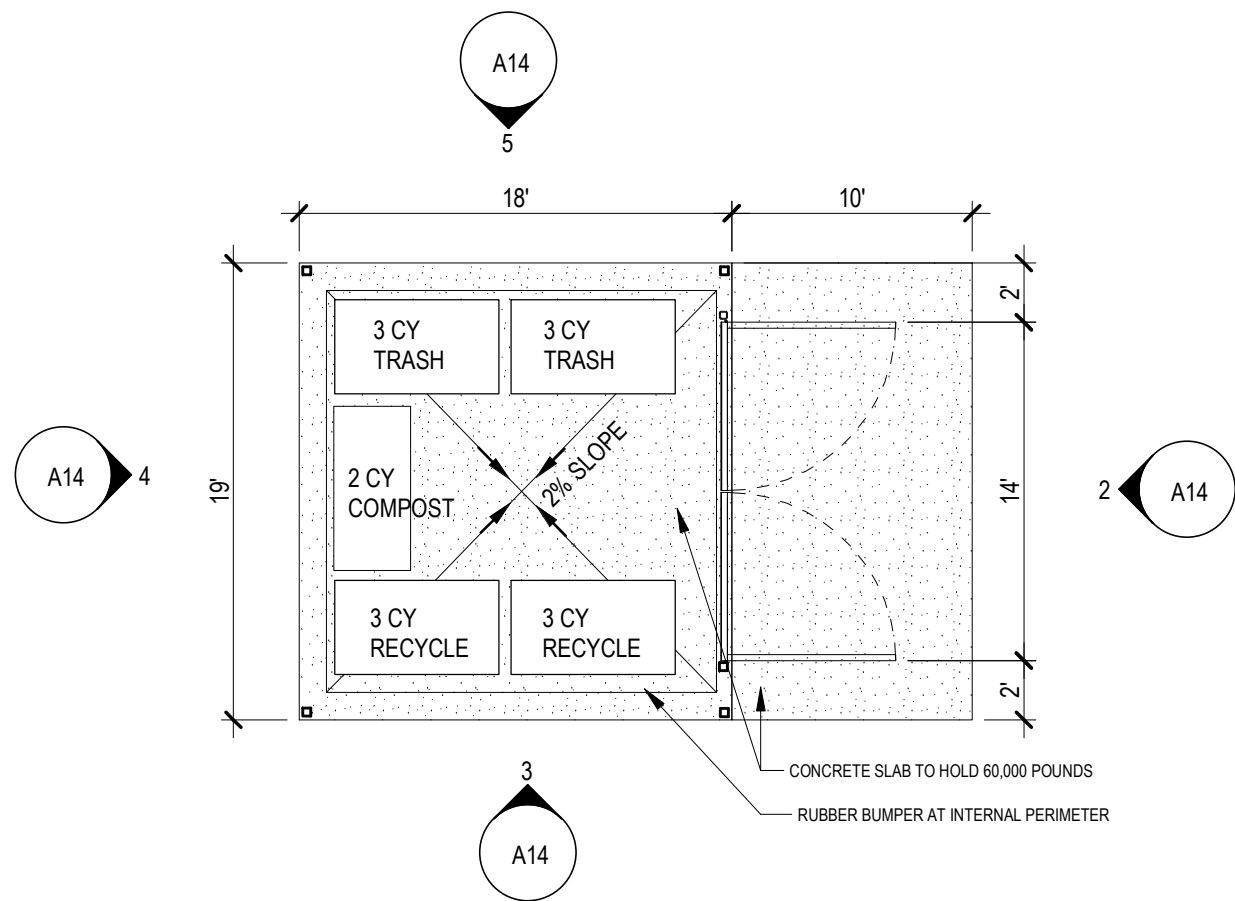
985 & 1001 O'BRIEN DR
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GARAGE 3D MASSING - PHASE 2

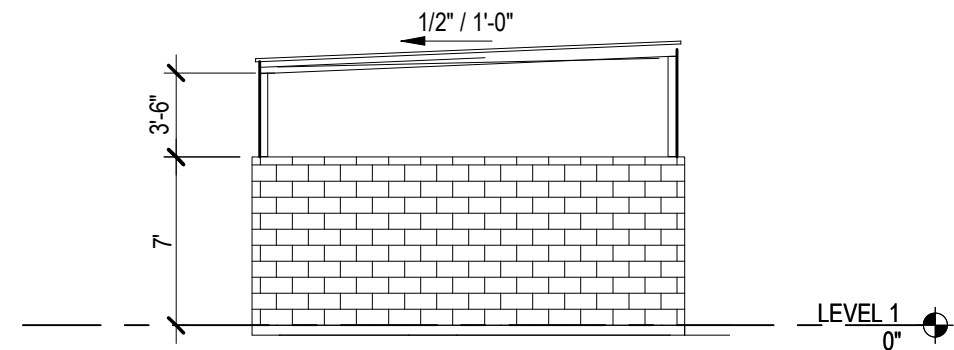


BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

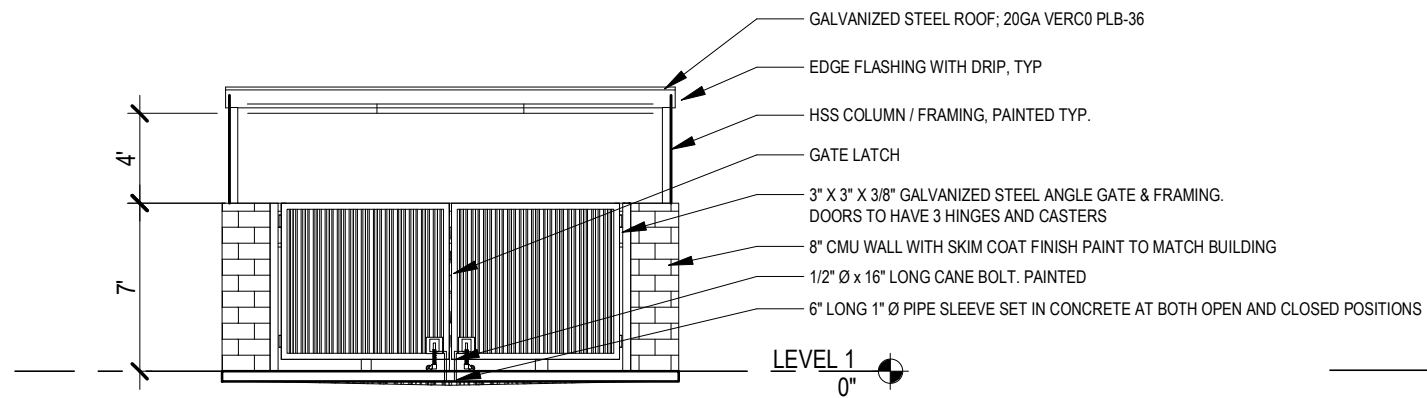
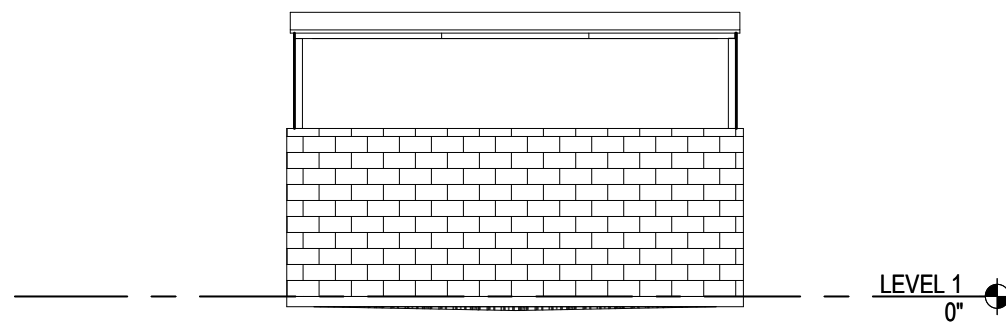


1 PLAN VIEW
1/8" = 1'-0"

3 SOUTH ELEVATION
1/8" = 1'-0"

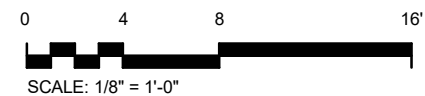
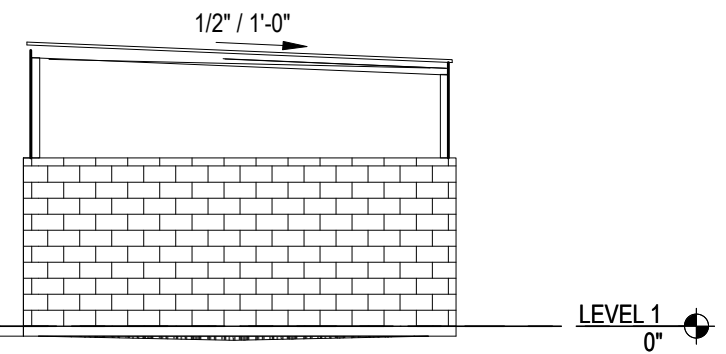


4 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

5 NORTH ELEVATION
1/8" = 1'-0"



BIM 360:/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt

LEGEND

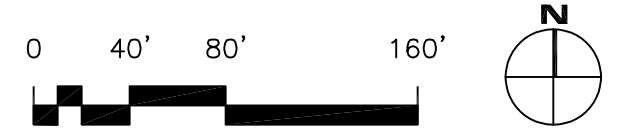
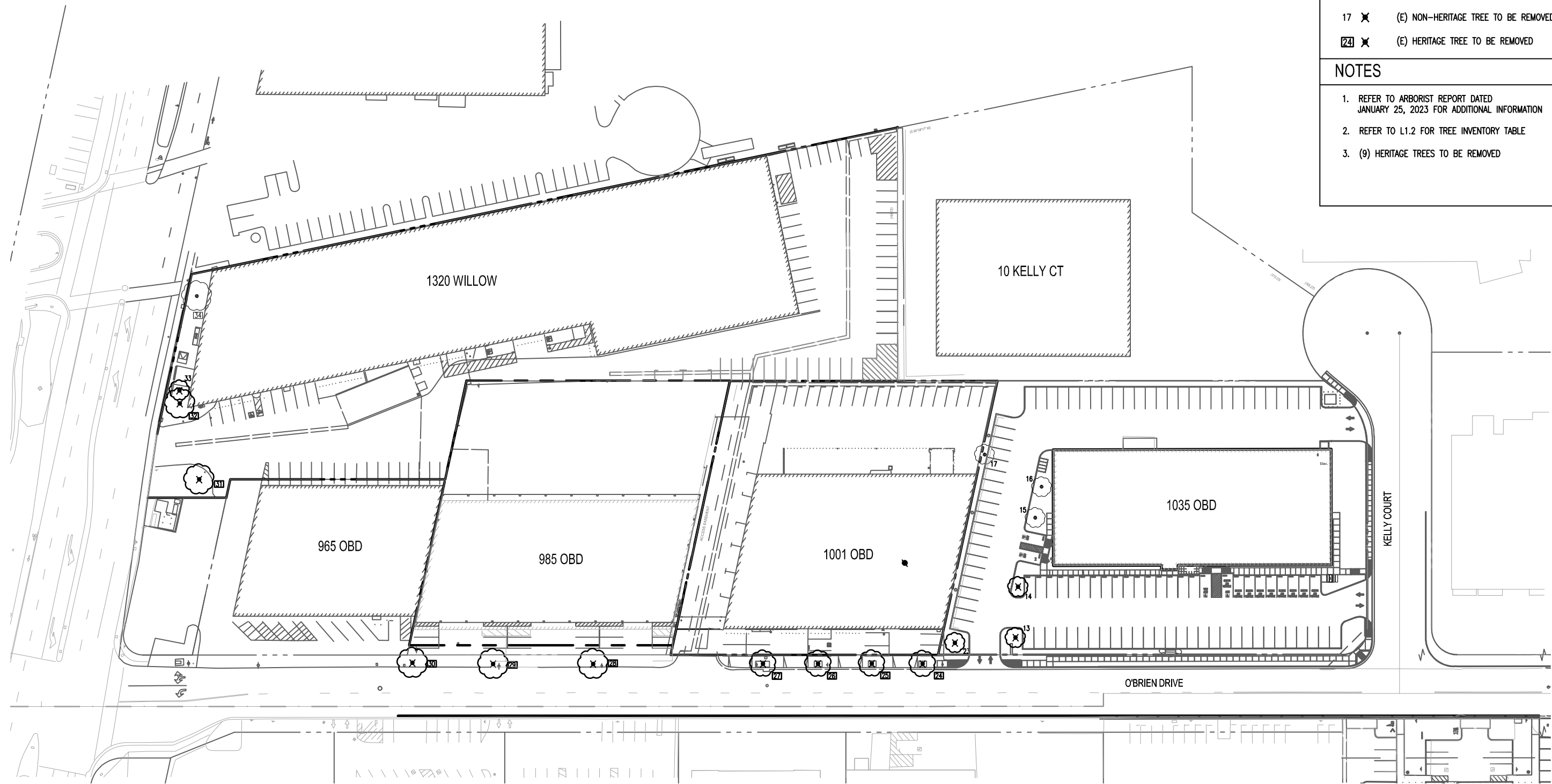
--- PROPERTY LINE

17 ✕ (E) NON-HERITAGE TREE TO BE REMOVED

24 ✕ (E) HERITAGE TREE TO BE REMOVED

NOTES

1. REFER TO ARBORIST REPORT DATED JANUARY 25, 2023 FOR ADDITIONAL INFORMATION
2. REFER TO L1.2 FOR TREE INVENTORY TABLE
3. (9) HERITAGE TREES TO BE REMOVED



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EXISTING TREE PLAN

L1.1





Prepared by:

David L. Babby
Registered Consulting Arborist® #399
Board-Certified Master Arborist® #WE-4001B
Menlo Park Business License #73953

TREE INVENTORY TABLE

TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION				Suitability for Preservation (High/Moderate/Low)	REGULATED			Appraised Value (Heritage Tree)
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Form (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree	Removal	
13	Chinese pistache (<i>Pistacia chinensis</i>)	3.7	13	12	70%	60%	80%	Good	High	-	-	X	-
Comments: Dormant. Single-staked (and staked should be removed, including the one without the tie).													
14	Columbia London plane (<i>Platanus × h. 'Columbia'</i>)	6.4	35	25	70%	80%	80%	Good	High	-	-	X	-
Comments: Limb emerges at 4' high.													
15	Chinese pistache (<i>Pistacia chinensis</i>)	3.5	15	10	70%	60%	40%	Fair	Moderate	-	-	-	-
Comments: Dormant. Double-staked (and both should be removed). Asymmetrical canopy. Has a slight SW lean.													
16	Chinese pistache (<i>Pistacia chinensis</i>)	3.1	15	10	70%	60%	50%	Fair	Moderate	-	-	-	-
Comments: Dormant. Double-staked (and both should be removed). Low branch encroaches into drive aisle.													
17	Columbia London plane (<i>Platanus × h. 'Columbia'</i>)	7.1	35	20	70%	80%	80%	Good	High	-	-	-	-
Comments: Limbs emerge at 7' high.													
23	Forest Pansy redbud (<i>Cercis c. 'Forest Pansy'</i>)	-1	8	10	70%	40%	80%	Fair	Moderate	-	-	X	-
Comments: Recently installed and double-staked. Nursery stake also remains unfavorably attached (and should be removed). Low branching structure. Excessive moisture at base and over rootball.													
24	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	15.8	20	20	40%	30%	50%	Poor	Low	X	X	X	\$600
Comments: Beneath high-voltage wires and reduced in height. Within a square planter covered by landscape fabric and river rock. Adjacent concrete driveway apron, curb and gutter are cracked and/or buckled. Multiple leaders emerge at 15' high.													
25	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	15.3	20	25	40%	30%	30%	Poor	Low	X	X	X	\$600
Comments: Beneath high-voltage wires and has been reduced in height. Within square planter covered by landscape fabric and river rock. Has a large, old decaying cut where trunk bifurcates at 6' high.													
26	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	20.7	35	40	40%	20%	50%	Poor	Low	X	X	X	\$700
Comments: Remove asap. Has a massive, hollowed decay column along its entire trunk (street side), and begins at 2.5' high (and decay possibly to base), ascends by 4', is 8" wide and 6" plus deep - at its top is a fruiting body, which informs of extensive internal decay. Decay highly likely exceeds these hollow dimensions, perhaps quite significantly, and I estimate at least 40-50% of the stem's cross section is decayed. Woundwood formation along the margins appears relatively sound. There is also a decaying basal wound along the trunk's W side. Trunk bifurcates into codominants at 9' high, at which point forms a weak attachment (including a rib formed nearly 17" below the attachment). Beneath high-voltage wires and has been reduced in height. Within a square planter covered by landscape fabric and river rock. Adjacent concrete curb and gutter are buckled, and sidewalk is cracked and slightly raised. At 2' high, the trunk leans slightly (8°) SE from vertical.													
27	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	24.0	30	35	70%	30%	50%	Poor	Low	X	X	X	\$1,500
Comments: Beneath high-voltage wires and has been reduced in height. Within a rectangular-shaped planter covered by landscape fabric and river rock. Near fire hydrant. Adjacent sidewalk is cracked and raised. Multiple leaders emerge at 7' high. At utility pole, and a pronounced buttress root surfaces towards pole. Has a large decayed section along street side limb.													

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION				Suitability for Preservation (High/Moderate/Low)	REGULATED			Appraised Value (Heritage Tree)
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Form (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree	Removal	
28	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	28.3	40	45	60%	40%	50%	Poor	Low	X	X	X	\$2,700
Comments: Beneath high-voltage wires and has been reduced in height. Within a rectangular-shaped planter covered by landscape fabric and river rock (and surrounded by asphalt parking lot along three sides). Canopy is slightly asymmetrical. At utility pole. Adjacent asphalt is raised by roots.													
29	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	15.8	35	30	40%	10%	30%	Poor	Low	X	X	X	\$200
Comments: Remove asap. It has an 8' tall, 9" deep decay column along trunk, comprised of one large hollow and several smaller ones above and below; ~75% of the stem's cross section is degraded. Woundwood along the margins appears relatively sound. Beneath high-voltage wires, but not yet reduced in height. Within a square planter covered by landscape fabric and river rock (and surrounded by asphalt parking lot along three sides). Asphalt is raised by roots, and adjacent curb is buckled. Has several old basal wounds. Narrow, highly-elevated and asymmetrical canopy.													
30	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	21.4	35	40	40%	10%	30%	Poor	Low	X	X	X	\$400
Comments: Remove asap. At 5' high along the trunk's W side is an 0.8' tall, 0.2' wide, and 5" deep wound with extensive internal decay, as evidenced by a large, deteriorating fruiting body emerging from the hollow. Decay highly likely extends beyond these dimensions. Directly above, there is also an old, 8" diameter diameter wound (along the street side) with decay extending above and below. In total, I estimate least 30-40% of the stem's cross section is decayed. Woundwood along the margins appears relatively sound. Beneath high-voltage wires and has been reduced in height. W/in a square planter covered by landscape fabric and river rock (and surrounded by asphalt along three sides). Roots have cracked and raised the surrounding asphalt and adjacent curb/gutter. Canopy is asymmetrical. Trunk grows at an ~11° E lean.													
31	Italian stone pine (<i>Pinus pinea</i>)	24.4	35	35	80%	50%	60%	Fair	Moderate	X	-	X	\$5,100
Comments: Irregular trunk formation, sweeping SW around 7' high. Adjacent to pole with security camera. Has many recent cuts along the lower crown's south section.													
32	Silver dollar gum (<i>Eucalyptus polyanthemos</i>)	31.8, 19.8	50	35	60%	30%	40%	Poor	Low	X	-	X	\$7,500
Comments: Possibly a street tree (tbd with survey). Adjacent to building, within a raised planter aligning sidewalk, and adjacent to an FDC hydrant and fire sprinkler vault. Formed by two trunks. The smaller southern one has a large basal wound with extensive decay, and an 11" diameter decaying wound 18" above. The larger, northern trunk bifurcates into codominant leaders 3' above grade. Excessively thin canopy with interior watersprouts.													
33	Marina madrone (<i>Arbutus 'Marina'</i>)	2.9	12	10	80%	40%	40%	Fair	Moderate	-	-	X	-
Comments: Possibly a street tree (tbd with survey). Suppressed, crowded-growing conditions within several feet from #32's nearest trunk. Asymmetrical canopy and buried root collar. Adjacent to building.													
34	Silver dollar gum (<i>Eucalyptus polyanthemos</i>)	27.2	50	30	40%	60%	40%	Poor	Moderate	X	-	-	\$7,200
Comments: Possibly a street tree (tbd with survey). Adjacent to building, and within a raised and narrow planter aligning sidewalk. Extremely thin and sparse canopy with interior watersprouts.													

NOTES

- EXCERPTS TAKEN FROM ARBORIST REPORT DATED JANUARY 25, 2023
- ALL TREES, EXCEPT #15-17 AND 34, IN CURRENT SCOPE TO BE REMOVED.
- TREE #1-12, 18-22 IN FUTURE SCOPE

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EXISTING TREE INVENTORY TABLE

L1.2





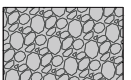
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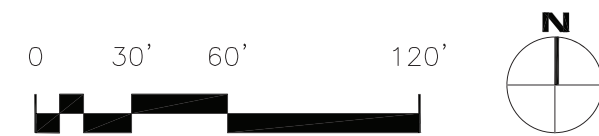


KEY NOTES:

- 1 CANOPY TREE
- 2 ACCENT TREE
- 3 STREET TREE
- 4 SCREEN HEDGES
- 5 BIORETENTION AREA
- 6 COBBLE CREEK WITH BOULDERS
- 7 THEMED PLANTING STRIPS
- 8 PUBLIC GATHERING SPACE
- 9 PUBLIC EVENT PLAZA
- 10 STROLLING PATH
- 11 PUBLIC RESPITE SPACE WITH BENCHES
- 12 SMALL GROUP GATHERING SPACE
- 13 MAIN ENTRY PLAZA
- 14 BIKE RACKS
- 15 OUTDOOR DINING TERRACE
- 16 OUTDOOR ACTIVITY SPACE
- 17 FLEX TURF SPACE AND DRIVABLE SURFACE FOR FIRE TRUCK ACCESS
- 18 CATENARY LIGHT
- 19 DRINKING FOUNTAIN
- 20 TRASH RECEPTACLES (SOLID WASTE/RECYCLING/COMPOST)

MATERIAL KEY:

- CONCRETE PAVING 
- DECOMPOSED GRANITE PATHS/PAVING, TYP. 
- FLAGSTONE PAVING, TYP. 



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PROPOSED LANDSCAPE PLAN - PHASE 1



L2.1A

BIM 360://tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt

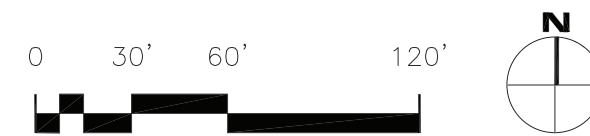


KEY NOTES:

- 1 CANOPY TREE
- 2 ACCENT TREE
- 3 STREET TREE
- 4 SCREEN HEDGES
- 5 BIORETENTION AREA
- 6 COBBLE CREEK WITH BOULDERS
- 7 THEMED PLANTING STRIPS
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- 18 CATENARY LIGHT
- 19 DRINKING FOUNTAIN
- 20 TRASH RECEPTACLES (SOLID WASTE/RECYCLING/COMPOST)
- 21 TRELLIS

MATERIAL KEY:

- CONCRETE PAVING
- DECOMPOSED GRANITE PATHS/PAVING, TYP.
- FLAGSTONE PAVING, TYP.

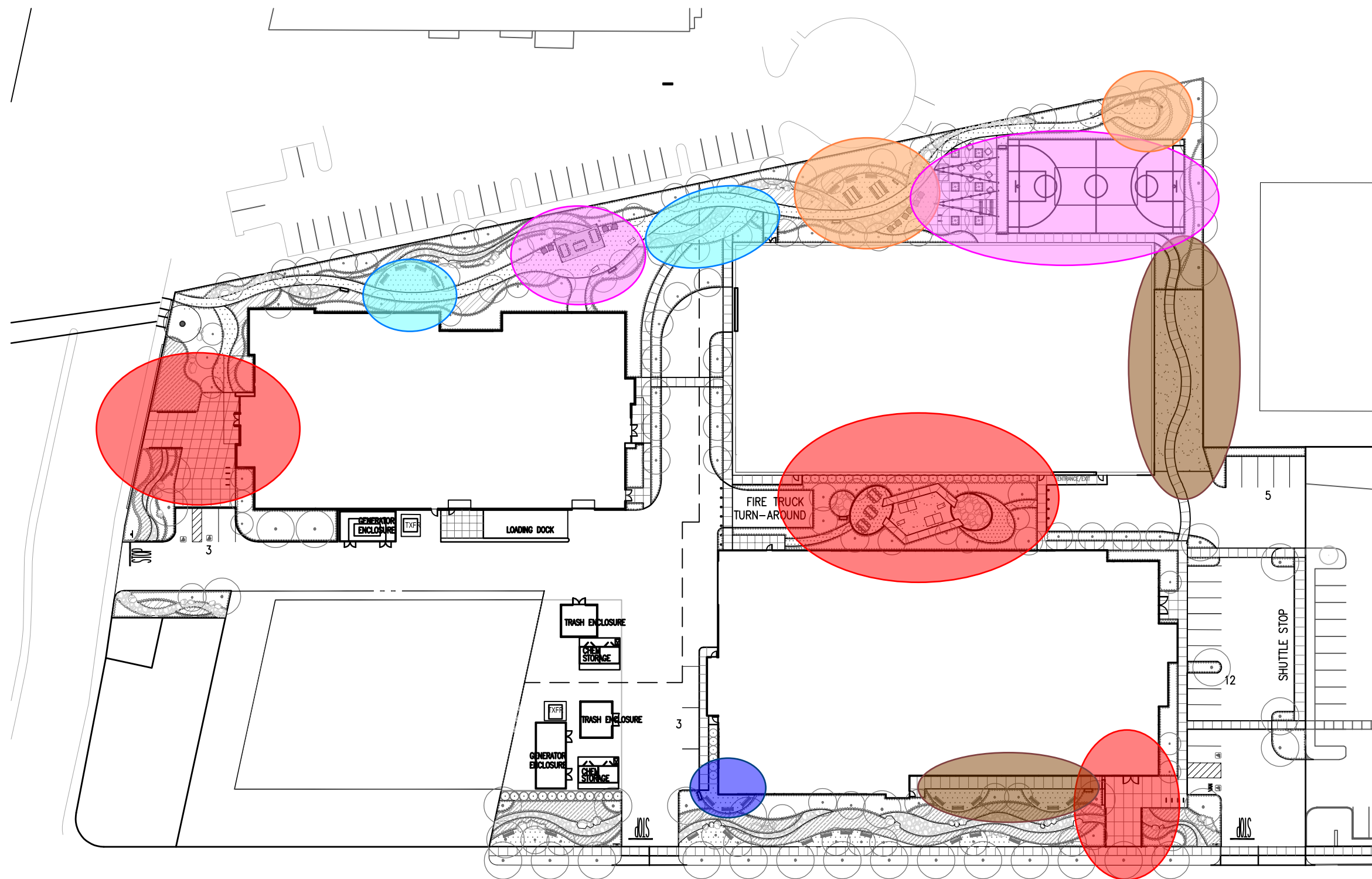


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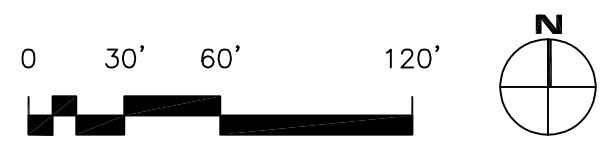
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PROPOSED LANDSCAPE PLAN - PHASE 2

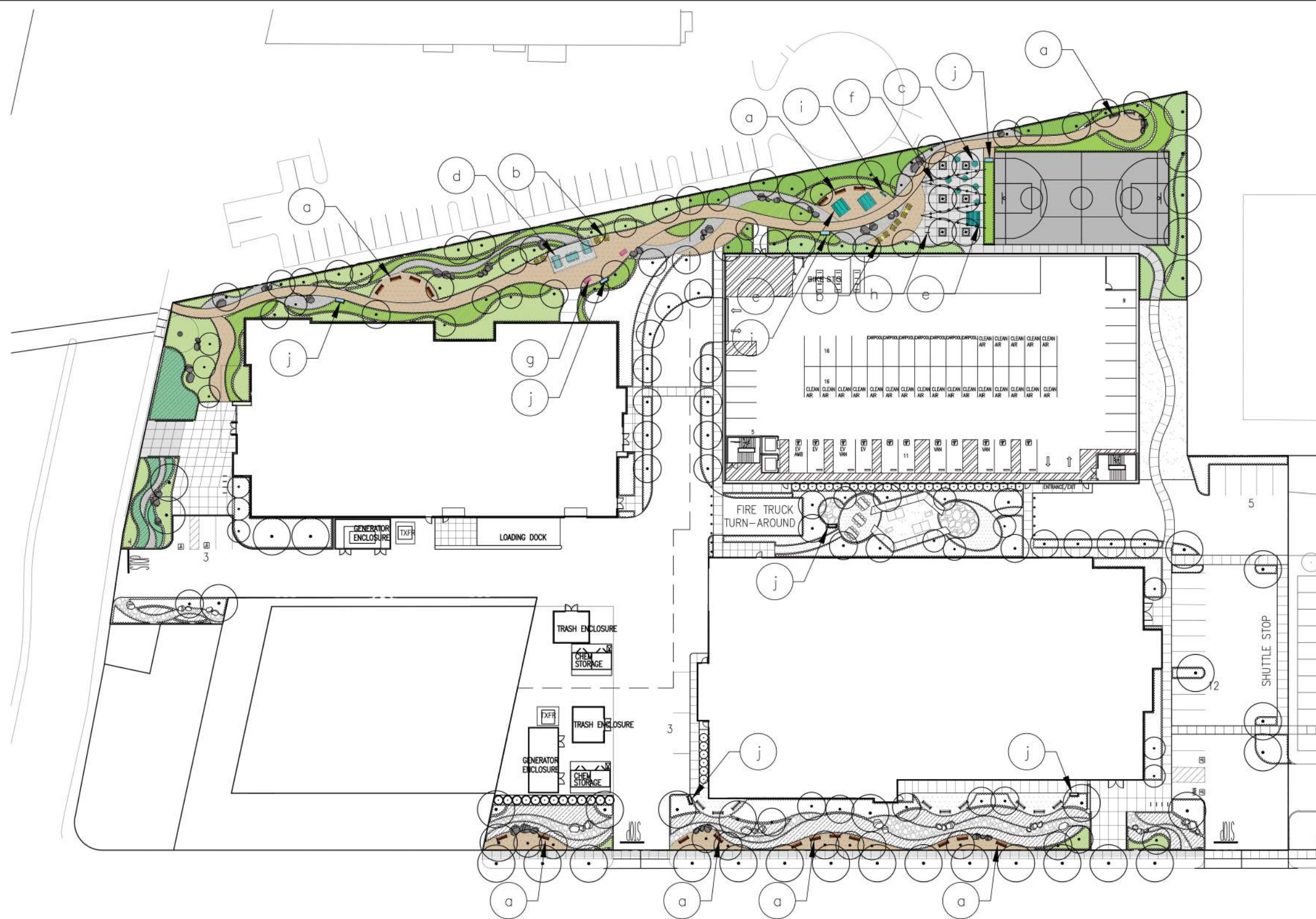
L2.1B **PAGE E-288**



- PUBLIC**
- ACTIVE SPACE
 - SEMI-ACTIVE SPACE
 - MEDITATIVE SPACE
- PRIVATE**
- ACTIVE SPACE
 - SEMI-ACTIVE SPACE
 - MEDITATIVE SPACE



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KEY NOTES:

- a BENCH
- b ADIRONDACK CHAIR & SIDE TABLE
- c BISTRO TABLE & CHAIRS
- d DINING TABLE & CHAIRS
- e PICNIC TABLE
- f PING PONG TABLE
- g CORN HOLES
- h BIKE RACK
- i DRINKING FOUNTAIN
- j TRASH RECEPTACLES (SOLID WASTE/RECYCLING/COMPOST)

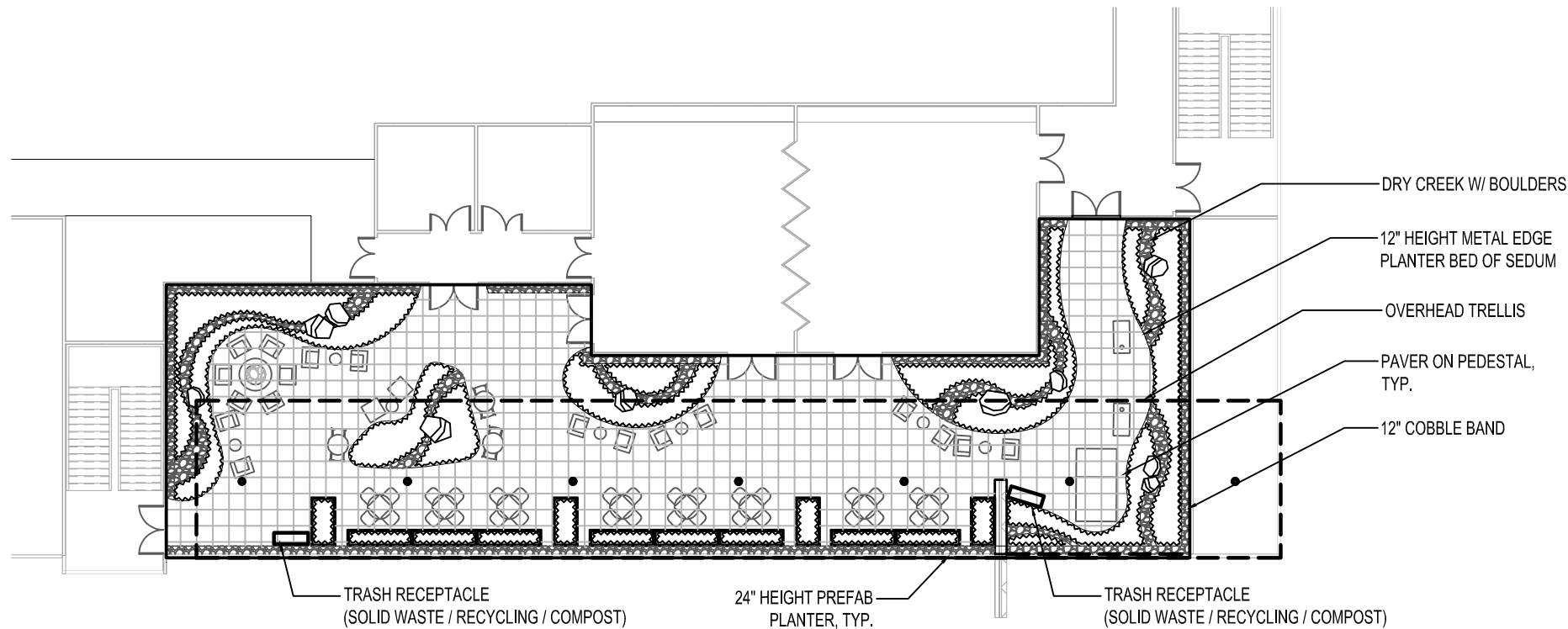


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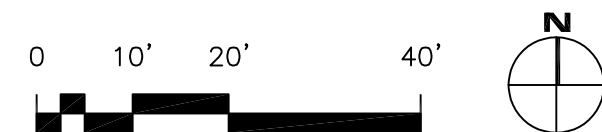
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 10-27-2022 C.U.P. RESPONSE 3
 02-03-2023 C.U.P. RESPONSE 4
 07-12-2023 C.U.P. RESPONSE 5

PROPOSED AMENITY PLAN AT PUBLIC SPACE





1 1005 OBD ROOF DECK ENLARGEMENT
 SCALE: 1" = 20'-0"



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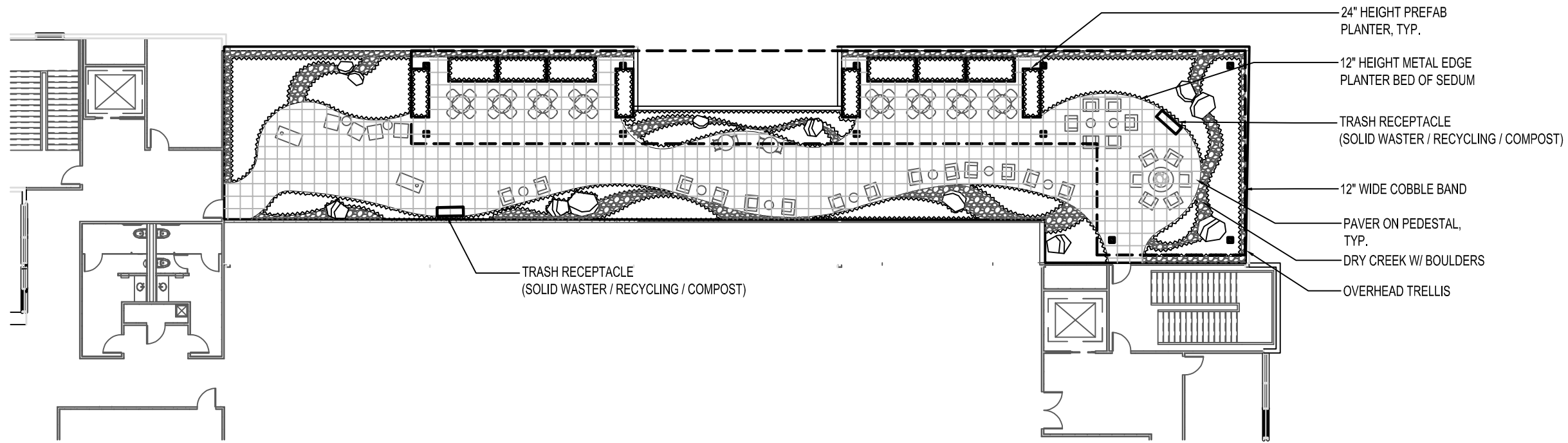
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ENLARGED ROOF DECK PLAN - PHASE 1

L2.2





1 1320 WILLOW ROOF DECK ENLARGEMENT
SCALE: 1" = 20'-0"



BIM 360:/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



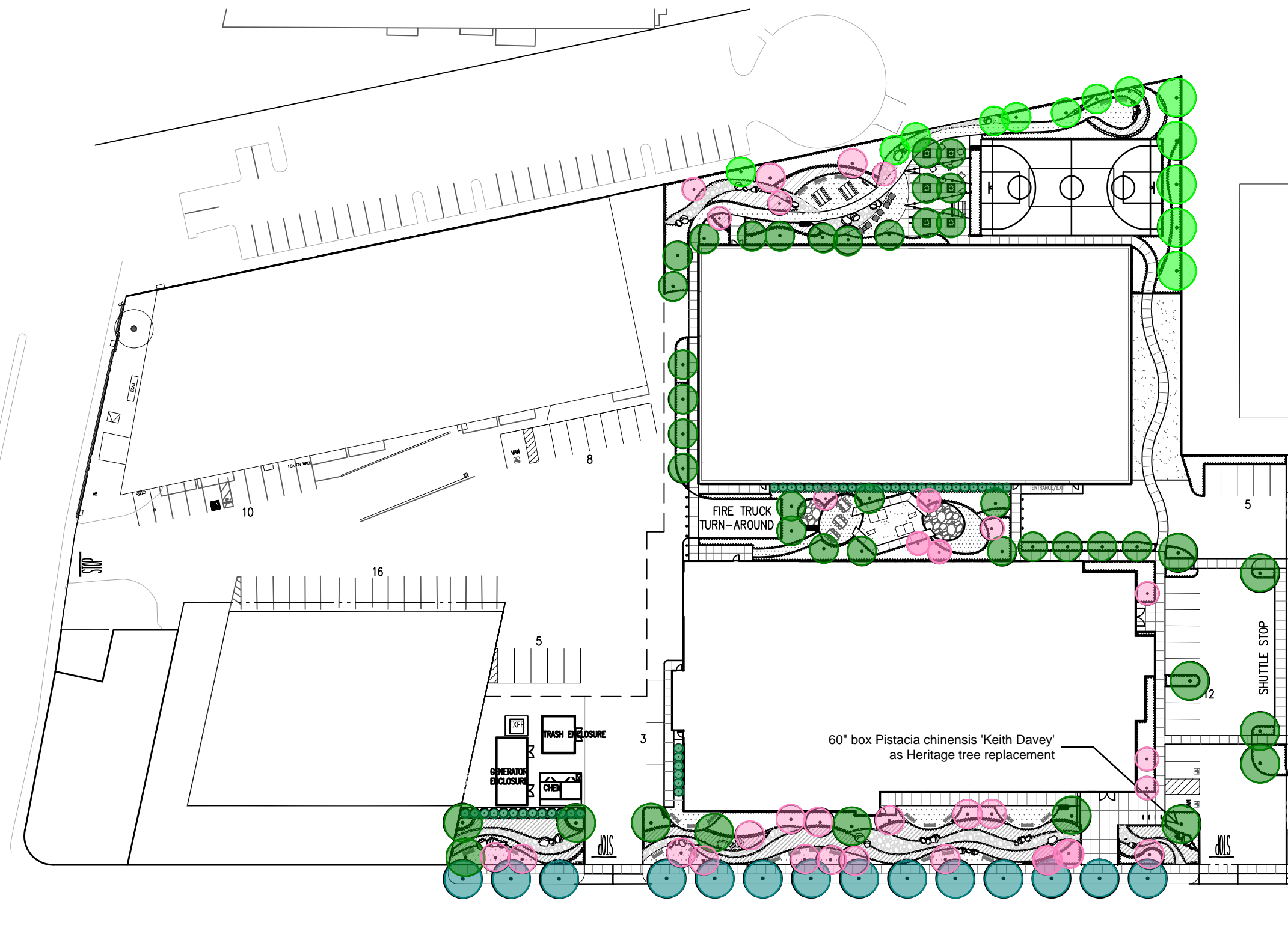
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ENLARGED ROOF DECK PLAN - PHASE 2



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PLANTING PALETTE *All proposed trees to be 24" box unless noted

	BOTANICAL NAME / COMMON NAME	WUCOLS
● STREET TREE total : 14	Koelreuteria bipinnata/ Chinese Flame Tree	MOD
	Quercus buckleyi/ Texas Red Oak	MOD
	Tilia tomentosa/ Silver Linden	LOW
● SCREEN TREE total : 13	Pinus canariensis/ Canary Island Pine	LOW
	Quercus tomentella/ Island Oak	V.LOW
● CANOPY TREE total : 42	Acer rubrum 'October Glory' / October Glory Maple	MOD
	Ginkgo biloba 'Autumn Gold' / Autumn Gold ginkgo	MOD
	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	LOW
	Platanus acerifolia 'Columbia' / London Plane Tree	MOD
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
	● ACCENT TREE total : 31	Magnolia grandiflora 'Little Gem' / Little Gem Magnolia
	Cercis occidentalis / Western Redbud	LOW
	Lophostemon confertus / Brisbane Box	MOD
	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	LOW
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
●● SCREEN HEDGE (15 GALLON)	Pittosporum tenuifolium 'Silver Sheen' / Silver Sheen Kohuhu	MOD
	Ligustrum japonicum 'Texanum' / Waxleaf Privet	MOD

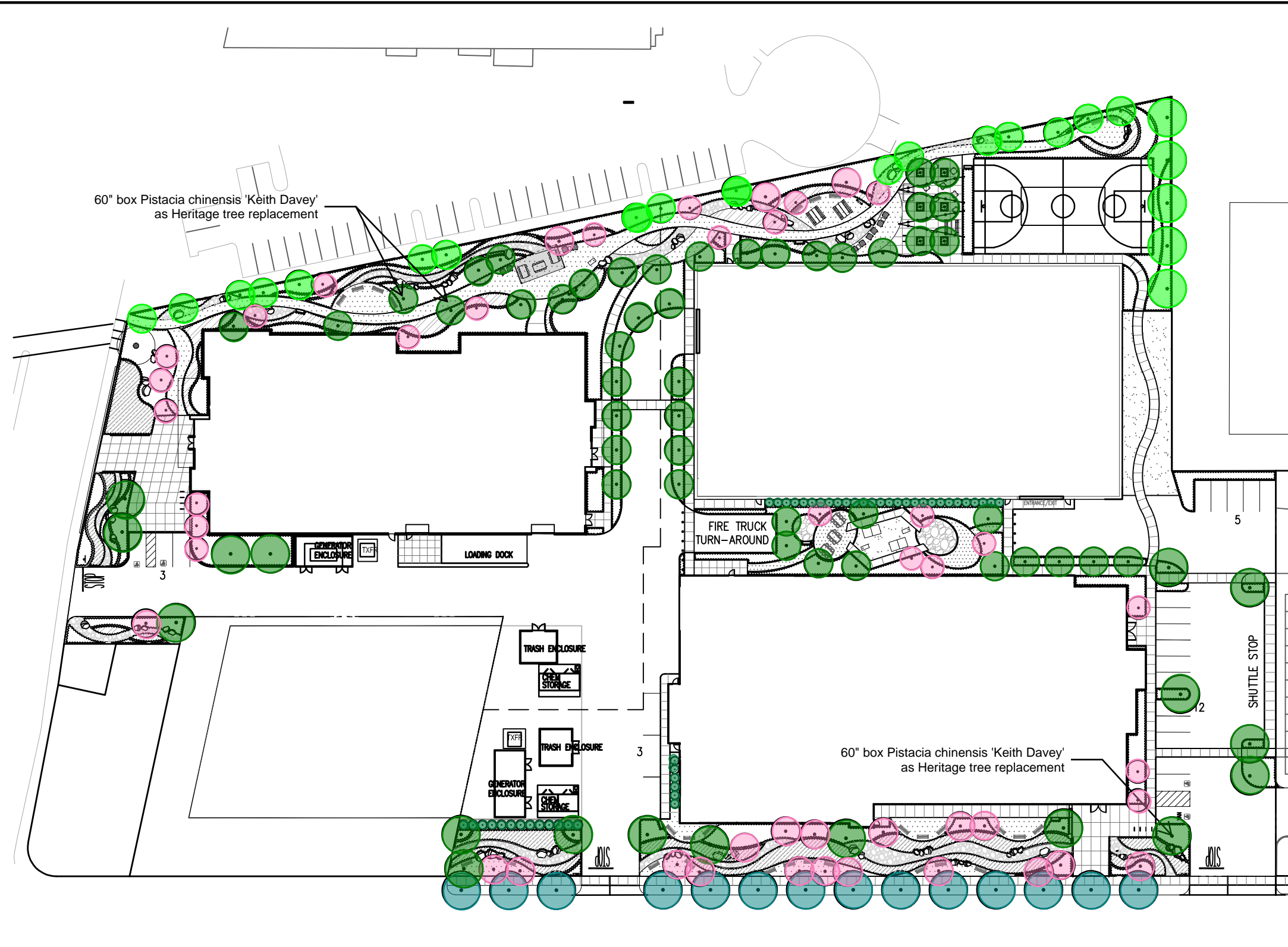


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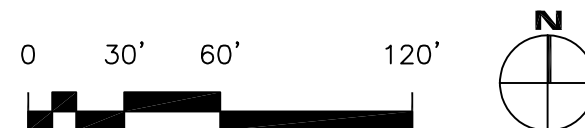
PROPOSED PLANTING PLAN - PHASE 1

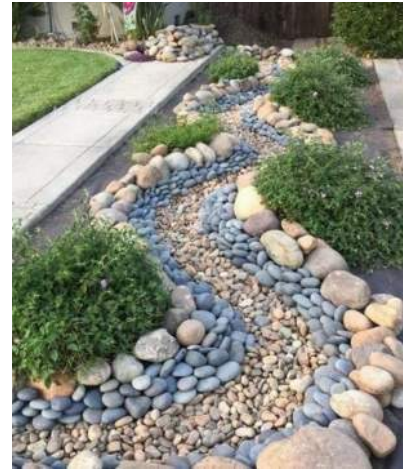




PLANTING PALETTE *All proposed trees to be 24" box unless noted

	BOTANICAL NAME / COMMON NAME	WUCOLS
● STREET TREE total : 14	Koelreuteria bipinnata/ Chinese Flame Tree	MOD
	Quercus buckleyi/ Texas Red Oak	MOD
	Tilia tomentosa/ Silver Linden	LOW
● SCREEN TREE total : 23	Pinus canariensis/ Canary Island Pine	LOW
	Quercus tomentella/ Island Oak	V.LOW
● CANOPY TREE total : 63	Acer rubrum 'October Glory' / October Glory Maple	MOD
	Ginkgo biloba 'Autumn Gold' / Autumn Gold ginkgo	MOD
	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	LOW
	Platanus acerifolia 'Columbia' / London Plane Tree	MOD
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
	● ACCENT TREE total : 45	Magnolia grandiflora 'Little Gem' / Little Gem Magnolia
	Cercis occidentalis / Western Redbud	LOW
	Lophostemon confertus / Brisbane Box	MOD
	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	LOW
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
●● SCREEN HEDGE (15 GALLON)	Pittosporum tenuifolium 'Silver Sheen' / Silver Sheen Kohuhu	MOD
	Ligustrum japonicum 'Texanum' / Waxleaf Privet	MOD





a: Bench



b: Lounge chairs & Side Table



c: Bistro Table



d: Dining Table



e: Picnic Table



f: Drinking Fountain



g: Ping Pong Table

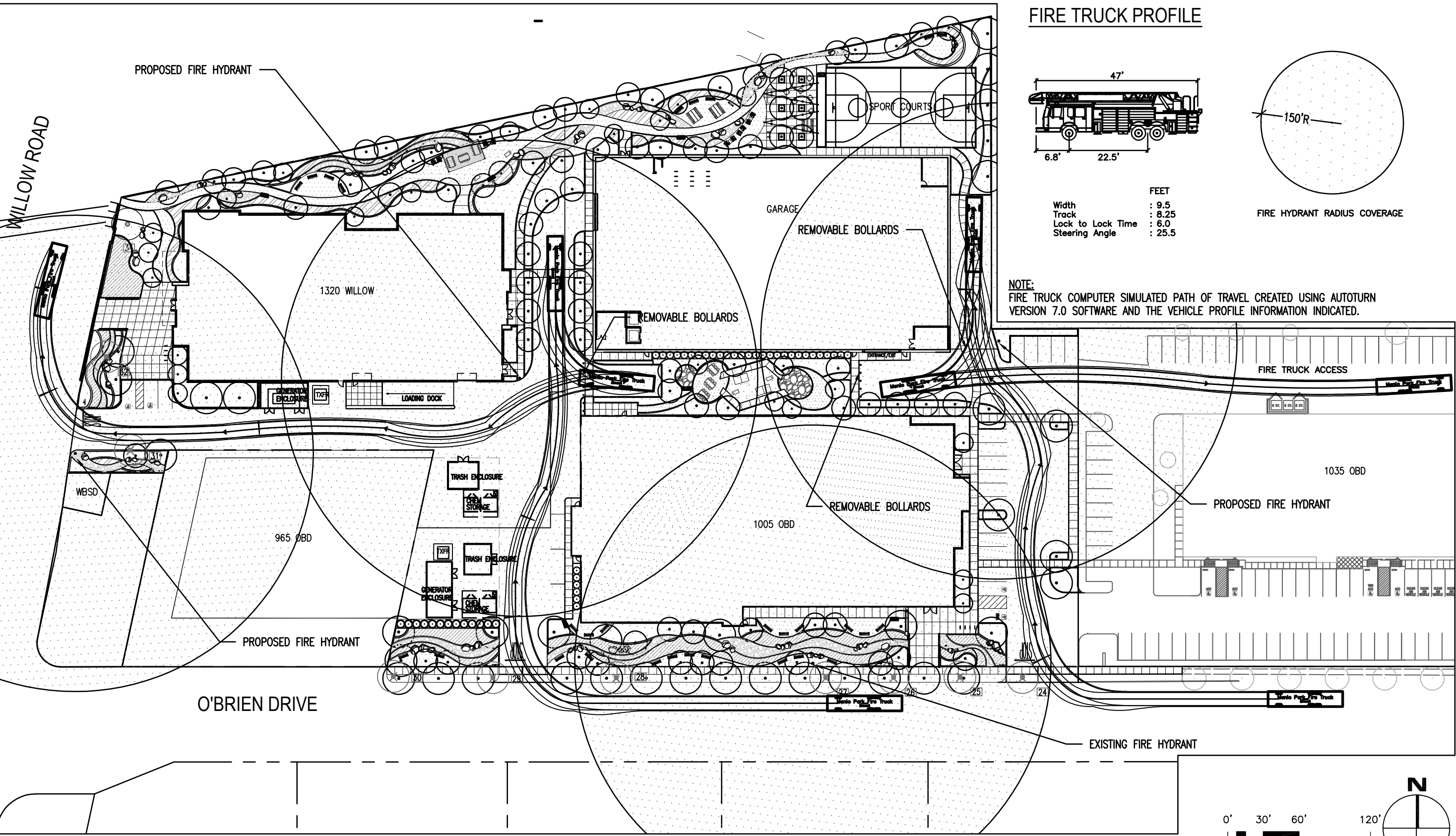


h: Corn Holes

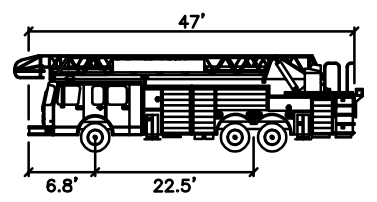


i: Bike Rack

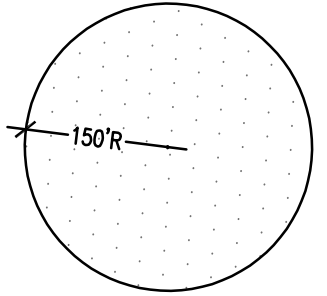




FIRE TRUCK PROFILE



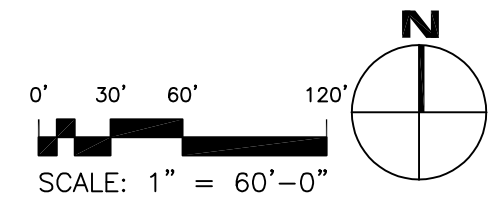
FEET	
Width	: 9.5
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.5



FIRE HYDRANT RADIUS COVERAGE

NOTE:
 FIRE TRUCK COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN
 VERSION 7.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.

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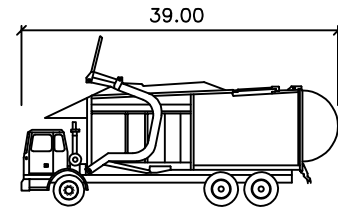
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FIRE TRUCK TURNING AND HYDRANT EXHIBIT

C1.1

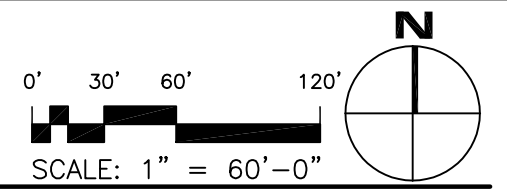
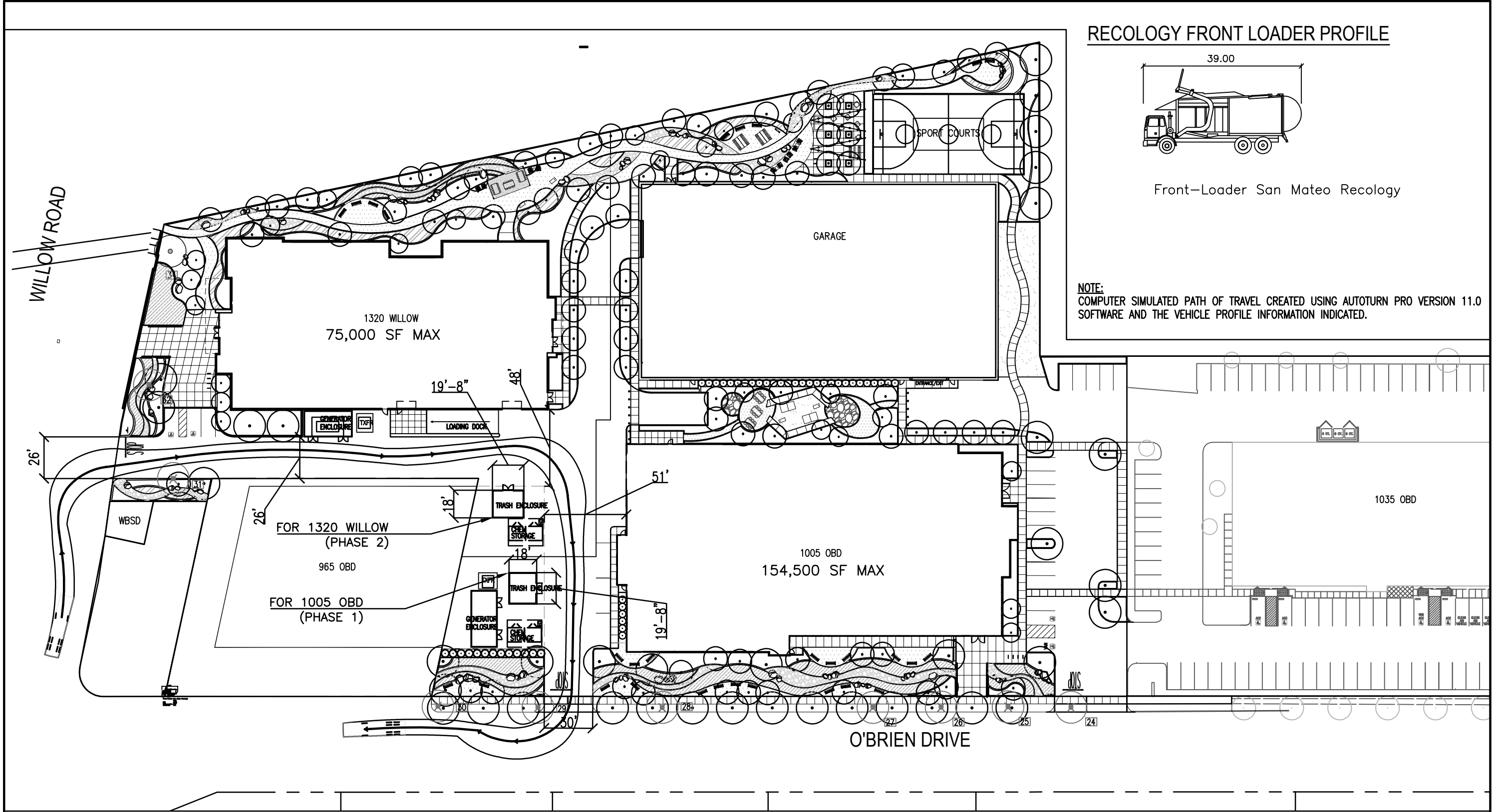
PAGE E-2 OF 97
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RECOLOGY FRONT LOADER PROFILE



Front-Loader San Mateo Recology

NOTE:
COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN PRO VERSION 11.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.



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- 07-12-2023 C.U.P. RESPONSE 5

RECOLOGY TRUCK TURNING EXHIBIT

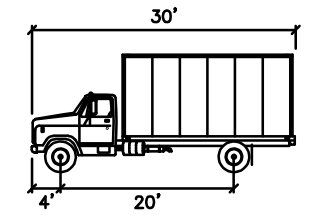
C1.2



PAGE E-2 98

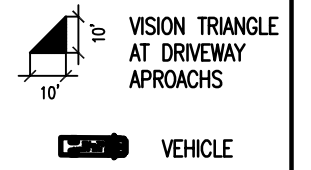
BIM 360/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt

DELIVERY SEMI-AXEL TRUCK PROFILE

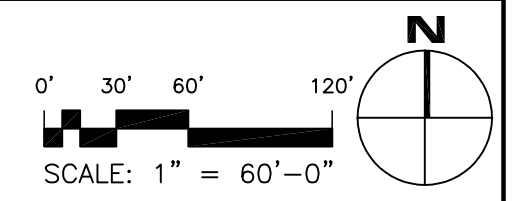
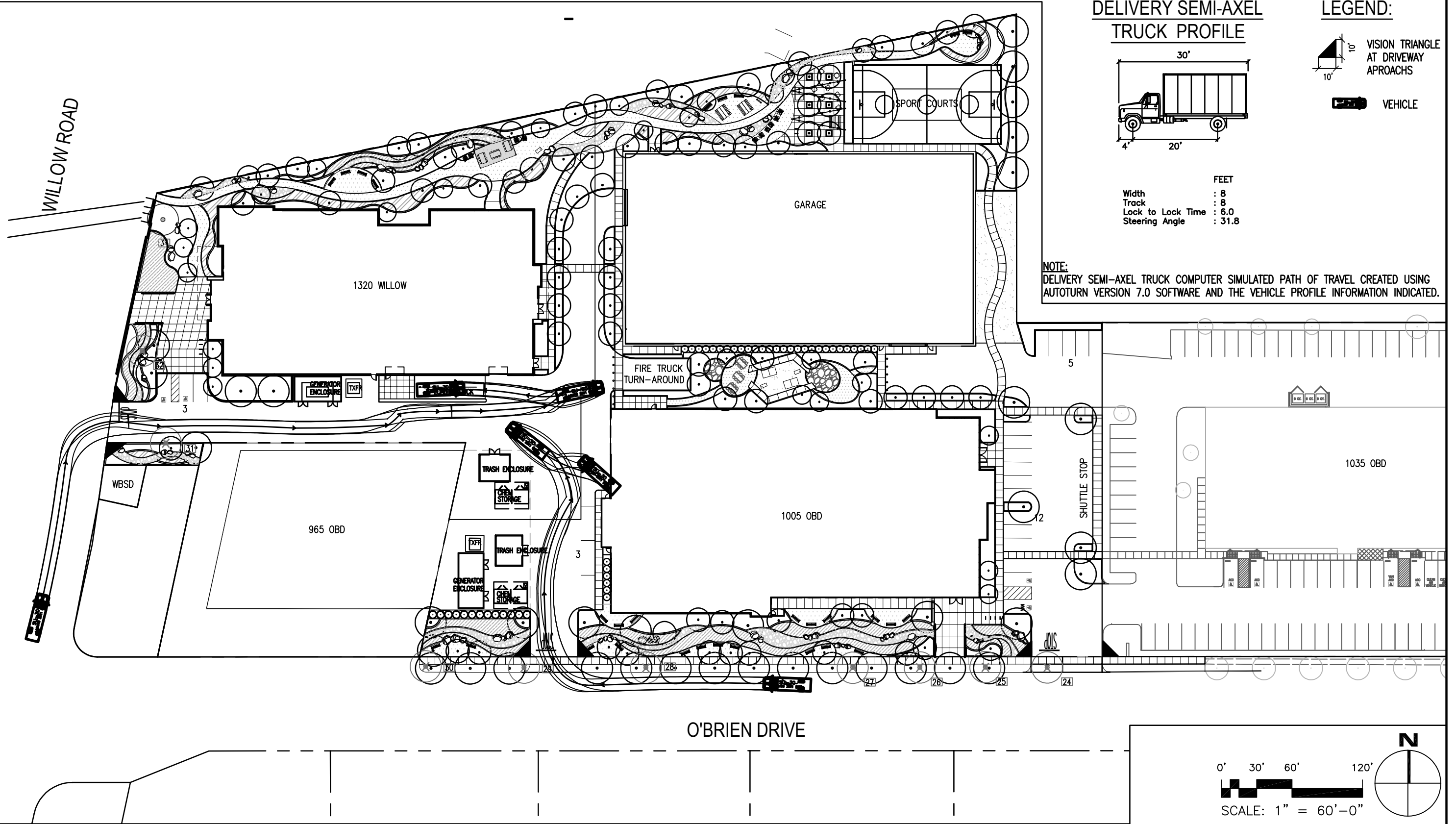


	FEET
Width	: 8
Track	: 8
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

LEGEND:



NOTE:
DELIVERY SEMI-AXEL TRUCK COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN VERSION 7.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.



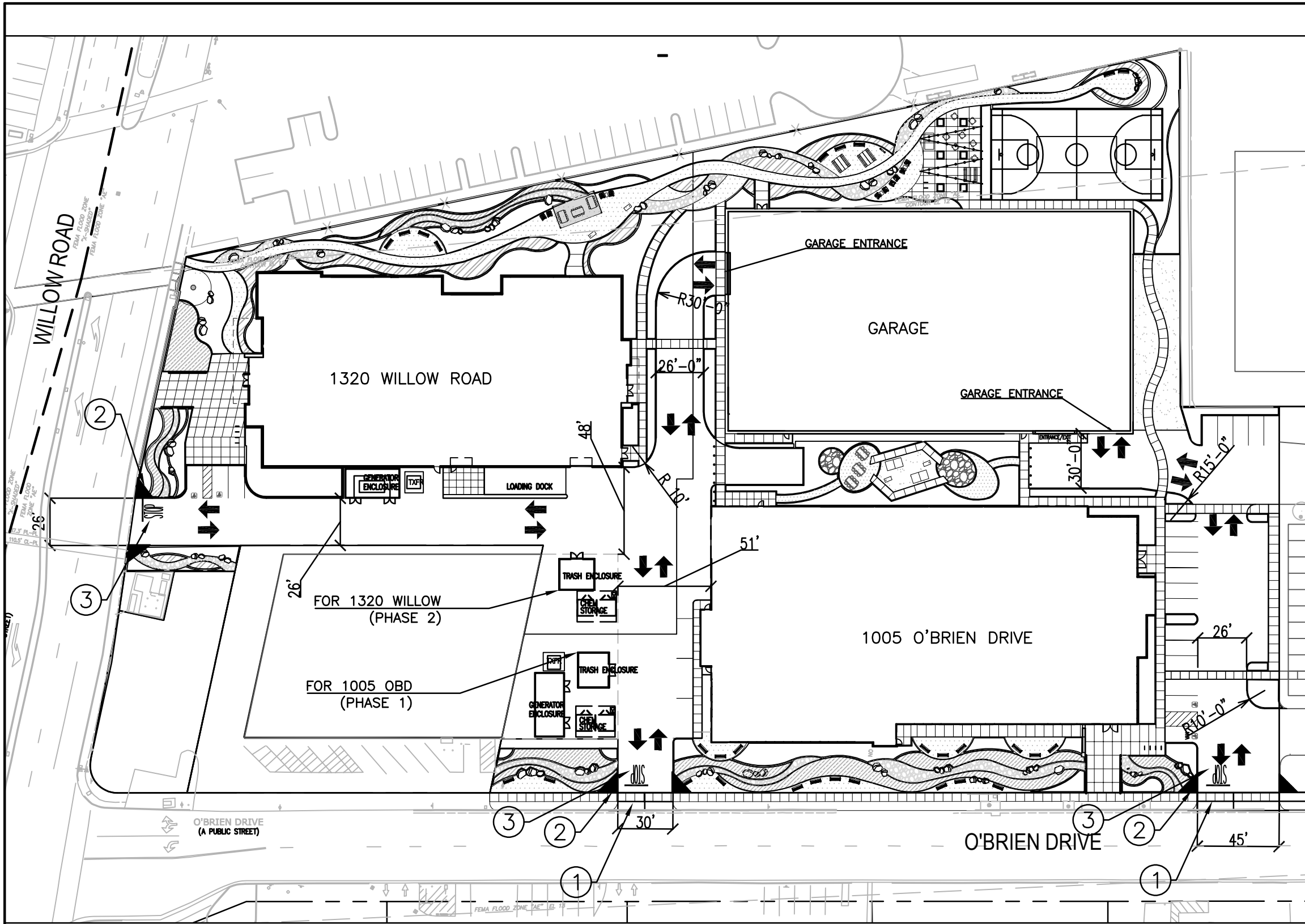
985 & 1001 O'BRIEN DR
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- 04-15-2021 D.R.T. REVIEW
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- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5

DELIVERY TRUCK EXHIBIT

C1.3





LEGEND:

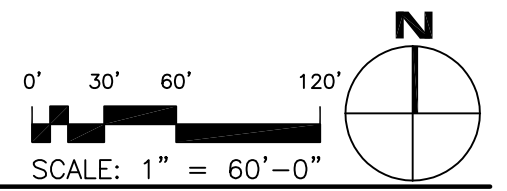
- DIRECTION OF PARKING CIRCULATION
- VISION TRIANGLE AT DRIVEWAY APPROACHES
- R RADIUS

NOTES:

1. ALL DIMENSIONS TO FACE OF CURB U.N.O. (ALL FTP DIMENSIONS ARE SHOWN TO OUTSIDE WALL EDGES.)
2. ALL SIGNS AND ASSOCIATED STRIPING AND PAVEMENT MARKINGS SHOULD BE INSTALLED AT THESE DRIVEWAYS IN ACCORDANCE WITH THE CALIFORNIA-MUTCD.
3. ALL CURB RADIUS, DRIVEWAY WIDTHS, AND SPACING BETWEEN DRIVEWAYS SHALL MEET THE CITY OF MENLO PARK STALL AND DRIVEWAY GUIDELINE DETAILS.
4. LANDSCAPING PROPOSED ON EACH SIDE OF THE PROPOSED DRIVEWAYS SHOULD NOT OBSTRUCT VIEW OF DRIVERS WHILE EXITING.

KEYNOTES:

- ① PROPOSED DRIVEWAY TO BE INSTALLED PER CITY OF MENLO PARK STANDARD DETAILS
- ② INSTALL STOP SIGN PER CA-MUTCD STANDARD DETAILS.
- ③ INSTALL "STOP" PAVEMENT MARKING PER CA-MUTCD STANDARD DETAILS.



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 07-12-2023 C.U.P. RESPONSE 5

PARKING CIRCULATION AND STRIPING
 EXHIBIT

C1.4
 DES ARCHITECTS ENGINEERS
 PAGE E-2.100

LEGEND:

-  BOUNDARY OF WORK LIMIT FOR PHASE 1
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- FF FINISH FLOOR ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FG FINISH GRADE
- RIM RIM OF SD CATCH BASIN
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- HP HIGH POINT
- (E) EXISTING
- (P) PROPOSED
-  DIRECTION OF SURFACE DRAINAGE
-  CATCH BASIN
-  BIORETENTION BASIN
-  DG PAVEMENT
-  COBBLE BAND
-  STREET LIGHTS PER CITY STANDARD DETAILS
-  LANDSCAPE AREA

NOTE:

1. SEE SHEET C6.1 FOR SECTIONS OF EXISTING AND PROPOSED CONDITIONS ALONG O'BRIEN DRIVE AND BOUNDARY.
2. SLOPES WITHIN THE FIRST 10' MUST SLOPE AWAY FROM THE BUILDING AT 5% MIN. FOR PERVIOUS SURFACES AND 2% MIN. FOR IMPERVIOUS AREAS.
3. ALL OFFSITE IMPROVEMENTS SHALL BE PER CITY OF MENLO PARK STANDARD DETAILS.
4. PER MUNICIPAL CODE CHAPTER 16, ELECTRICAL UNDERGROUNDING (LESS THAN 60KV AND COMMUNICATION LINES).

BENCHMARK:

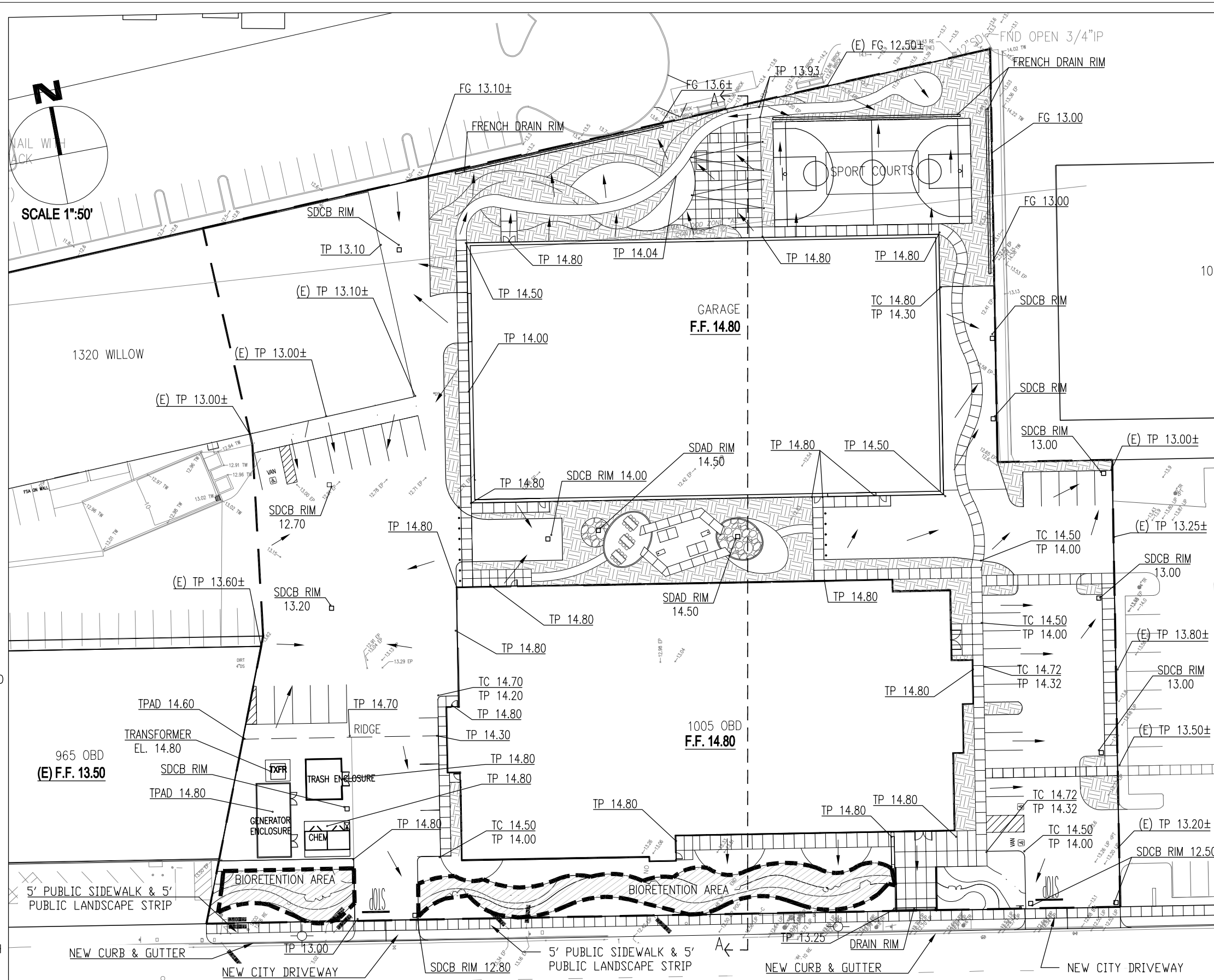
(FROM TOPOGRAPHIC SURVEY PREPARED BY KIER & WRIGHT SURVEYORS: JOB A15124-5 DATED FEB. 2021)

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 06081C0307E FOR COMMUNITY PANEL NUMBER 060321 0307 E, DATED OCTOBER 16, 2012, WITH THE SITE BEING LOCATED IN FLOOD ZONE "AE";

BASE FLOOD ELEVATION DETERMINED AS 12.8 FEET.

NOTE: THE PROJECT WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.










985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

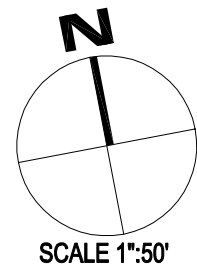
- 04-15-2021 D.R.T. REVIEW
- 05-26-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5

PHASE 1 PRELIMINARY GRADING PLAN

C2.1 
PAGE E-2.101

LEGEND:

-  BOUNDARY OF WORK LIMIT FOR PHASE 2
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- FF FINISH FLOOR ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FG FINISH GRADE
- RIM RIM OF SD CATCH BASIN
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- HP HIGH POINT
- (E) EXISTING
- (P) PROPOSED
-  DIRECTION OF SURFACE DRAINAGE
-  CATCH BASIN
-  BIORETENTION BASIN
-  DG PAVEMENT
-  COBBLE BAND
-  LANDSCAPE AREA



NOTE:

1. SEE SHEET C6.1 FOR SECTIONS OF EXISTING AND PROPOSED CONDITIONS ALONG O'BRIEN DRIVE AND BOUNDARY.
2. SLOPES WITHIN THE FIRST 10' MUST SLOPE AWAY FORM THE BUILDING AT 5% MIN. FOR PERVIOUS SURFACES AND 2% MIN. FOR IMPERVIOUS AREAS.

BENCHMARK:

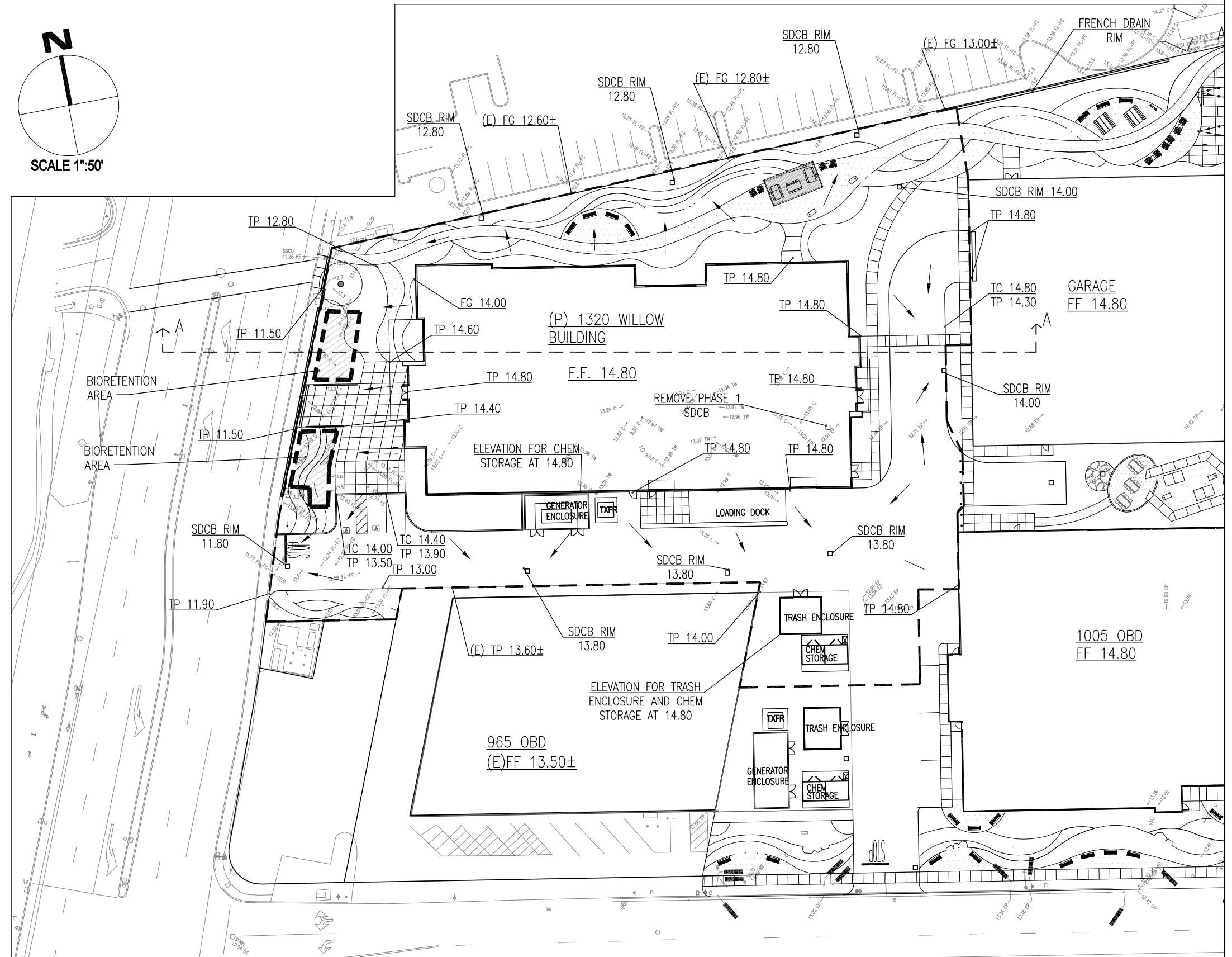
(FROM TOPOGRAPHIC SURVEY PREPARED BY KIER & WRIGHT SURVEYORS: JOB A15124-5 DATED FEB. 2021)

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 06081C0307E FOR COMMUNITY PANEL NUMBER 060321 0307 E, DATED OCTOBER 16, 2012, WITH THE SITE BEING LOCATED IN FLOOD ZONE "AE";

BASE FLOOD ELEVATION DETERMINED AS 12.8 FEET.

NOTE: THE PROJECT WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.



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- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5


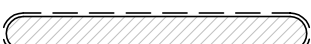
PHASE 2 PRELIMINARY GRADING PLAN

C2.2 
PAGE E-2.102

SHEET NOTES:

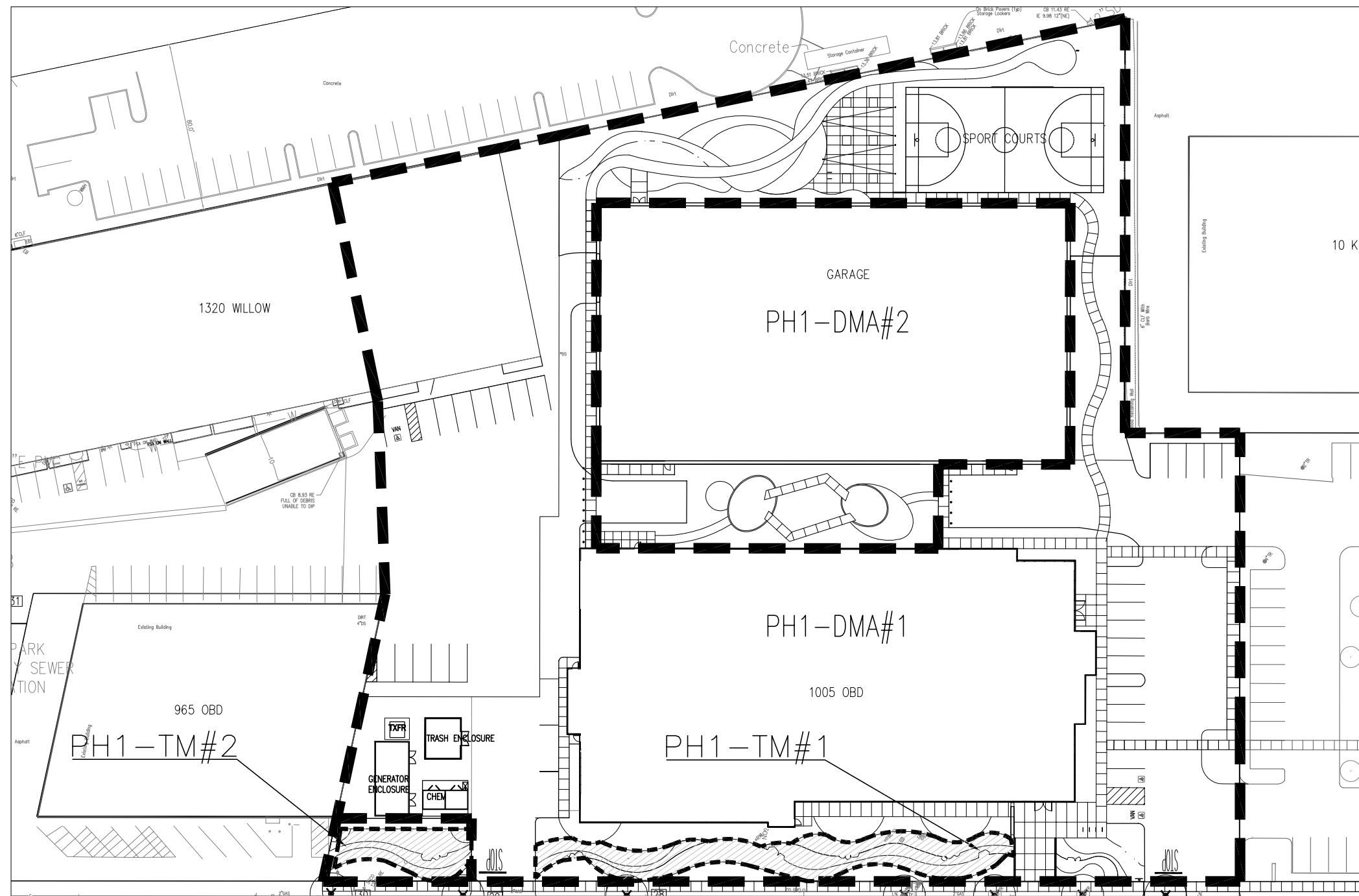
1. DIRECT RUNOFF FROM UNCOVERED PARKING AREAS AND/OR DRIVEWAYS ONTO VEGETATED AREAS.
2. MINIMIZE IMPERVIOUS SURFACES.
3. PRELIMINARY SIZING IS BASED ON THE COUNTY OF SAN MATEO WORKSHEET FOR CALCULATING THE COMBINATION FLOW AND VOLUME METHOD PER SECTION 5.1.3 OF C.3. REGULATED PROJECTS GUIDE.
4. SEE SHEET C3.2A FOR PHASE 2 STORMWATER MANAGEMENT SUMMARY. SEE SHEET C3.3 FOR FINAL CONDITION STORMWATER MANAGEMENT PLAN SUMMARY.

LEGEND:

-  PROPOSED STORMWATER DRAINAGE AREA BOUNDARY
-  BIORETENTION BASIN

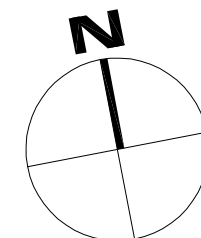
ABBREVIATIONS:

- PH1-DMA# PHASE 1 DRAINAGE MANAGEMENT AREA #
- PH1-TM# PHASE 1 TREATMENT MEASURE #



STORMWATER MANAGEMENT TREATMENT MEASURE SUMMARY:

DRAINAGE AREA #	STORMWATER TREATMENT MEASURE	TREATMENT MEASURE DESIGNATION #	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQUIRED (SQ.FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
PH1-DMA#1	BIORETENTION AREA	PH1-TM#1	112165	90384	21781	92560	2800	3290
PH1-DMA#2	BIORETENTION BASIN	PH1-TM#2	34390	31507	2883	31795	960	1200



SCALE 1" = 60'

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07-12-2023 C.U.P. RESPONSE 5

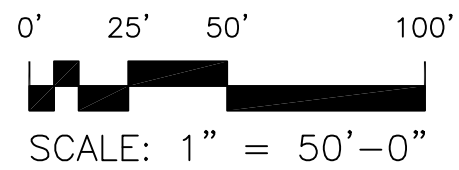
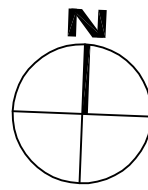
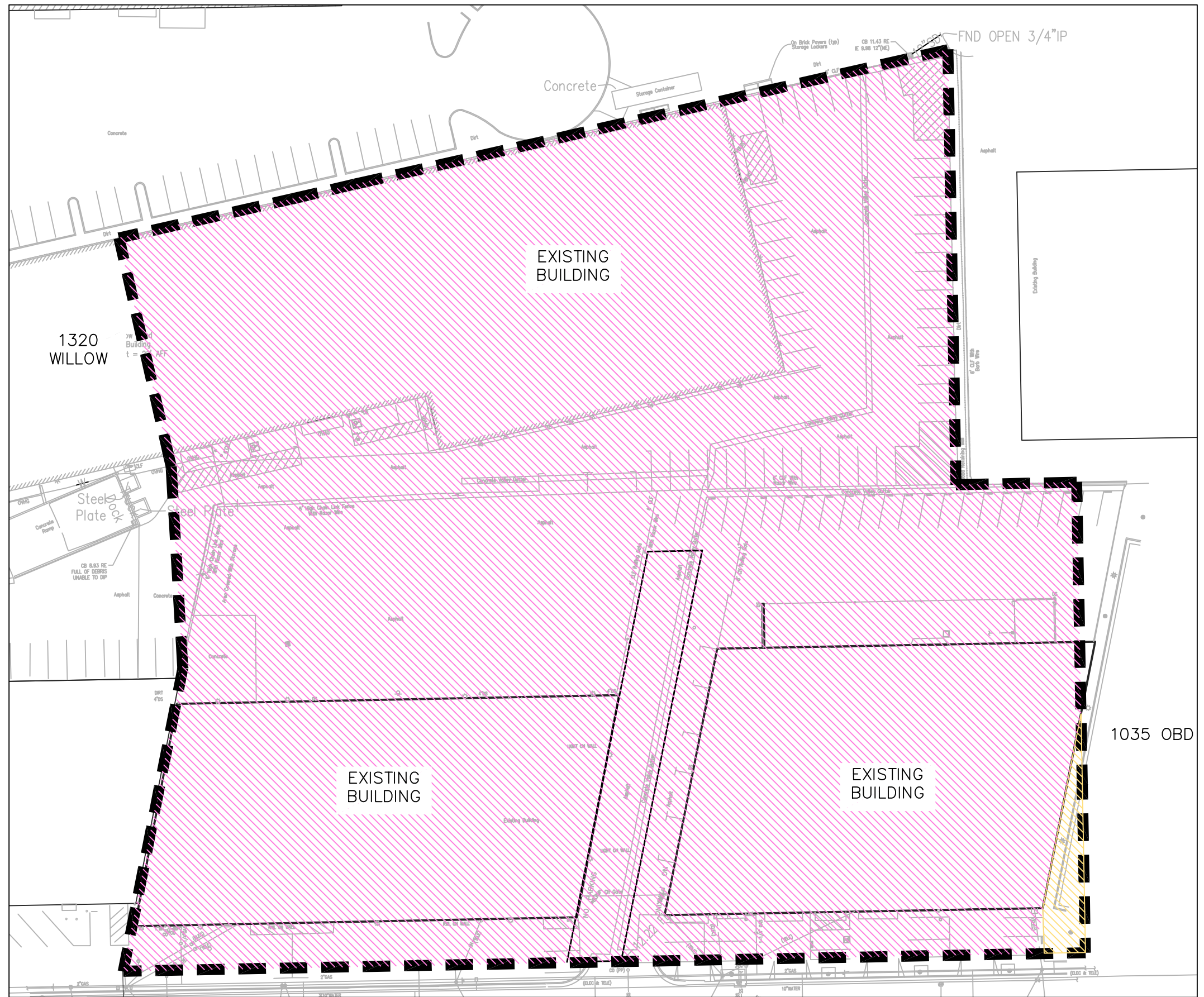
PHASE 1 PRELIMINARY STORMWATER MANAGEMENT PLAN

LEGEND

-  PROPERTY BOUNDARY
-  EXISTING IMPERVIOUS AREA
-  EXISTING PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	EXISTING
PERVIOUS AREA (SQ. FT.)	1318
IMPERVIOUS AREA (SQ. FT.)	145237
TOTAL AREA (SQ. FT.)	146555



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 07-12-2023 C.U.P. RESPONSE 5

PHASE 1 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA

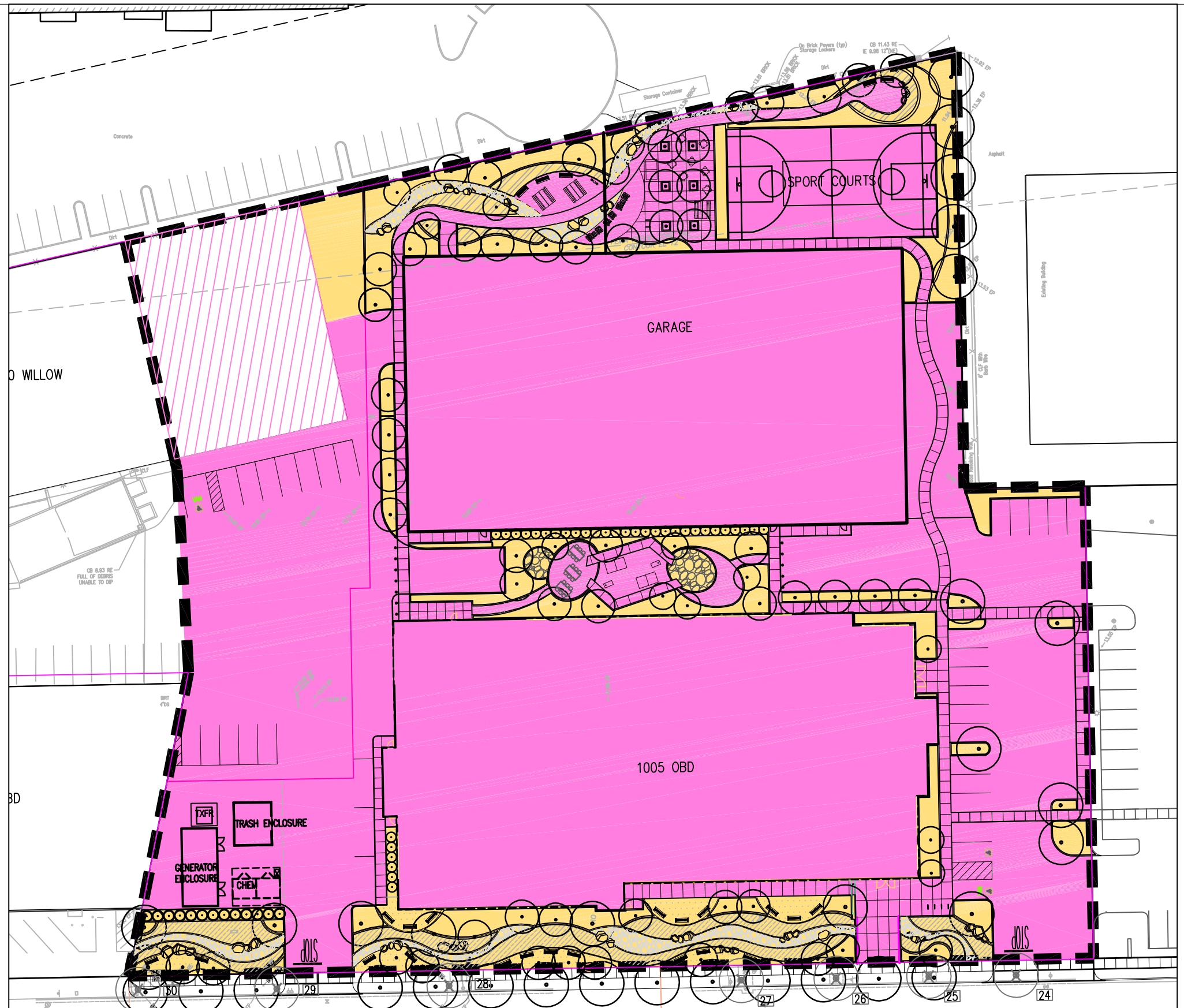
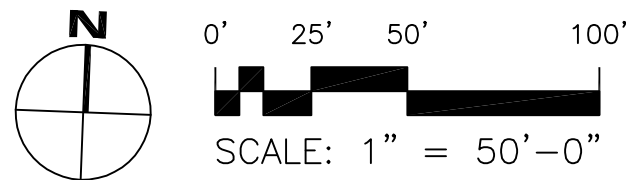


LEGEND

-  PROPERTY BOUNDARY
-  EXISTING IMPERVIOUS AREA
-  PROPOSED IMPERVIOUS AREA
-  PROPOSED PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	PROPOSED
PERVIOUS AREA (SQ. FT.)	24664
IMPERVIOUS AREA (SQ. FT.)	121891
TOTAL AREA (SQ. FT.)	146555



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 07-12-2023 C.U.P. RESPONSE 5

PHASE 1 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA

C3.1C 
 PAGE E-2.105

SHEET NOTES:

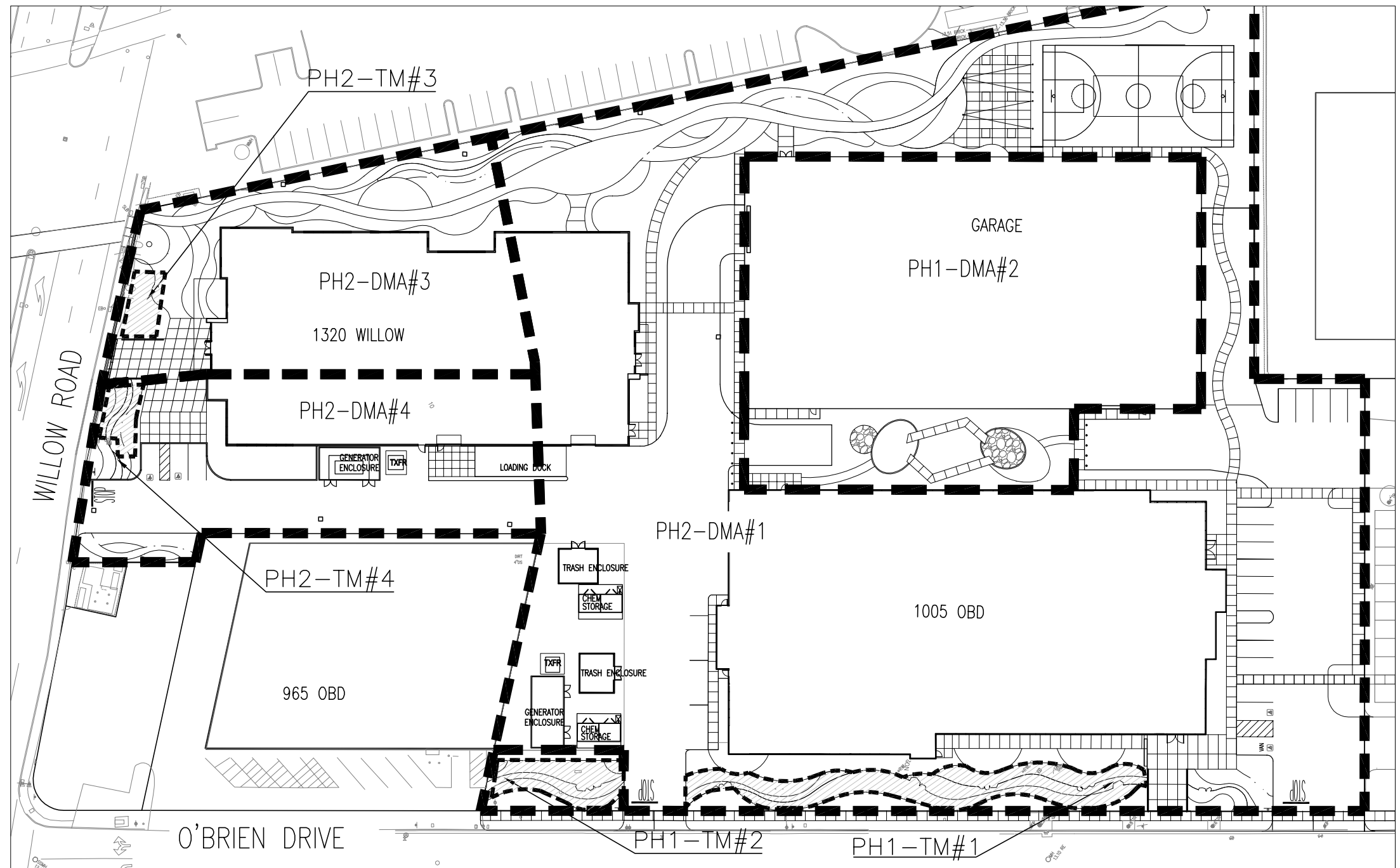
1. DIRECT RUNOFF FROM UNCOVERED PARKING AREAS AND/OR DRIVEWAYS ONTO VEGETATED AREAS.
2. MINIMIZE IMPERVIOUS SURFACES.
3. PRELIMINARY SIZING IS BASED ON THE COUNTY OF SAN MATEO WORKSHEET FOR CALCULATING THE COMBINATION FLOW AND VOLUME METHOD PER SECTION 5.1.3 OF C.3. REGULATED PROJECTS GUIDE.
4. SEE SHEET C3.1A FOR PHASE 1 STORMWATER MANAGEMENT SUMMARY. SEE SHEET C3.3 FOR FINAL CONDITION STORMWATER MANAGEMENT PLAN SUMMARY.

LEGEND:

-  PROPOSED STORMWATER DRAINAGE AREA BOUNDARY
-  BIORETENTION BASIN

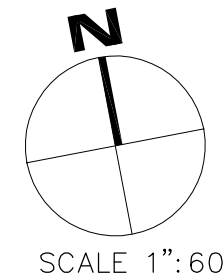
ABBREVIATIONS:

- PH#-DMA# PHASE # DRAINAGE MANAGEMENT AREA #
- PH#-TM# PHASE # TREATMENT MEASURE #



STORMWATER MANAGEMENT TREATMENT MEASURE SUMMARY:

DRAINAGE AREA #	STORMWATER TREATMENT MEASURE	TREATMENT MEASURE DESIGNATION #	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQUIRED (SQ.FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
PH2-DMA#3	BIORETENTION AREA	PH2-TM#3	19170	13394	5776	13972	423	500
PH2-DMA#4	BIORETENTION AREA	PH2-TM#4	18030	14930	3100	15240	462	520



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10-28-2022 C.U.P. RESPONSE 3
02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

PHASE 2 PRELIMINARY STORMWATER MANAGEMENT PLAN

C3.2A

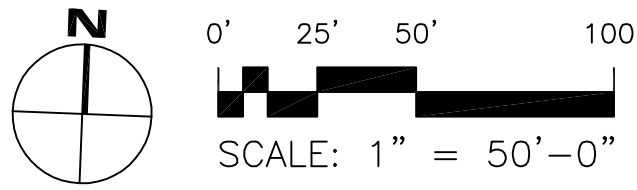
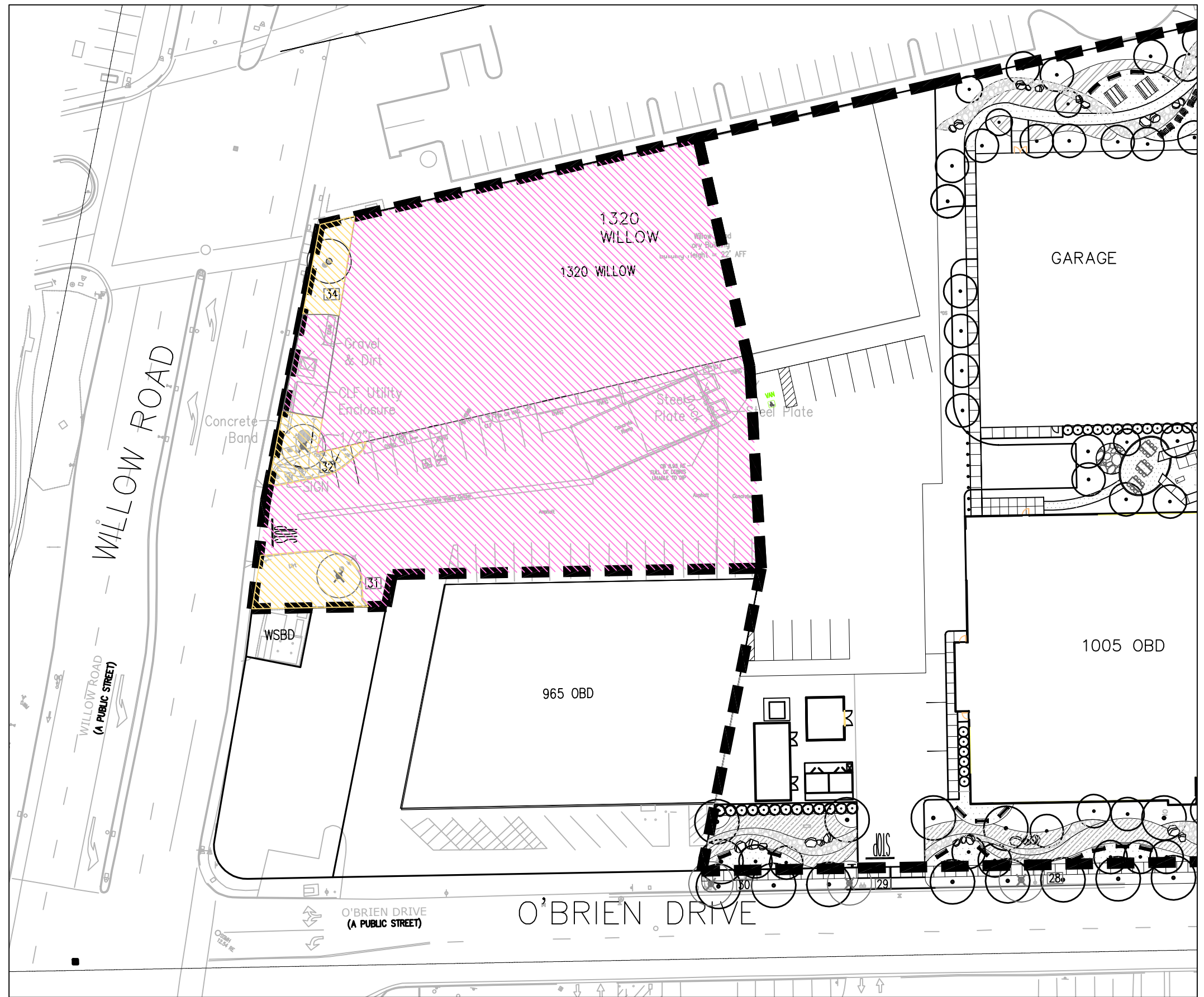


LEGEND

-  LIMIT OF DRAINAGE SHED AREA
-  EXISTING IMPERVIOUS AREA
-  EXISTING PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	EXISTING
PERVIOUS AREA (SQ. FT.)	2612
IMPERVIOUS AREA (SQ. FT.)	34588
TOTAL AREA (SQ. FT.)	37200



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985 & 1001 O'BRIEN DR
1320 WILLOW RD
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PHASE 2 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA





- 04-15-2021 D.R.T. REVIEW
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- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3

C3.2B

DES ARCHITECTS ENGINEERS

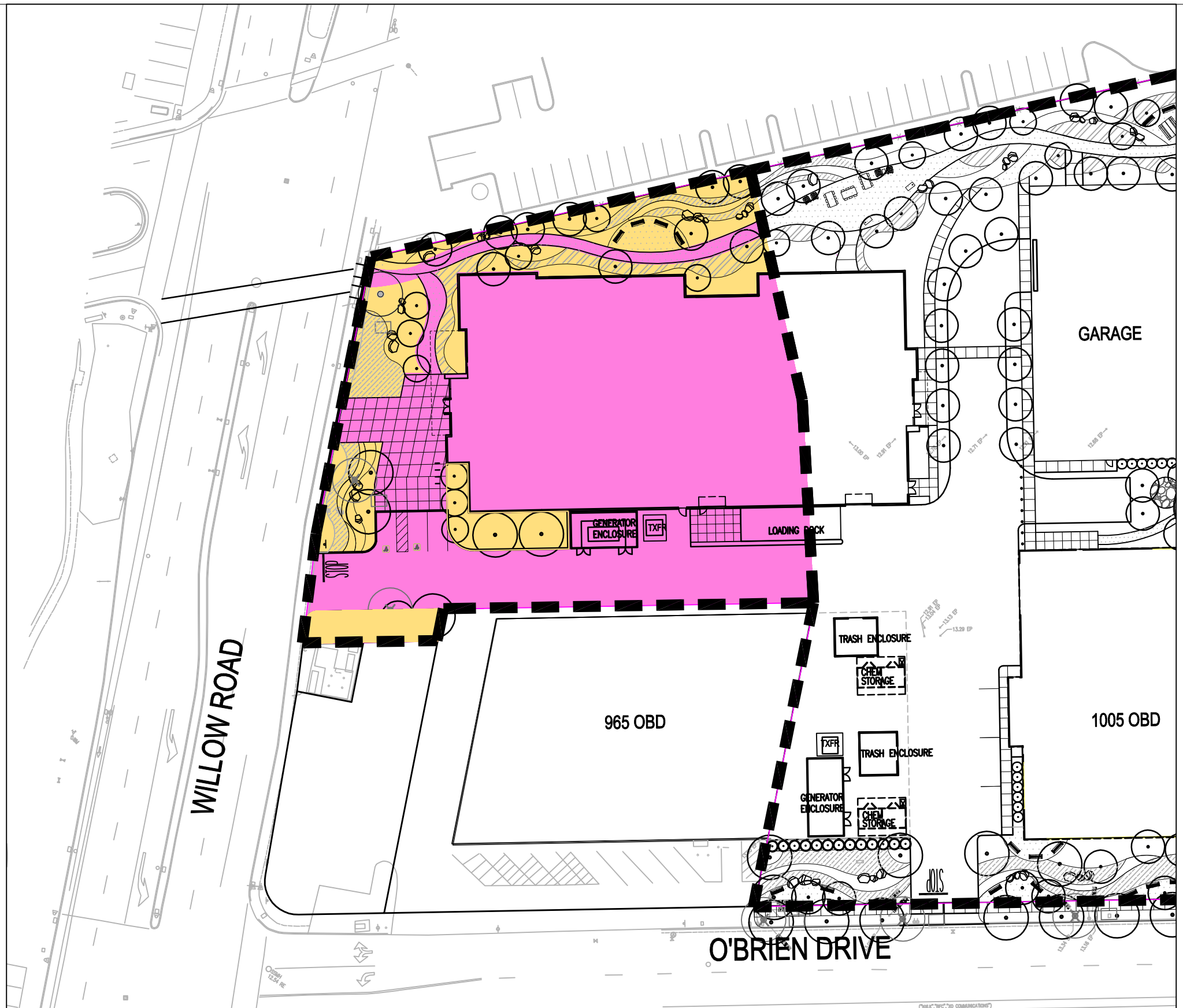
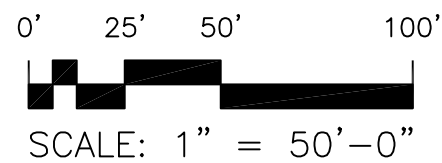
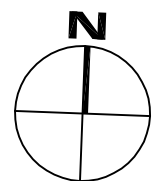
PAGE E-2.107 © 2020

LEGEND

-  LIMIT OF DRAINAGE SHED AREA
-  EXISTING IMPERVIOUS AREA
-  PROPOSED IMPERVIOUS AREA
-  PROPOSED PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	PROPOSED
PERVIOUS AREA (SQ. FT.)	8876
IMPERVIOUS AREA (SQ. FT.)	28324
TOTAL AREA (SQ. FT.)	37200



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 02-17-2023 C.U.P. RESPONSE 4
 07-12-2023 C.U.P. RESPONSE 5

PHASE 2 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA

C3.2C



SHEET NOTES:

1. SEE SHEET C3.1A FOR PHASE 1 STORMWATER MANAGEMENT SUMMARY. SEE SHEET C3.2A FOR PHASE 2 STORMWATER TREATMENT SUMMARY.

LEGEND:

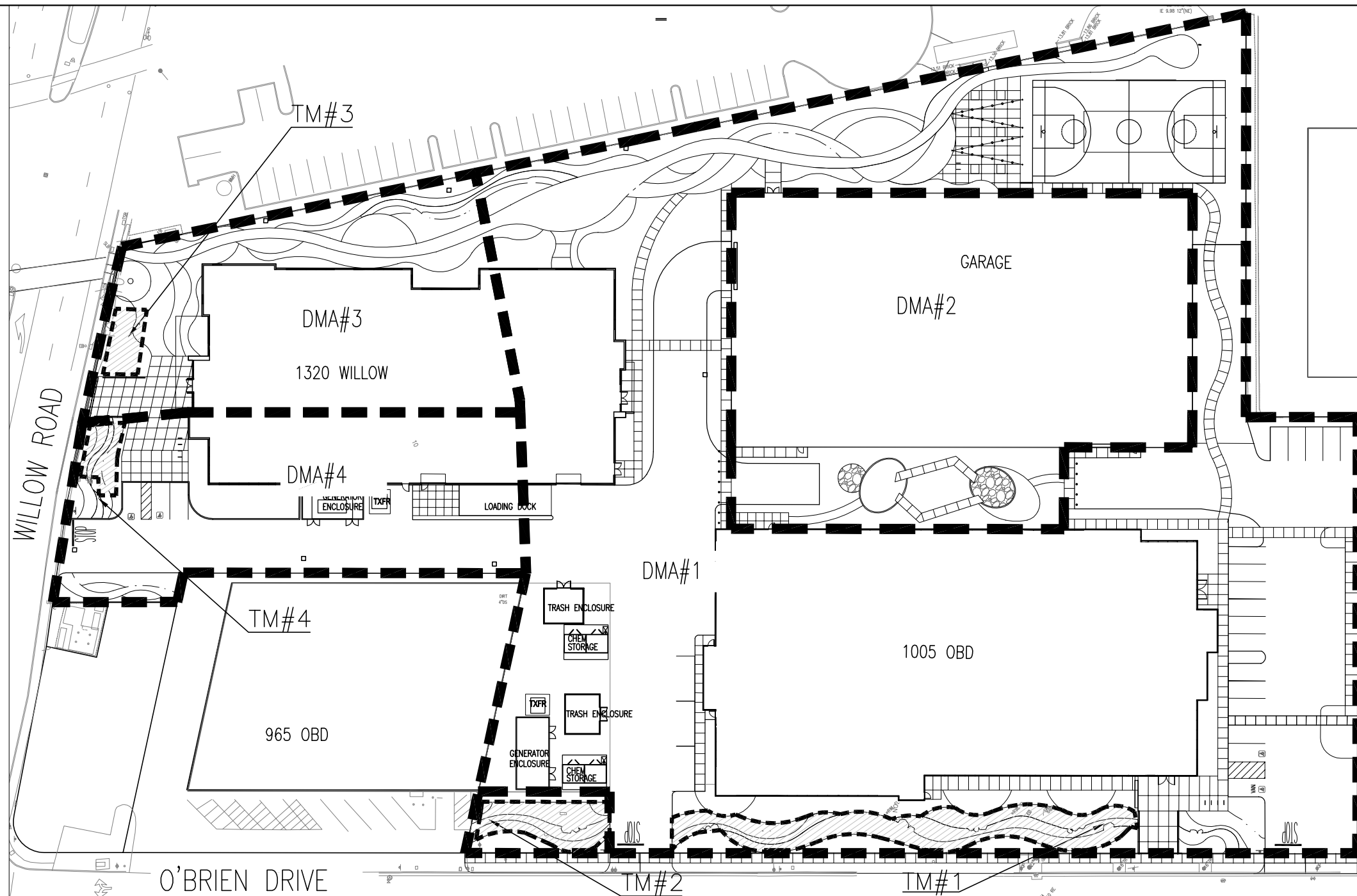
-  PROPOSED STORMWATER DRAINAGE AREA BOUNDARY
-  BIORETENTION BASIN

ABBREVIATIONS:

- DMA# PHASE # DRAINAGE MANAGEMENT AREA #
- TM# PHASE # TREATMENT MEASURE #

IMPERVIOUS/PERVIOUS AREA SUMMARY FOR FULL PROJECT

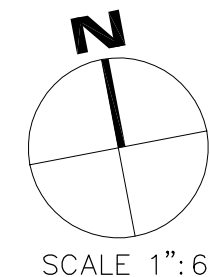
	FULL PROJECT EXISTING CONDITION	FULL PROJECT PROPOSED CONDITION
PERVIOUS AREA (SQ. FT.)	3930	36896
IMPERVIOUS AREA (SQ. FT.)	179825	146859
TOTAL AREA (SQ. FT.)	183755	183755



IMPERVIOUS/PERVIOUS AREA SUMMARY PER DRAINAGE MANAGEMENT AREAS:

	PHASE 0: DMA#1 AND DMA#2 SD OUTLET INTO O'BRIEN DR.	PHASE 1: DMA#1 AND DMA#2 SD OUTLET INTO O'BRIEN DR.	PHASE 2: DMA#1 AND DMA#2 SD OUTLET INTO O'BRIEN DR.
PERVIOUS AREA (SQ. FT.)	1318	24664	28020
IMPERVIOUS AREA (SQ. FT.)	145237	121891	118535
TOTAL AREA (SQ. FT.)	146555	146555	146555

	PHASE 1: DMA#3 AND DMA#4 SD OUTLET INTO WILLOW RD.	PHASE 2: DMA#1 AND DMA#2 SD OUTLET INTO WILLOW RD.
PERVIOUS AREA (SQ. FT.)	2612	8876
IMPERVIOUS AREA (SQ. FT.)	34588	28324
TOTAL AREA (SQ. FT.)	37200	37200



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

FINAL CONDITION PRELIMINARY STORMWATER MANAGEMENT PLAN

- 04-15-2021 D.R.T. REVIEW
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- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5

C3.3



E-2.109

ABBREVIATIONS & LEGEND:

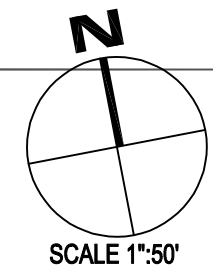
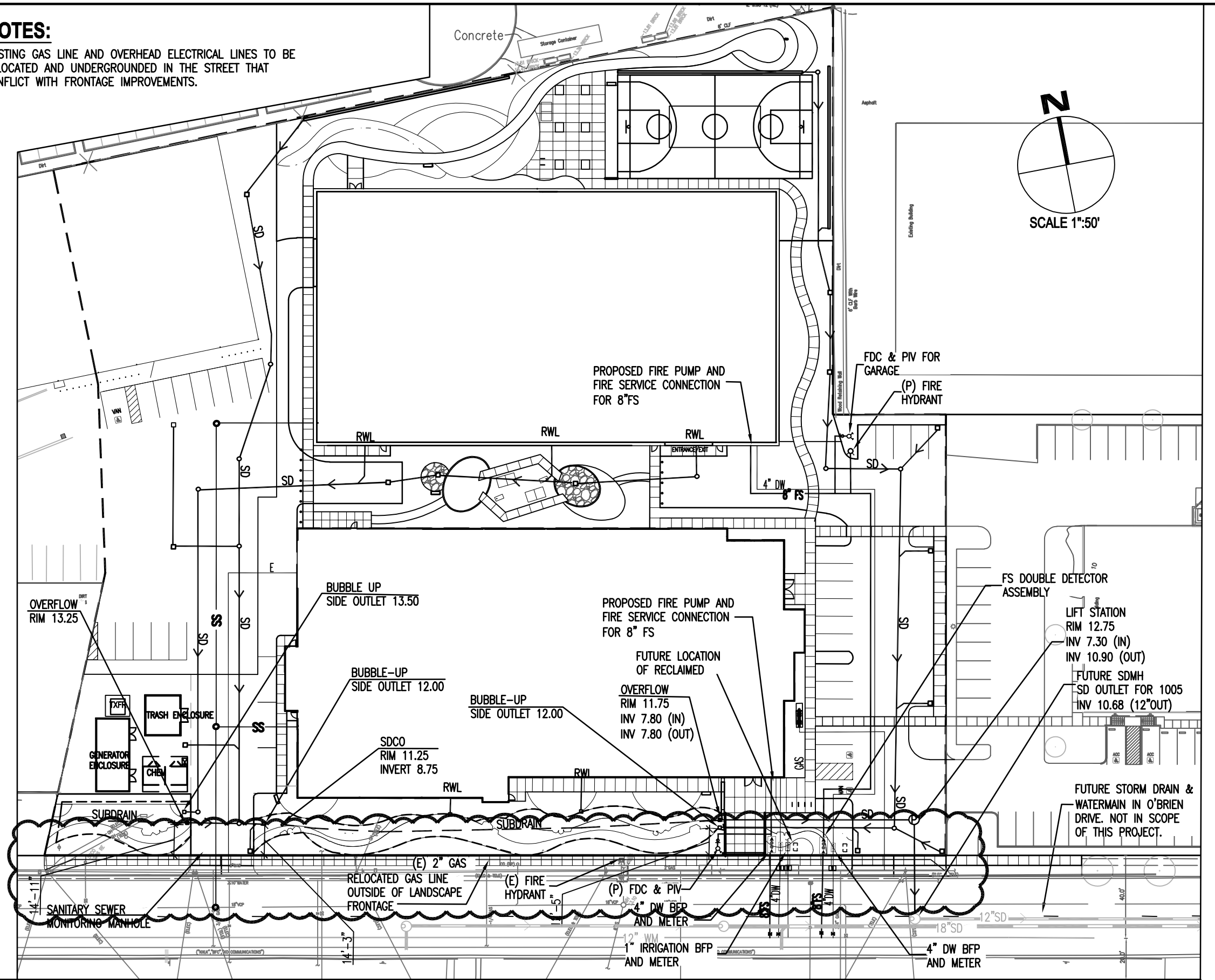
- BFP BACKFLOW PREVENTOR
- SS SANITARY SEWER
- SD STORM DRAIN
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- E ELECTRICAL LINE
- FF FINISH FLOOR ELEVATION
- FS FIRE SERVICE
- DW DOMESTIC WATER
- (P) PROPOSED
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- JUT JOINT UTILITY TRENCH
- HP HIGH POINT
- (E) EXISTING
- FH FIRE HYDRANT
- RIM GRATE OF CATCH BASIN, MANHOLE OR AREA DRAIN RIM ELEVATION
- RWL RAIN WATER LEADER
- P.O.C. POINT OF CONNECTION
- P.I.V. POST INDICATOR VALVE
- F.D.C. FIRE DEPT. CONNECTION

BIORETENTION BASIN

- CATCH BASIN
- STORM DRAIN MANHOLE
- (P) SD
- STORM DRAIN LINE
- (P) FS LINE
- (P) DW LINE
- (P) SS LINE
- PROPOSED BACKFLOW PREVENTOR DOUBLE DETECTOR CHECK ASSEMBLY
- SANITARY SEWER MANHOLE
- FDC
- PIV
- FIRE HYDRANT
- BUBBLE-UP STRUCTURE
- OVERFLOW STRUCTURE
- FUTURE GAS REGULATOR
- BOUNDARY OF WORK LIMIT FOR PHASE 1
- WATER METER PROVIDED IN PUBLIC ROW
- WATER VALVES

NOTES:

EXISTING GAS LINE AND OVERHEAD ELECTRICAL LINES TO BE RELOCATED AND UNDERGROUNDED IN THE STREET THAT CONFLICT WITH FRONTAGE IMPROVEMENTS.



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10-28-2022 C.U.P. RESPONSE 3
02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

PHASE 1 PRELIMINARY UTILITY PLAN

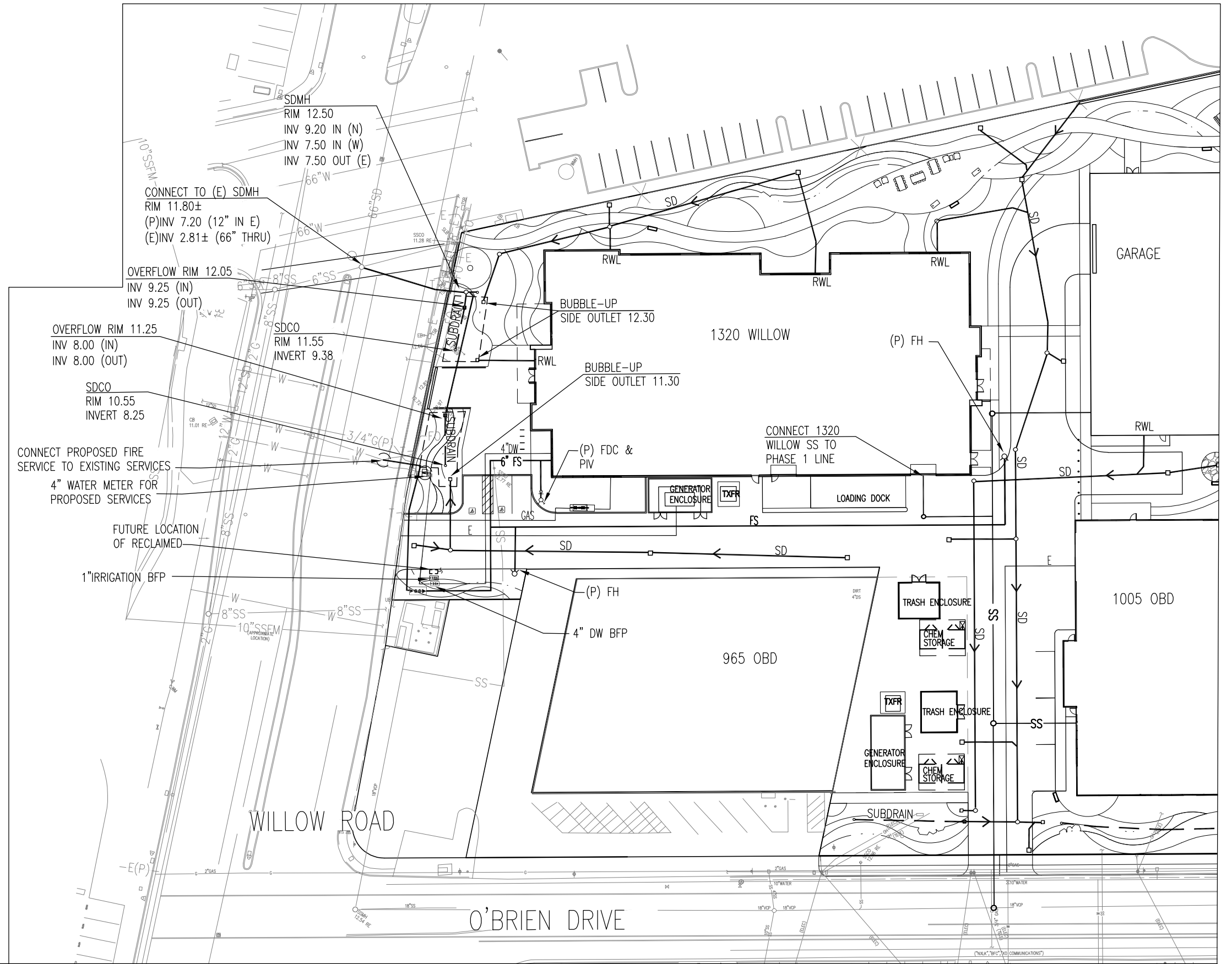
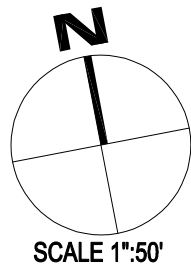
C4.1
PAGE E-2.110

ABBREVIATIONS & LEGEND:

- BFP BACKFLOW PREVENTOR
- SS SANITARY SEWER
- SD STORM DRAIN
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- E ELECTRICAL LINE
- FF FINISH FLOOR ELEVATION
- FS FIRE SERVICE
- DW DOMESTIC WATER
- (P) PROPOSED
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- JUT JOINT UTILITY TRENCH
- HP HIGH POINT
- (E) EXISTING
- FH FIRE HYDRANT
- GRATE OF CATCH BASIN, MANHOLE OR AREA DRAIN RIM ELEVATION
- RIM
- RWL RAIN WATER LEADER
- P.O.C. POINT OF CONNECTION
- P.I.V. POST INDICATOR VALVE
- F.D.C. FIRE DEPT. CONNECTION



- CATCH BASIN
- STORM DRAIN MANHOLE
- (P) SD
- STORM DRAIN LINE
- (P) FS LINE
- (P) DW LINE
- (P) SS LINE
- PROPOSED BACKFLOW PREVENTOR DOUBLE DETECTOR CHECK ASSEMBLY
- SANITARY SEWER MANHOLE
- FDC
- PIV
- FIRE HYDRANT
- BUBBLE-UP STRUCTURE
- OVERFLOW STRUCTURE
- FUTURE GAS REGULATOR
- BOUNDARY OF WORK LIMIT



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985 & 1001 O'BRIEN DR
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PHASE 2 PRELIMINARY UTILITY PLAN

- 04-15-2021 D.R.T. REVIEW
- 02-17-2023 C.U.P. RESPONSE 4
- 05-26-2021 C.U.P. SUBMITTAL
- 07-12-2023 C.U.P. RESPONSE 5
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3

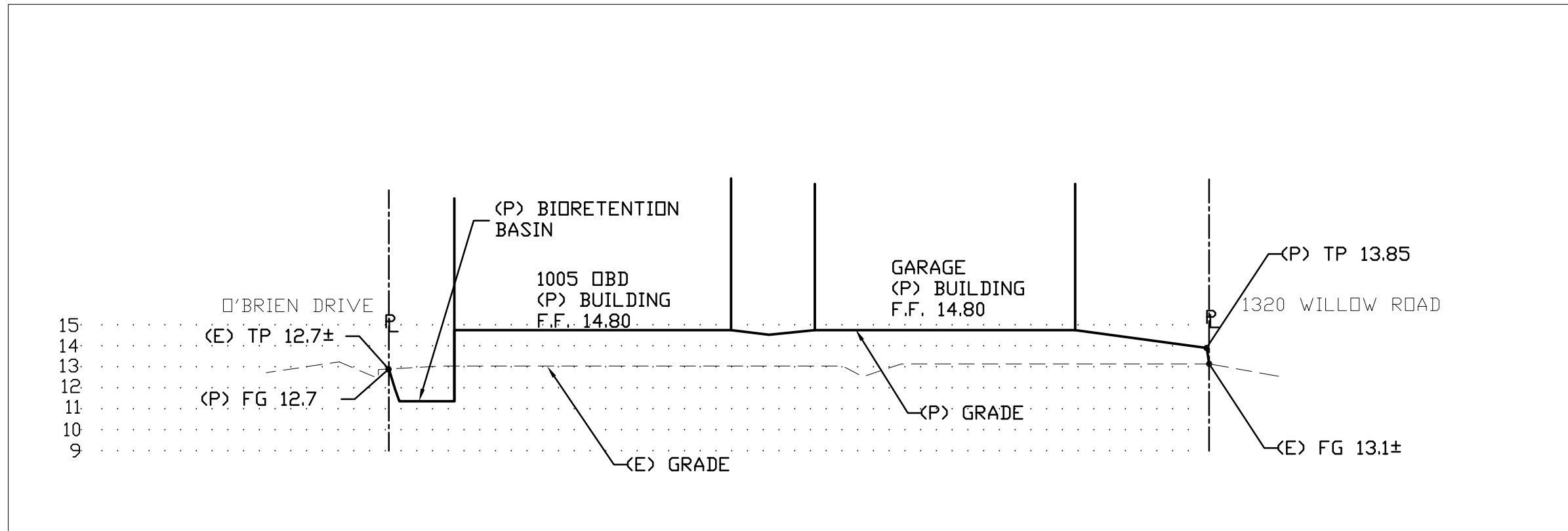
C4.2

DES ARCHITECTS ENGINEERS

PAGE E-2.111

NOTE:

SEE SHEET C2.1 FOR
PROPOSED GRADING AND
DRAINAGE PLAN.



SECTION A TO A: NORTH TO SOUTH
HORIZ. SCALE: 1"=60', VERT. SCALE: 1"=1'



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3
02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

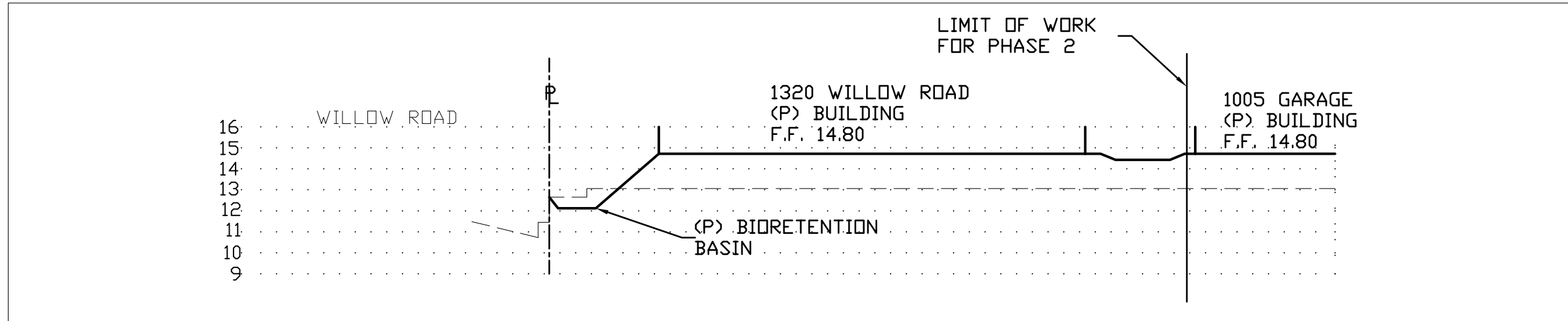
PHASE 1 GRADING SECTIONS

C6.1



NOTE:

SEE SHEET C2.2 FOR
PROPOSED GRADING AND
DRAINAGE PLAN.



SECTION A TO A: WEST TO EAST
HORIZ. SCALE: 1"=60', VERT. SCALE: 1"=1'

BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



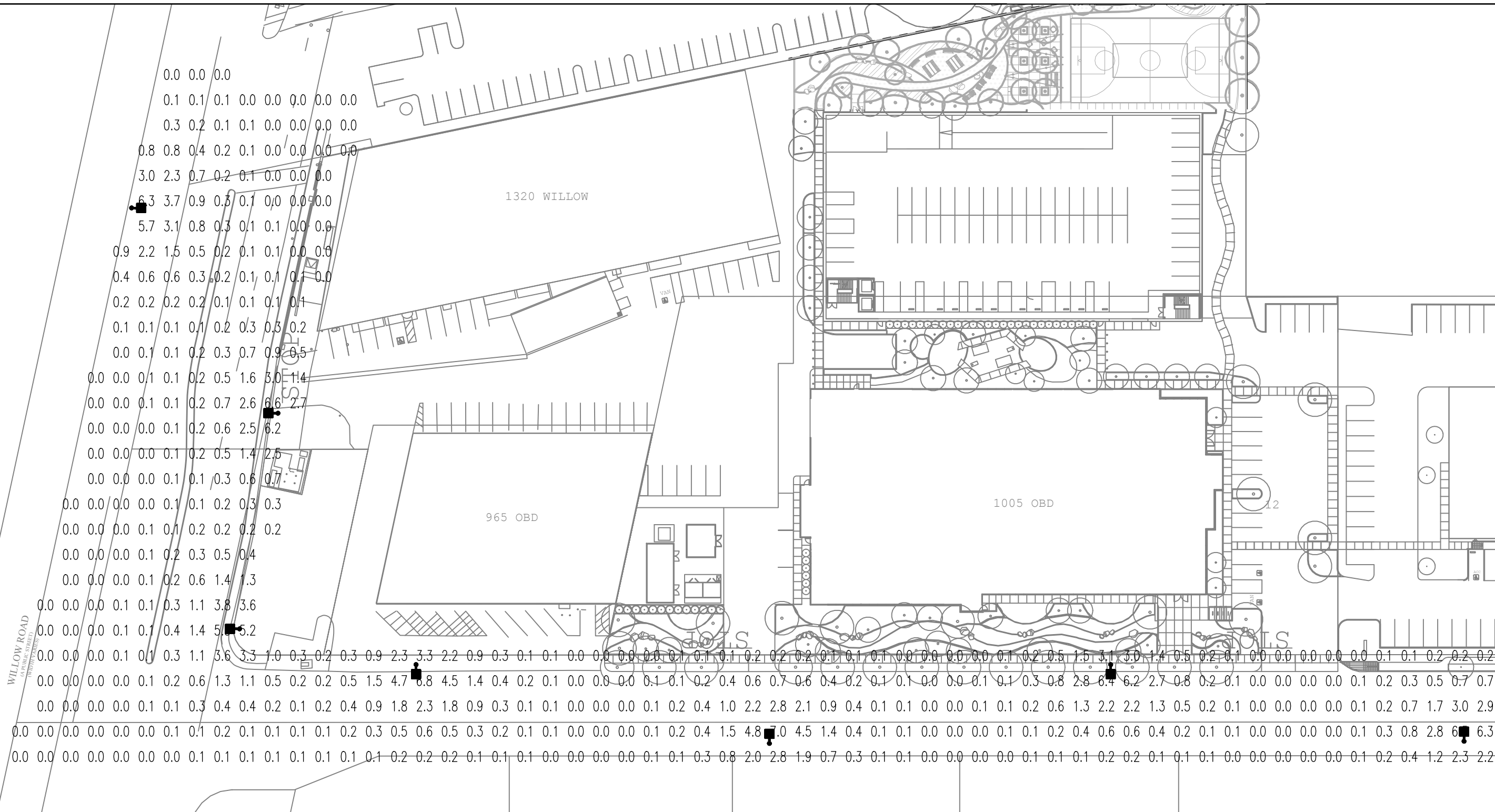
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3
02-17-2023 C.U.P. RESPONSE 4
07-12-2023 C.U.P. RESPONSE 5

PHASE 2 GRADING SECTIONS

C6.2

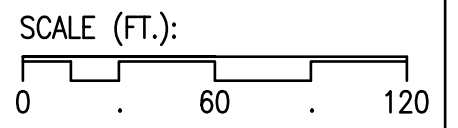




WILLOW ROAD
(AMBIENT STREET)

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Street	Illuminance	Fc	0.60	7.0	0.0

10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3
 02-17-2023 C.U.P. RESPONSE 4
 07-12-2023 C.U.P. RESPONSE 5



G:\Tri Bay Electric\O'Brien Drive\Lighting\O'BRIEN DRIVE LP-1.dwg Oct 25, 2021 - 4:35pm

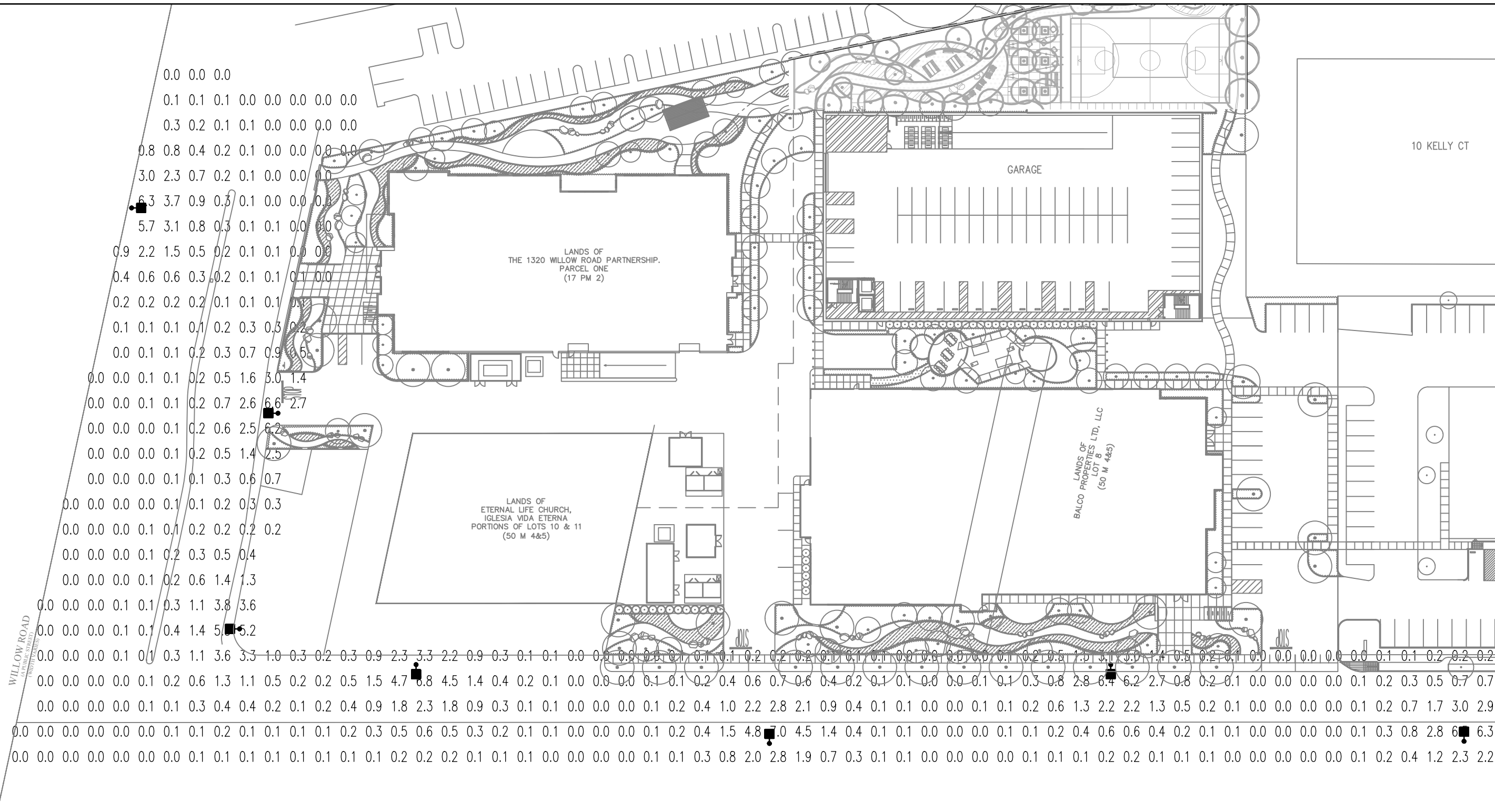


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

POINT X POINT
 PHOTOMETRY PLAN

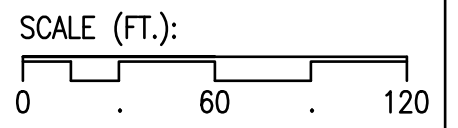
LP-1

TRI-BAY
 ELECTRIC INC.
 761 E. BROKAW ROAD, SAN JOSE, CA 95112
 PHONE: (408) 392-0014 FAX: (408) 392-0084
 PAGE E-2.114



Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Street	Illuminance	Fc	0.60	7.0	0.0

- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4
- 07-12-2023 C.U.P. RESPONSE 5



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985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

POINT X POINT
 PHOTOMETRY PLAN

LP-2

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 PAGE E-2.115